



REVISION B
-MORE GREEN SPACE PROVIDED:
-CARSPACES CHANGED SO AS NOT TO BE STACKED
-ROOF CHANGED SO UPPER WINDOWS FACE NORTH
-FRONT HOUSE GARAGE DOOR RELOCATED-SEE REVISION
-NEW WINDOW TO PROPOSED DWELLING
-300mm SETBACK AT FRONT DRIVEWAY PROVIDED

AREAS	SQM
RESIDENCE 1 (EXISTING)	
GROSS FLOOR AREA	134.41
GARAGE	32.00
RESIDENCE 2 (PROPOSED)	
GROSS FLOOR AREA	108.63
CARPORT	18.00
DEEP SOIL AREA	280.00
TOTAL SITE AREA	760.73
GROSS FLOOR AREAS	243.04
FSR	0.3:1

Byron Bay
Drafting

www.byronbaydrafting.com

Client Name
Mr Adam Mangleson

Project Name
Proposed Dual Occupancy

33 Ocean Shores
2483

####

Status: DA

Project No:
160527

Plot Date:

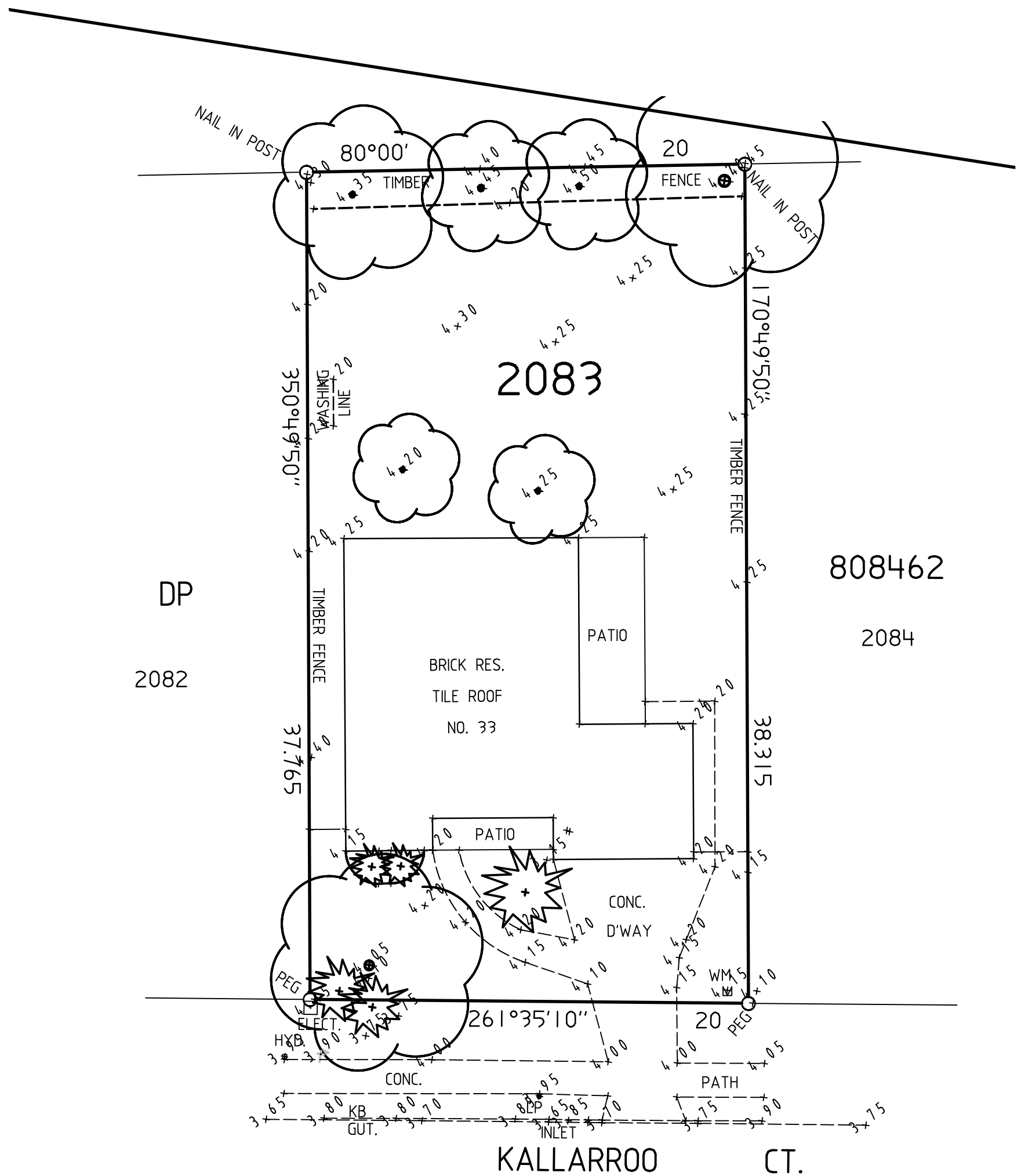
Date: SSUE>

Drawing No.:
01

26/06/2018

REVISION:
B

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-1.

SITE PLAN

1:200

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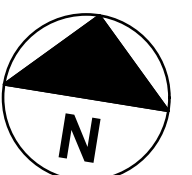
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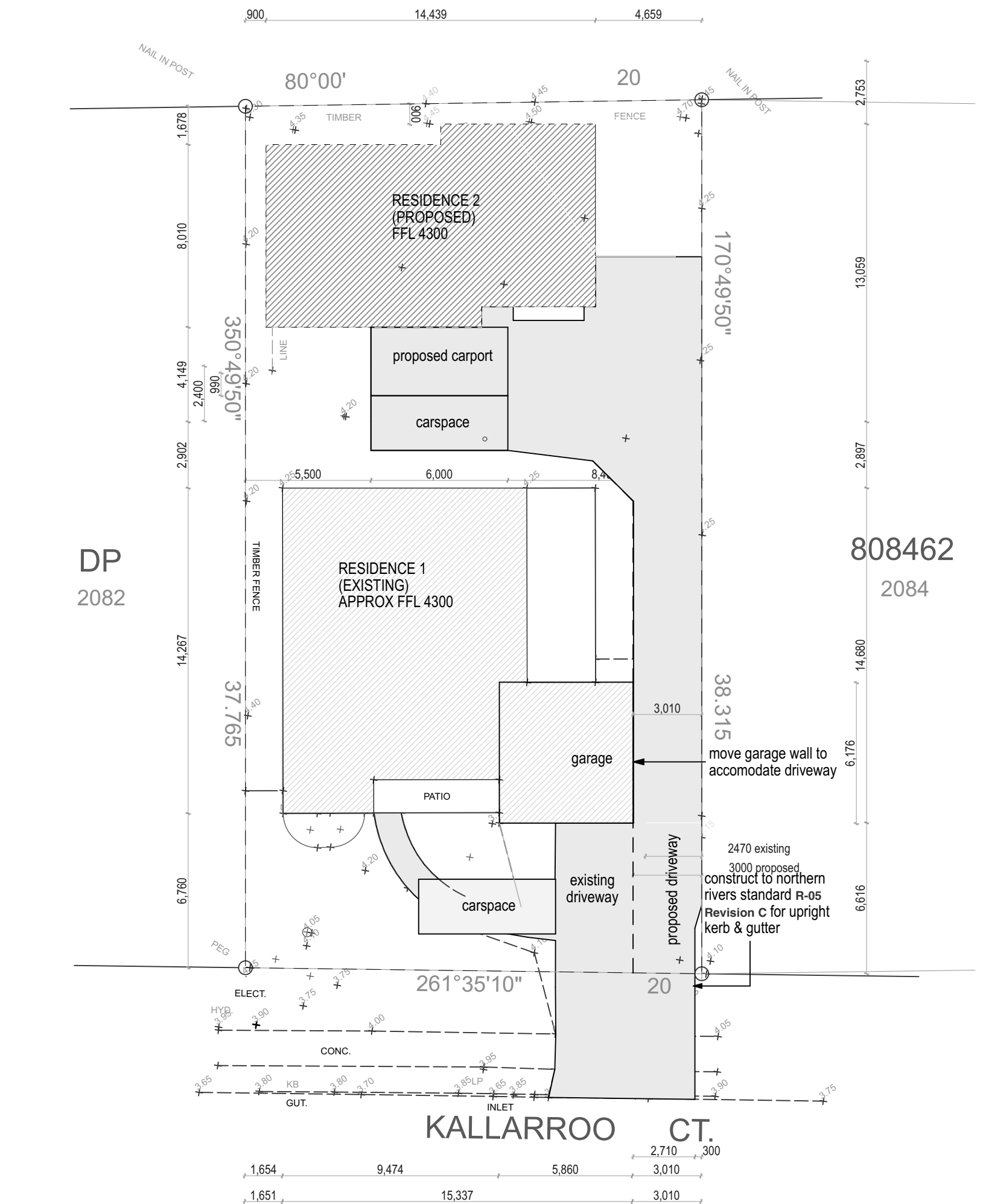
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Status: DA	Date: SSUE>
Project No: 160527	Drawing No.: 02 REVISION: B
Plot Date:	26/06/2018

