

New Dwelling Plans - 10.2017.742.1

EXIST DWELLING

D.P.529317

D.P.529317

D.P.529317

D.P.582169

D.P.587709

PROPOSED DWELLING 219 SADDLE ROAD





FLOOR SPACE RATIO AREAS			
ZONE NAME	AREA	SITE AREA	FSR
PROPOSED DWELLING INTERIOR GFA CALC	272m2	196,482m2	0.14%
PROPOSED DWELLING [EXTERIOR DECK AREA]	99m2	196,482m2	N/A
PROPOSED DWELLING [GARAGE / STORE AREA]	124m2	196,482m2	N/A

DRAWING LIST

- COVER
- 02 SURVEY
- 03 SITE PLAN 04 GROUND PLAN
- 05 DETAIL GROUND PLAN
- 06 ROOF PLAN
- 07 ELEVATIONS
- 08 SECTIONS

SURVEYOR

HYDRAULIC

SCOTT THOMPSON CANTYS SURVEYING 124 STUART ST, MULLUMBIMBY NSW 2482,

0438 856 600 02 6684 3544

43 MAIN ST CLUNES NSW 2480 02 6629 1552 -nifoed-stersons-socrate-com Au carriytsaurveying@bigpcnd.com

GREG ALDERSON & ASSOCIATES

CLUNES NSW 2490 02 6629 1552 nifice@alder-onessociales.com.au

STRUCTURAL

43 MAIN ST

SITE PLAN 1:500

WATER BORE

GREG ALDERSON & ASSOCIATES

BASIX

DUNCAN HOPE SENICA CONSULTANCY GROUP PO BOX 595 BALLINA NSW, 2478,

02 8006 7784 nicovercacerus

TOWN PLANNER

DAM

GREG ALDERSON & ASSOCIATES 43 MAIN ST CLUNES NSW 2480

02 6629 1552 office@aldersorresscopies.com au

QUANTITY SURVEYOR

MATTHEW SAUNDERSON QS+

PO BOX 194 NORTHERN RIVERS, NSW

0412 733 734 matt@gsplus.cum.au

ENVIRO. CONSULTANT

GREG ALDERSON & ASSOCIATES 43 MAIN ST CLUNES NSW 2480

02 6629 1552

ADDRESS

LOT + DP

COVER

D.P.530852

PROPOSED DWELLING

BUILDER TBA

BASIX CONDITIONS: 8767848

- SHOWER HEADS AND TOLETS TO HAVE A MIN. 3 STAR RATING.

- KITCHEN AND BATHOOM TAPS REG. MINMUM OF 3 STAR RATING.

- KITCHEN AND BATHOOM TAPS REG. MINMUM OF 3 STAR RATING.

- A MISMAM SSOU, WATTER TAN TO BE PROVIDED OLLEGTING.

RUNOFF FROM AT LEAST TOO SOLMER METHES OF ROOF AREA.

- THE DEVELOPMENT IST TO BE CONSTRUCTED IN ACCOPPONANCE WITH

THE THEE PARKED PROVIDENCE STAR STAR STAR AND TO BE INSTALLED.

- A GAS INSTANTANCIOLS OF WATER SYSTEM IS TO BE INSTALLED.

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CERTIFICATE.

- WALLS ARE TO COMPLY WITH NATHERS CERTIFICATE "LIANYKFOAX"

- RLOORS TO BE CONCRETE SLAB ON GROUND.

D.P.580670

HARLEY GRAHAM ARCHITECTS

LV 1 144 JONSON STREET, BYRON BAY | PO BOX 1285 NSW 2481 F: 02 66809820 | T: 02 66809690 | E; optioe@harleygraham.com ABN 85158246003 NSW 7892

Busing Code of Australia (BCA) and to the substantion of the

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ISSUF/REVISIONS SKETCH DESIGN OPTION 3A REVISED OPTION 1A REVISED OPTION 4C DA - PRELIMINARY

10,05,17 23.06.17 29.06.17 10,07,17

SSUE/REVISIONS PPE-DA - TO AP PRE-DA DA SUBMISSION DA SUBMISSION

02,09,1 04.09.17 23,10,1 09.11.

JOB NAME DRAWING

D.P.631177

D.P.810118

CLIENT KAREN & KEN

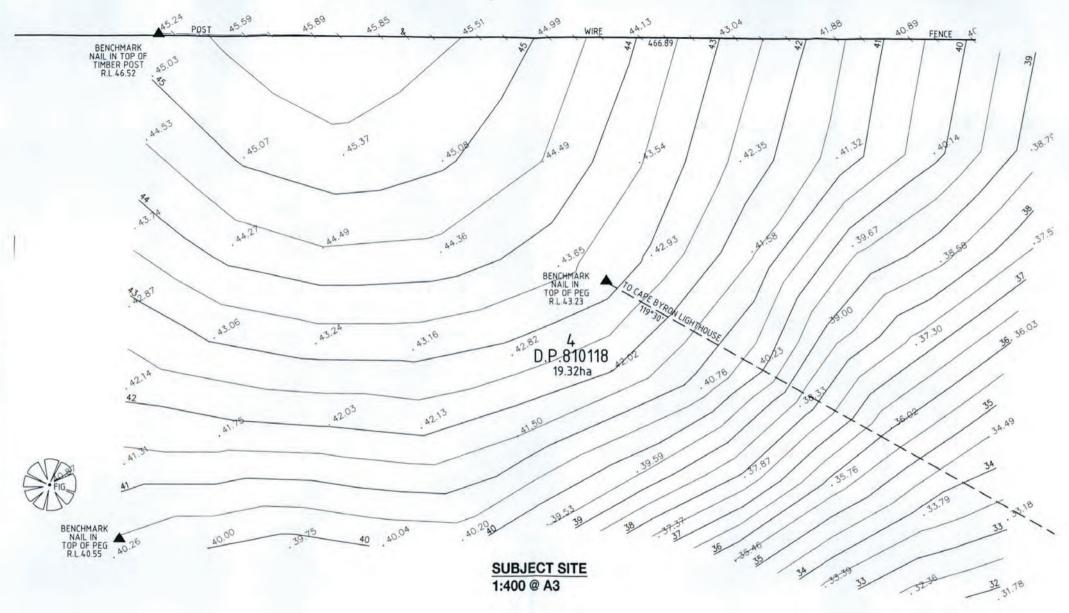
ofice@ voersonsssocia.es.com au

219 THE SADDLE ROAD, BRUNSWICK HEADS NEW 2483 JOB NO: HGA181 DP 810118 SCALE PAPER ISSUE DWG REV

1:1,

A3 DA 01

New Dwelling Plans - 10.2017.742.1



SURVEY BY: CANTYS SURVEYORS

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 ABN: 85158246003 NSW 7892

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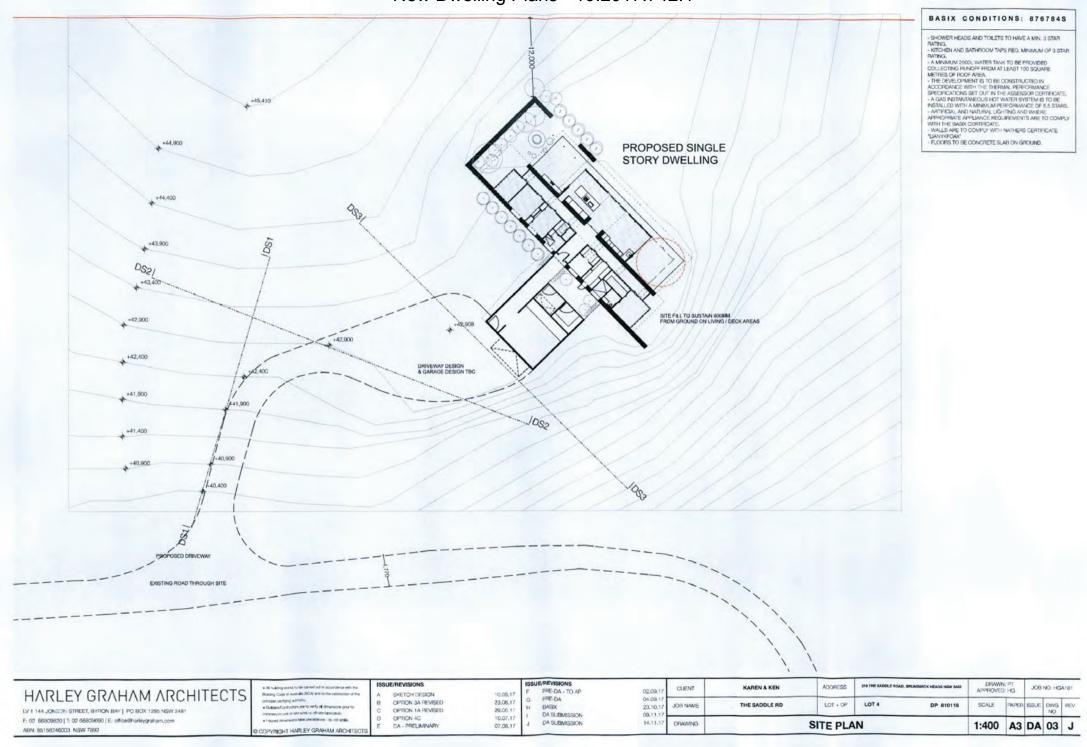
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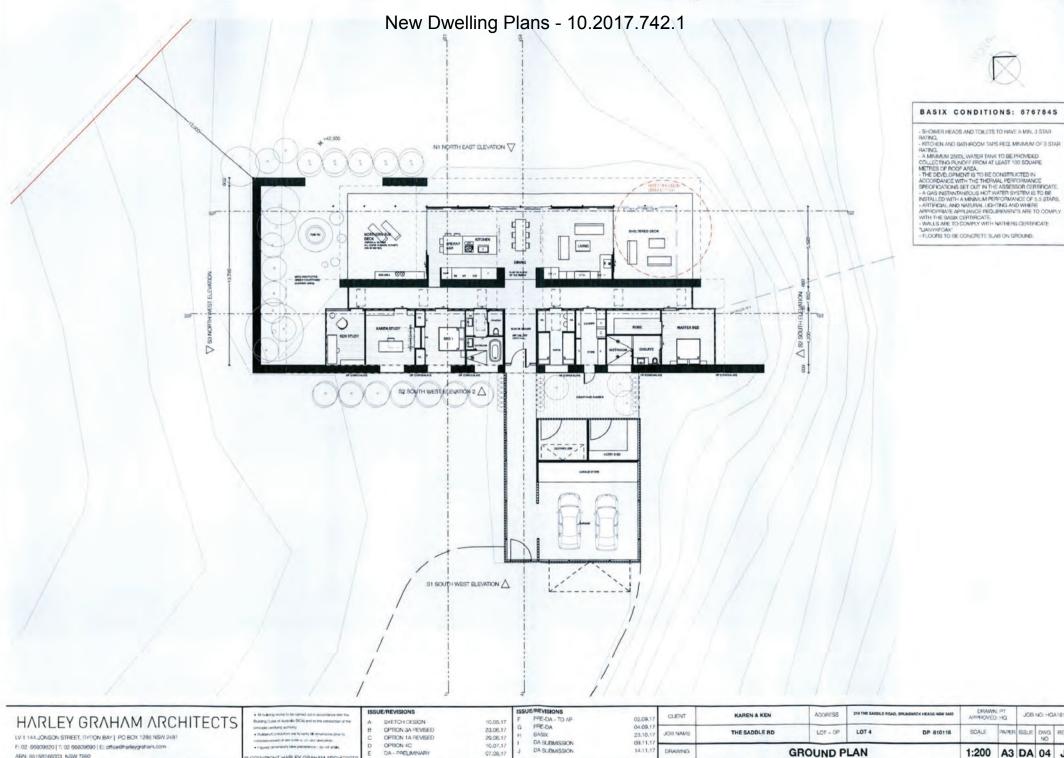
A SKETCH DESIGN
B OPTION 3A REVISED
C OPTION 1A REVISED
D OPTION 4C
E DA - PRELIMINARY

| ISSUE/REVISIONS | 10.05.17 | F | PPE-DA - TO AP | PRE-DA | 29.06.17 | H | BASIX | 10.07.17 | I | DA SUBMISSION | J | DA SUBMISSION | DA SUBMISSI

02.08.17 CLENT KAREN & KEN 04.09.17 23.10.17 JOB NAME THE SADDLE RD 06.11.17 DRAWING

New Dwelling Plans - 10.2017.742.1





ABN: 85158246003 NSW 7892

DA - PRELIMINARY

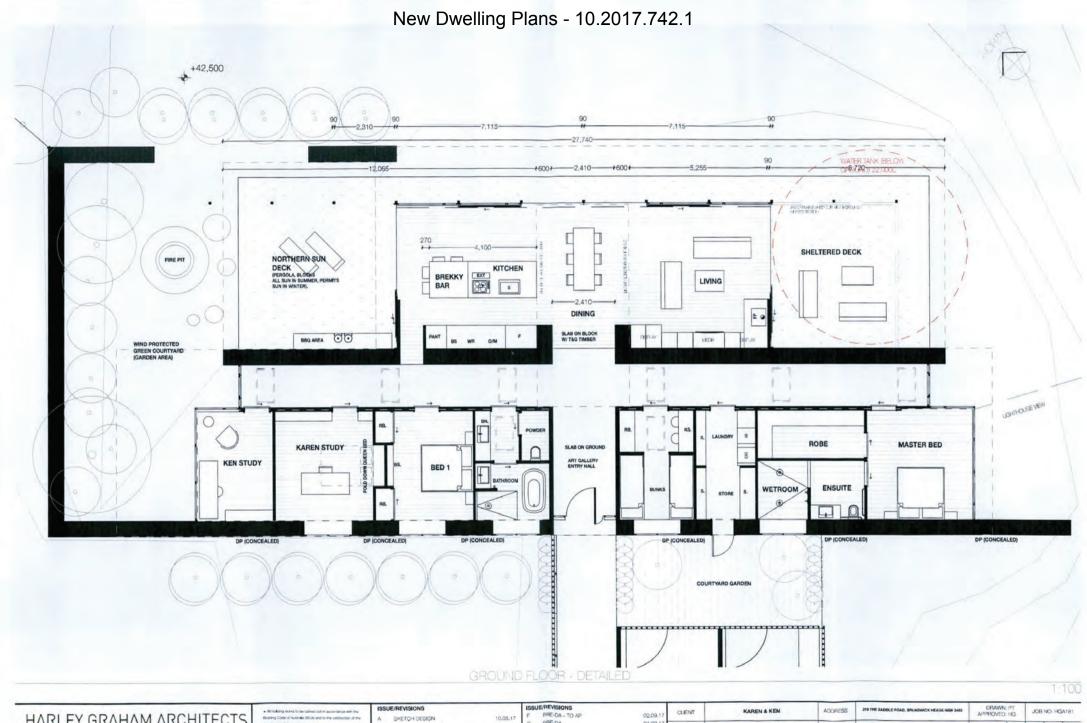
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DA SUBMISSION