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SITE PLAN

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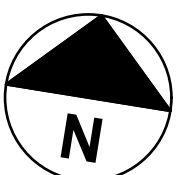
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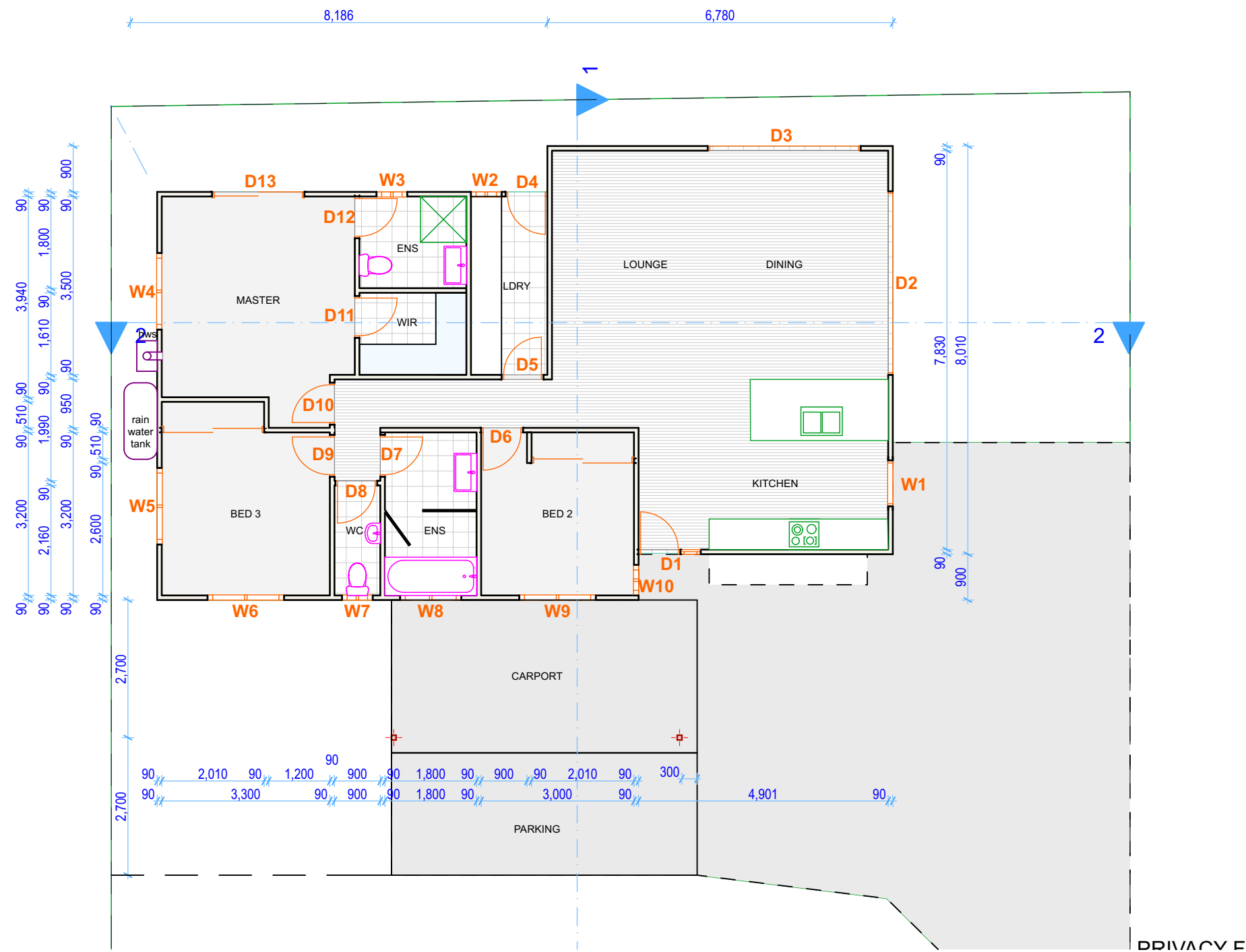
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Date: SSUE>
Status: **DA**
Project No:
160527
Plot Date:
Drawing No.:
03
Revision:
B
26/06/2018