14.11.1 DRAWING

1:200 A3 DA 04 J

JOB NO: HGA181



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. Builders/Contractors are to verify all dimensions pror to . House dimensions have preventioned in contraction

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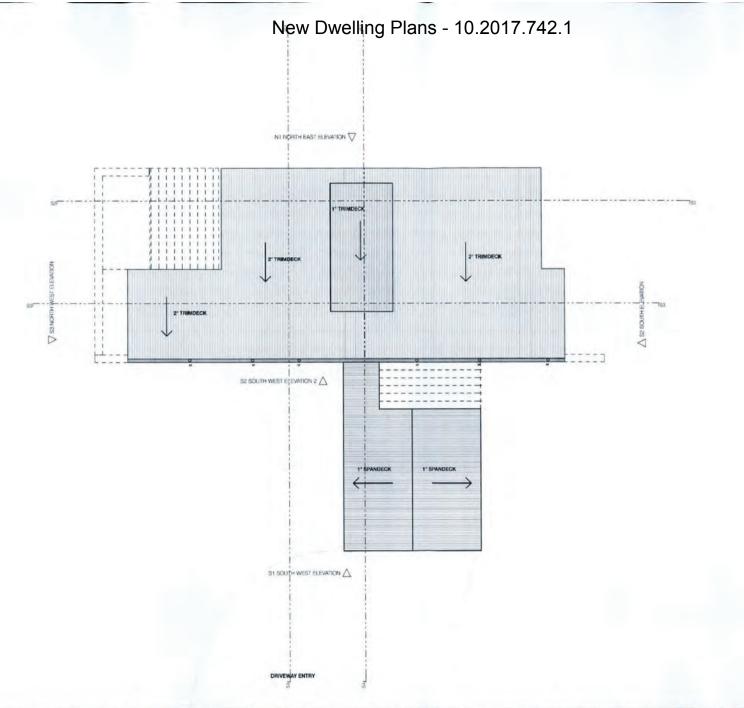
OPTION 3A REVISED OPTION 1A REVISED OPTION 4G DA - PRELIMINARY

PRE-DA 23.06.17 BASIX 29.06.17 DA SUBMISSION 10,07,17 DA SUBMISSION 07.08.17

04.09.1 23,10,17 09.11.1 14.11.17 DRAWING

THE SADDLE RD JOB NAME **DETAIL GROUND PLAN**

LOT + DP PAPER ISSUE DWG REV 1:100 A3 DA 05 J





BASIX CONDITIONS: 8767845

SHOWER HEADS AND TOILETS TO HAVE A MIN. 3 STAR RATING. - KITCHEN AND BATHROOM TAPS REQ. MINIMUM OF 3 STAR

- KITO-IED AND BATH-FOOM TAPS REQ. MINIMUM OF 3 STAR FATING.

- A MINIMUM 2500, WAITER TAINS TO BE PROVIDED COLLECTING RUNDER FROM THE LESS TO 05 SOLIANE METRES OF ROOS AREA.

- THE CIPIELD ORNEWING TO BE CONSTRUCTED IN ACCORDANCE WITH THE THEIRMAN, PERFORMANCE SPECIFICATIONS BET OUT IN THE ASSISSION CERTIFICATE.

- A CASE NOT MATCH SOLICIAN WAITER SYSTEM'S TO BE ASSISTED AS TO BE ASSISTED.

- A CASE OF THE ASSISTED AS TO

LIANYKFOAX
- FLOORS TO BE CONCRETE SLAB ON GROUND.

HARLEY GI	RAHAM ARO	CHITECTS
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. At ruiking works to be carried out in accordance with the Building Code of Australia SICAI and to the substaction of the principle benifying suborty Clubbarry Contractions are foliately of dimensions provided

. Inquied detending take precedence - (long) scale.

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ISSUE/REVISIONS SKETCH DESIGN OPTION 3A REVISED OPTION 1A REVISED OPTION 4C DA - PRELIMINARY

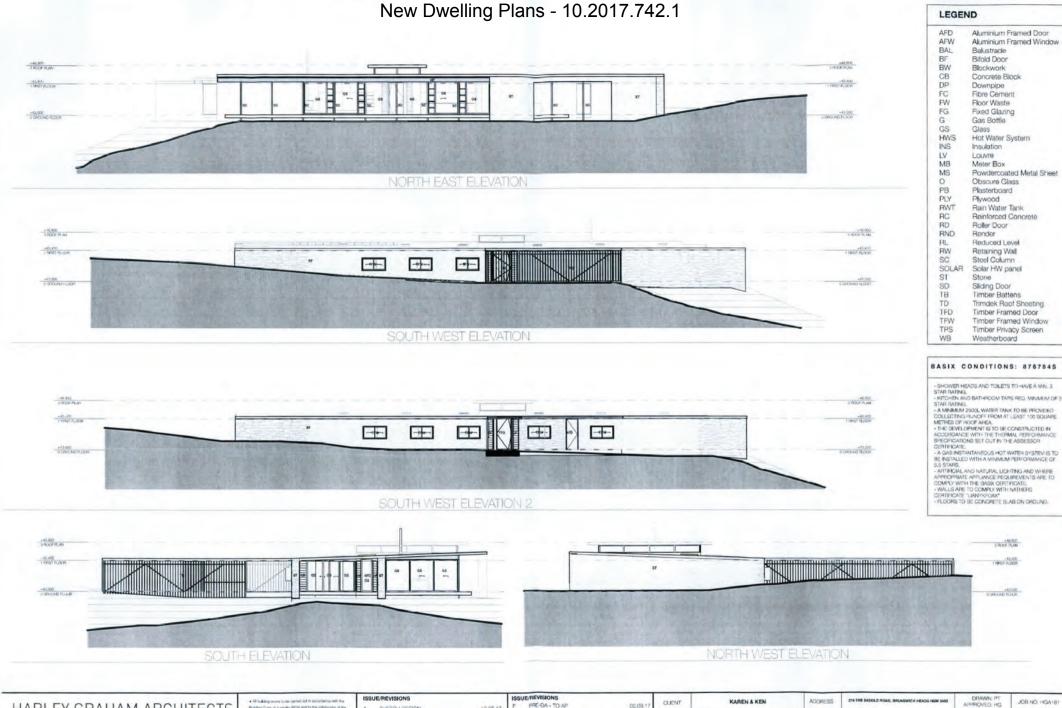
ISSUE/REVISIONS PRE-DA - TO AP 10.05,17 PRE-DA 23.06.17 29.06.17 DA SUBMISSION 10,07,17 DA SUBMISSION 07.08.17

04.09.1 DRAWING

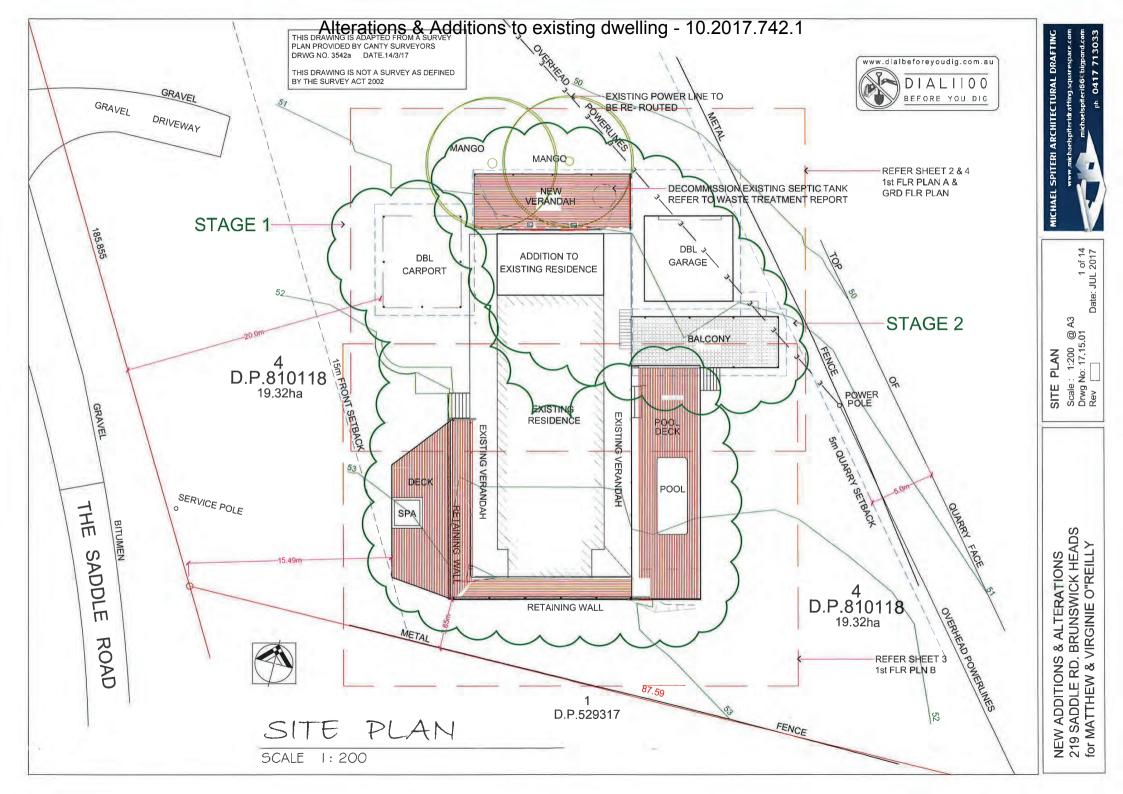
KAREN & KEN THE SADDLE RD JOB NAME **ROOF PLAN**

ADDRESS

JOB NO: HGA181 1:100 A3 DA 06



HARLEY GRAHAM ARCHITECTS Building Code of Australia (SCA) and to the side/action of the PRE-DA 04.09.1 OPTION 3A REVISED 23.06.17 THE SADDLE RD SCALE JOB NAME DP 810118 PAPER ISSUE DWG REV . Bullians Contractions are to verify of dimensions proy to BASIX LV 1 144 JONSON STREET, BYRON BAY | PO BOX 1285 NSW 2481 OPTION TA REVISED 29.06.17 DA SUBMISSION OPTION 4C 10.07,17 F: 02 66809820 [T: 02 66809890] E: office@harleygraham.com . Inquired demansions take precedence - do not scale. DA SUBMISSION DRAWING **ELEVATIONS** DA - PRELIMINARY 07.08.17 1:100 A3 DA 07 ABN: 85158246003 NSW 7892 COPYRIGHT HARLEY GRAHAM ARCHITEC



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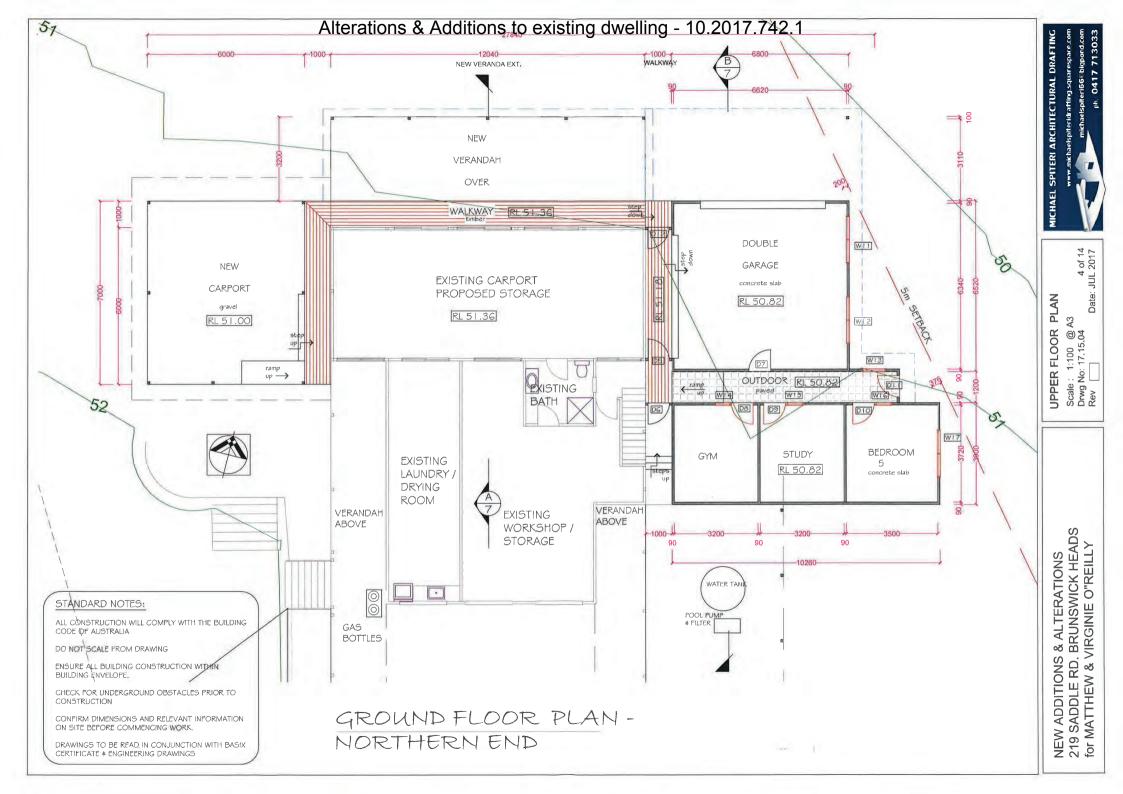
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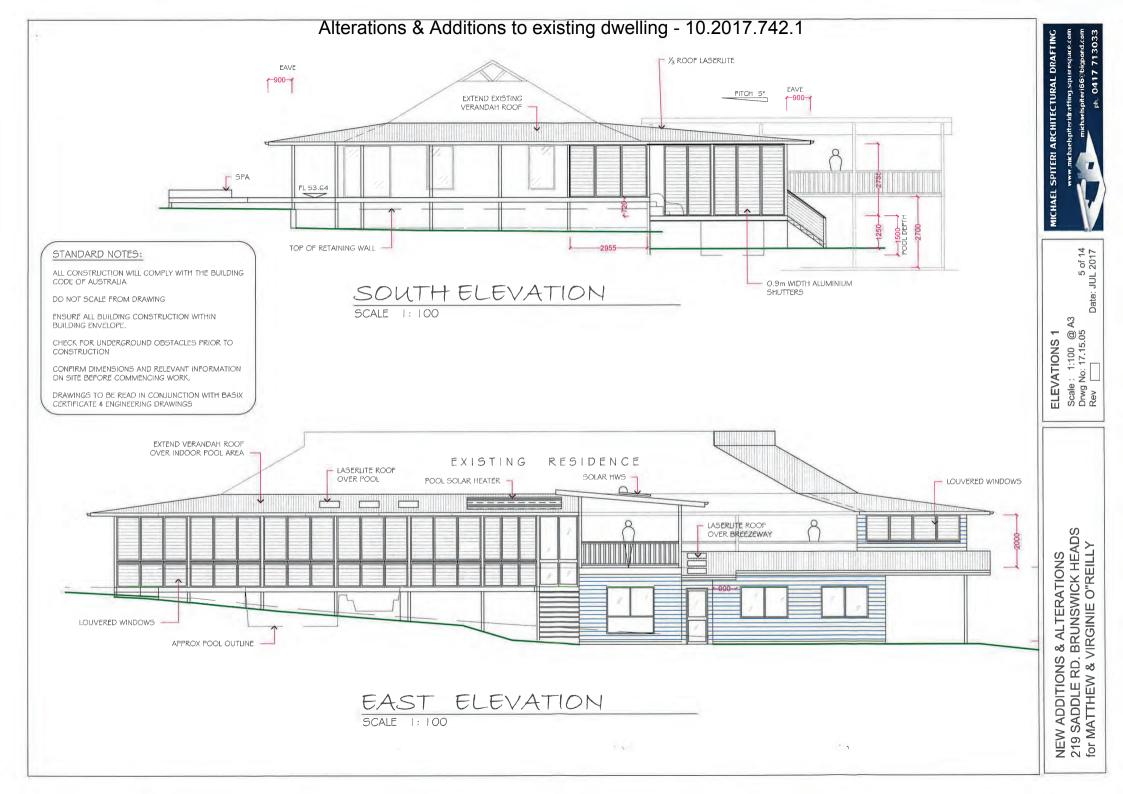
michaelspiferi66'bigpond.com

FIRST FLOOR PLAN -SOUTHERN END MICHAEL SPITERI ARCHITECTURAL DRAFTING

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Scale: 1:100 @ A3
Drwg No: 17.15.03 3 of 14
Rev ____ Date: JUL 2017







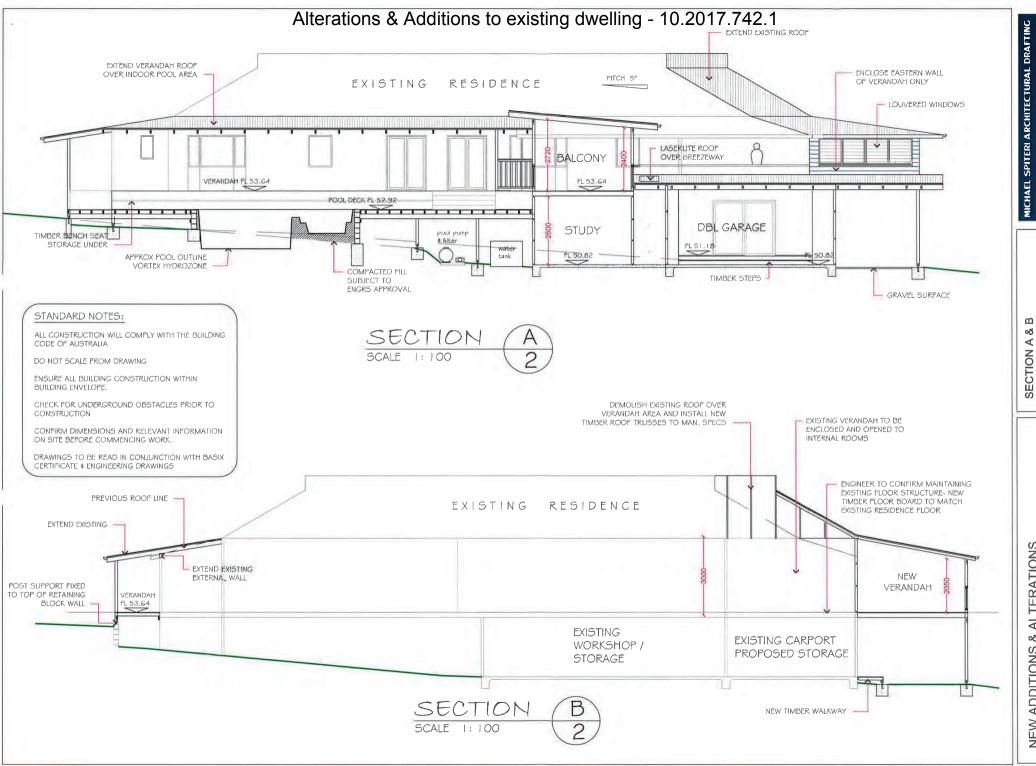
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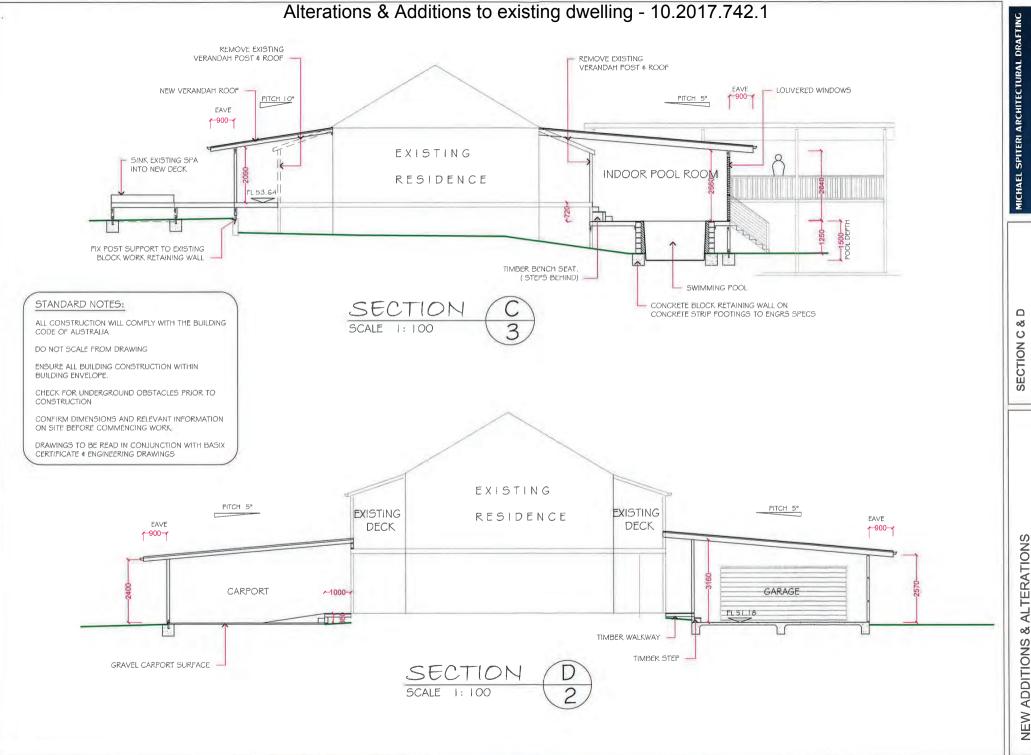
@ A3 .06 6 of 14 Date: JUL 2017

ELEVATIONS 2
Scale: 1:100 @ A
Drwg No: 17.15.06
Rev



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DN C & D 1:100 @ A3 0: 17.15.08 8 of 14 Date: JUL 2017

Scale: 1:100 @ A Drwg No: 17.15.08 Rev

COLORBOND CUSTOM ORB ROOF WITH MATCHING CAPPINGS AND FLASHINGS TO MATCH EXISTING ROOF.

LASERLITE OR SIMILAR POLYCARBONATE ROOF SHEET WHERE INDICATED

COLOUR LIGHT TONE TO MATCH EXISTING

I 50 QUAD ROOF GUTTERING WITH

900 FAVES UNLESS OTHERWISE NOTED

NEW VERANDAHS

EXISTING VERANDAHS TO BE REMOVED TO EXISTING BUILDING EXTERNAL WALL AND REPLACED WITH EXTENDED ROOF WHERE INDICATED

HW RAFTERS TO ENGRS SPECS

900 EAVES UNLESS JOINING EXISTING ROOF AS INDICATED

EAVE LINING FC SHEET

DECK POSTS- 100 X 100 F14

DECK FLOOR- HW DECK TIMBER.

TIMBER TOP RAIL & VERTICAL TIMBER SLAT BALUSTRADING TO NCC REQUIREMENTS

NEW FOOTINGS- GALVANISED HD POSTS SUPPORTS EMBEDDED INTO CONCRETE PAD FOOTING TO ENGINEERS SPECIFICATIONS

RESIDENCE EXTENSION

PREFABRICATED TIMBER TRUSSES @ 900 TO MANUFACTURES SPECIFICATIONS

STUD WALL - 90 x 35 MGP10

EXTERNAL CLADDING - WEATHERBOARD TO MATCH EXISTING

TYPICAL EXTERNAL WALL INSULATION
REQUIREMENTSI LAYER WALL BREATHER SARKING EQUAL

TO BRADFORD THERMOFOIL PLUS WALL INSULATION EQUAL TO BRAFORD 75mm GOLD BATTS

PLASTERBOARD INTERNAL WALL LINING

HW TIMBER TIMBER FLOOR

GARAGE

ROOF STRUCTURE- LVL RAFTERS TO ENGRS SPECS.

STUD WALL - 90 x 35 MGP10

EXTERNAL CLADDING - WEATHERBOARD TO MATCH EXISTING

4.8m WIDE GARAGE DOOR INSTALLED TO MAN. SPECS

CONCRETE SLAB TO ENGRS SPECS

Alterations & Additions to existing dwelling - 10.2017.742.1

GYM / STUDY/ BEDROOM

WATERPROOFED BALCONY ROOF FC SHEET WITH FLOOR TILES

LVL RAFTERS TO ENGRS SPECS

STUD WALL - 90 x 35 MGP LO

EXTERNAL CLADDING - WEATHERBOARD TO MATCH EXISTING

TYPICAL EXTERNAL WALL INSULATION REQUIREMENTS-I LAYER WALL BREATHER SARKING EQUAL TO BRADFORD 'THERMOFOIL' PLUS WALL INSULATION EQUAL TO BRAFORD 75mm GOID BATTS

PLASTERBOARD INTERNAL WALL & CEILING LINING

CONCRETE SLAB TO ENGRS SPECS

CARPORT

ROOF STRUCTURE- HW RAFTERS TO ENGRS SPECS.

POSTS- 100 X 100 F14

GRAVEL GROUND COVER

FOOTINGS- GALVANISED HD POSTS SUPPORTS EMBEDDED INTO CONCRETE PAD FOOTING TO ENGINEERS SPECIFICATIONS

INDOOR POOL AREA

TIMBER STRUCTURE THRU OUT-MEMBER SIZES TO ENGRS SPECS.

HW RAFTERS TO ENGRS SPECS

900 EAVES UNLESS OTHERWISE NOTED

NO CEILING LINING

DECK POSTS- 100 X 100 F14

DECK FLOOR- HW DECK TIMBER

LOUVERED WINDOWS & ALUMINIUM SLAT LOUVERS AS INDICATED

FIBERGLASS VORTEX HYDROZONE POOL INSTALLED TO MAN. SPECS.

FOOTINGS- TYPE I - GALVANISED HD POSTS SUPPORTS EMBEDDED INTO CONCRETE PAD FOOTING TO ENGINEERS SPECIFICATIONS

FOOTINGS- TYPE 2- CONCRETE BLOCK RETAINING WALL ON STRIP FOOTING TO ENGRS, SPECS.
AROUND POOL

GLASS POOL FENCE TO AS 1926 SWIMMING POOL SAFETY

OTHER

SOLAR PANELS TO BE INSTALLED TO OWNERS SELECTION

SOLAR POOL HEATING SYSTEM INSTALLED ON POOL AREA ROOF.

NOTES

ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA 2012, BE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND LOCAL COUNCIL REGULATIONS / APPROVALS

- AS 1684 TIMBER FRAMING CODE
- . AS 3700 MASONRY IN BUILDINGS
- AS 2870-2011 RESID, SLABS AND FOOTINGS
- AS 3660. I 2000 TERMITE PROTECTION
- AS 3500, STORMWATER DISCHARGE
- AS 3740 WATERPROOFING OF WET AREAS
- AS 2047 WINDOWS IN BUILDINGS
- AS 1657 STAIRWAYS
- AS 1926 SWIMMING POOL SAFETY
- PHOTOELECTRIC SMOKE DETECTORS IN ACCORDANCE WITH BCA 2012 CLAUSE 3.7.2
- INSULATION INSTALLED IN ACCORDANCE WITH BCA PART 3.12.1.1

ALL DIMENSIONS TO BE VERIFIED BY BUILDER/ CLIENT PRIOR TO SETOUT, ORDERING OR FABRICATION OF NEW MATERIALS

CHECK FOR UNDERGROUND OBSTACLES PRIOR TO CONSTRUCTION

FOOTINGS AND TIE DOWNS TO ENGINEERS SPECIFICATIONS

DO NOT SCALE FROM DRAWING

ENSURE ALL NEW CONSTRUCTION WITHIN BUILDING ENVELOPE

BASIX COMMITMENTS:

As per certificate No. A291284 WATER

Roof catchment area 240m²

Fixtures: Showerheads 3 stars

Toilets 3 stars
Taps 3 stars

Water: Min Tank 10,018 L

Tank connected: to Garden Taps

Pool: 25KL Max. Solar Heated

Outdoor Spa: 13.5KL Max with spa cover & timer

with gas boosted solar heater

THERMAL

Construction: Timber frame, weather board Walls R1 (R1.4 incl. construction)

Floor R1.5

Ceiling R 1,76 Batts & Foil to roof Wall- Light tone

Roof- Dark tone

Windows: as per schedule

ENERGY

Colours

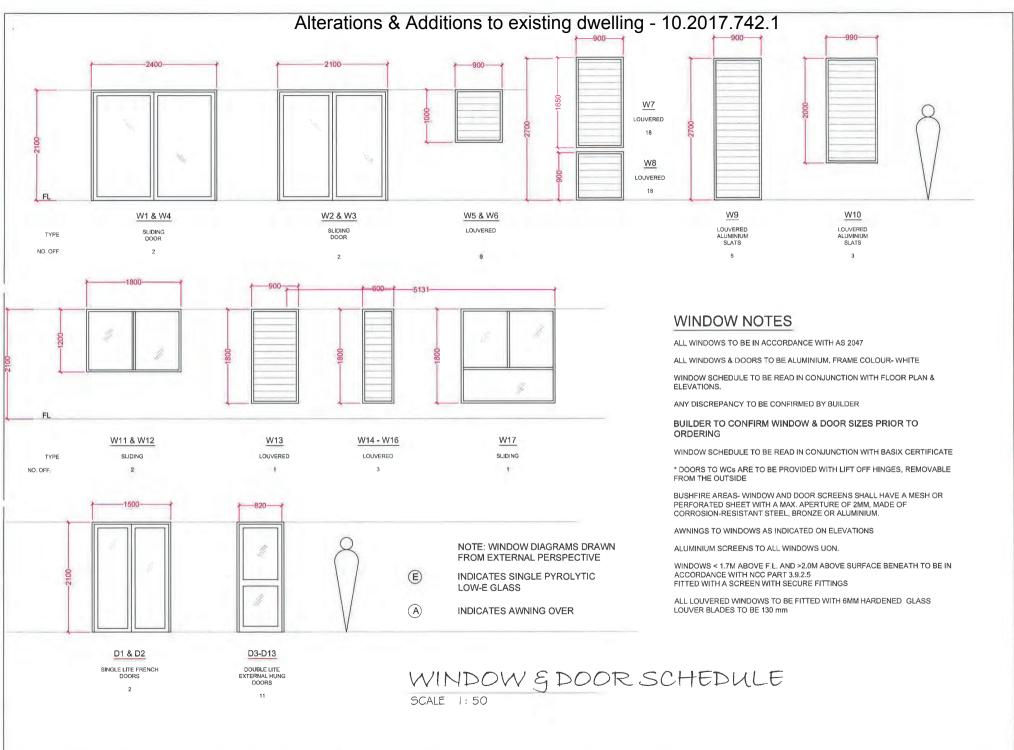
Hot Water: Gas Boosted Solar
Cooling: Ceiling fans through out

Heating: NA
 Ventilation: NA

Lighting: 40% min Energy efficent Lighting

9 of 14 ate: JUL 2017

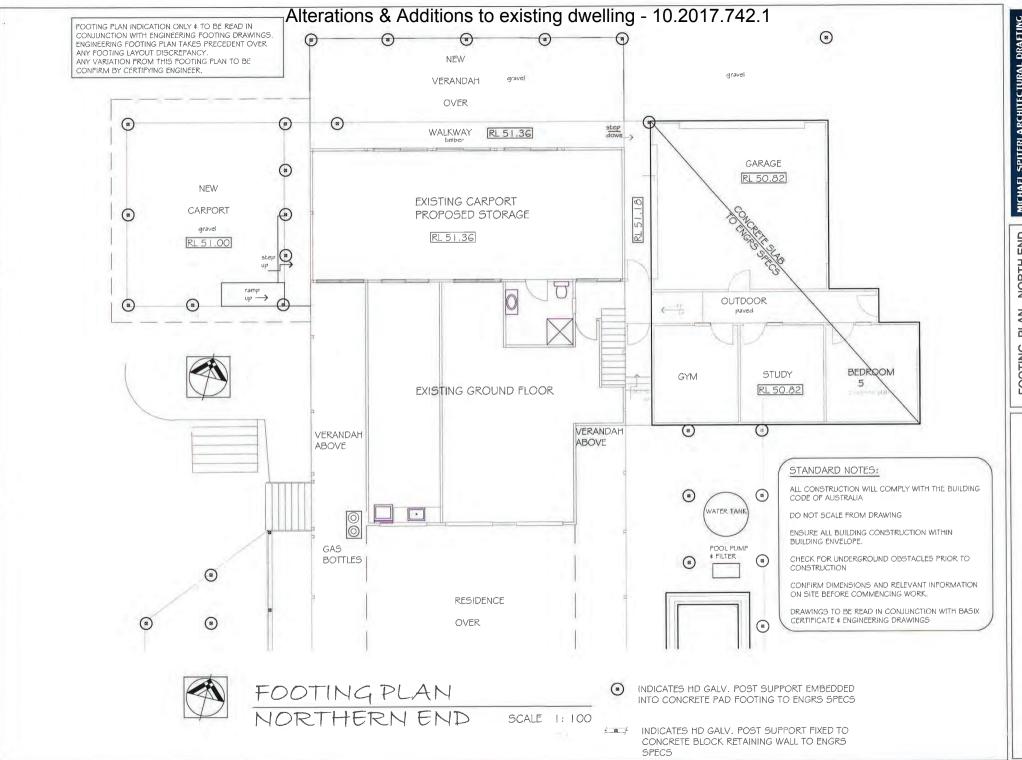
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@ A3 .10 Date: JUL 2017

WINDOW SCHEDULE Scale: 1:50 @ A3 Drwg No: 17.15.10 Rev Date:



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FOOTING PLAN - NORTH END Scale: 1:100 @ A3 11 of 14 JUL 2017

Scale: 1:100 @ A Drwg No: 17.15.11 Rev

SPA

(3)

STANDARD NOTES:

ALL CONSTRUCTION WILL COMPLY WITH THE BUILDING CODE OF AUSTRALIA

DO NOT SCALE FROM DRAWING

ENSURE ALL BUILDING CONSTRUCTION WITHIN BUILDING ENVELOPE.

CHECK FOR UNDERGROUND OBSTACLES PRIOR TO CONSTRUCTION

CONFIRM DIMENSIONS AND RELEVANT INFORMATION ON SITE BEFORE COMMENCING WORK.

DRAWINGS TO BE READ IN CONJUNCTION WITH BASIX CERTIFICATE & ENGINEERING DRAWINGS

00 GAS POOL PUMP # FILTER BOTTLES (9) (3) RESIDENCE OVER POOL STRIP FOOTING TO ENGRS SPECS DECK DECK ABOVE (no roof over) -1020

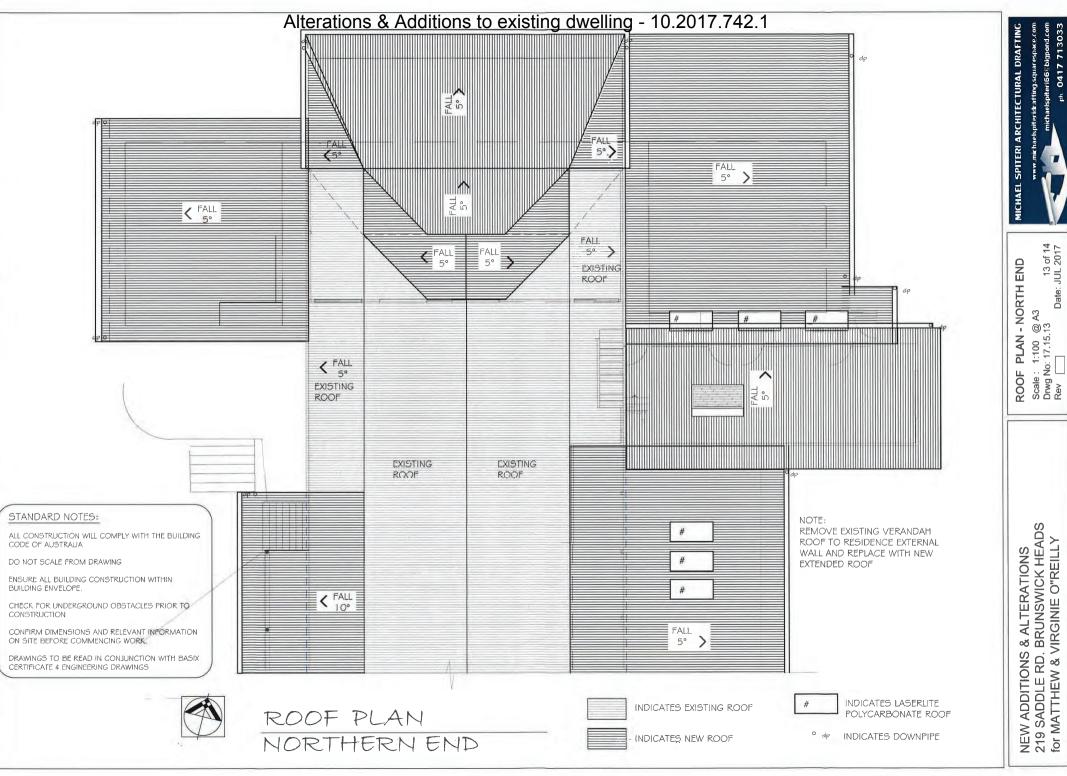


FOOTING PLAN SOUTHERN END SCALE 1: 100 INDICATES HD GALV. POST SUPPORT EMBEDDED INTO CONCRETE PAD FOOTING TO ENGRS SPECS

WATER TANK

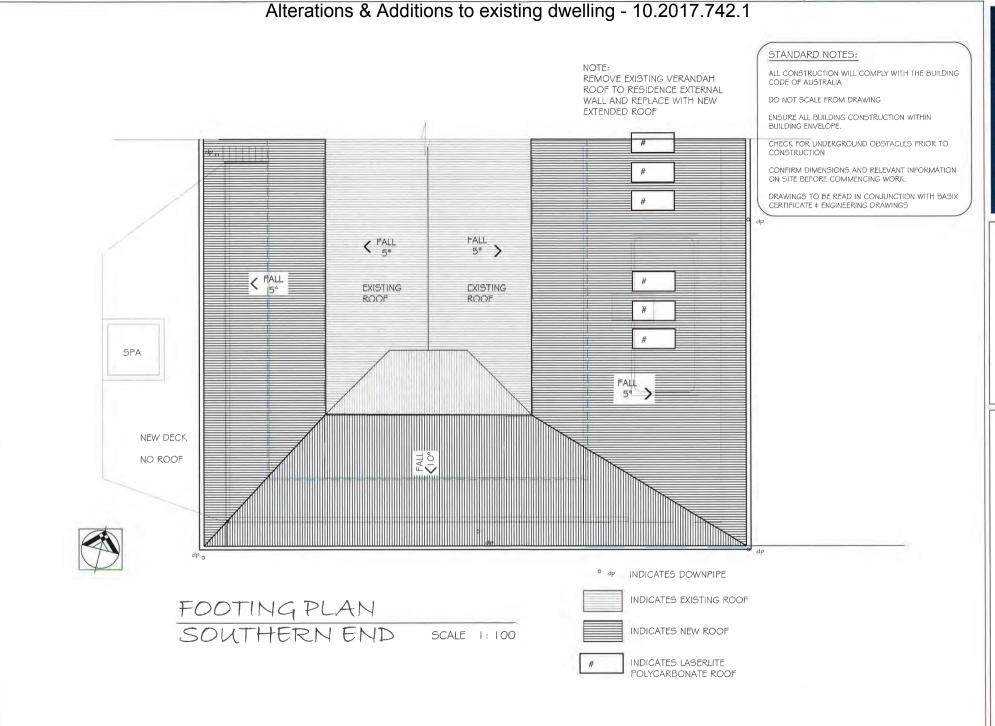
FINDICATES HD GALV. POST SUPPORT FIXED TO CONCRETE BLOCK RETAINING WALL TO ENGRS SPECS

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MICHAEL SPITERI ARCHITECTURAL DRAFTINC

13 of 14 JUL 2017



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of 14 2017 ROOF PLAN - SOUTH END

Scale: 1:100 @ A Drwg No: 17.15.14 Rev