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0. GROUND FLOOR PLAN 1:100

REVISION A:
 -Patio off master removed for deep soil planting
 -Landscape plan and street elevation added

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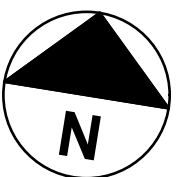
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Drawing No.: **04**
REVISION: **B**

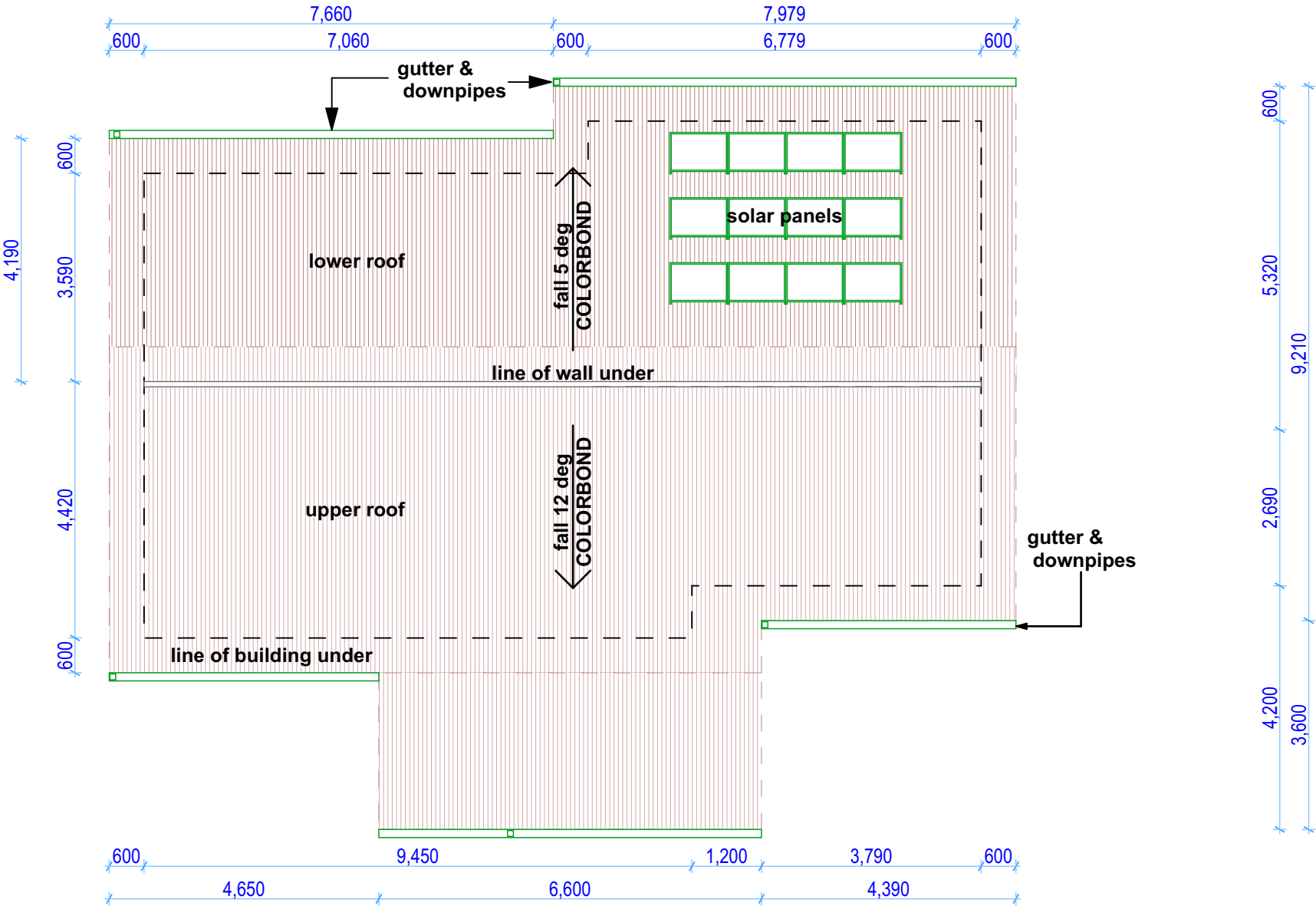
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NOTE:
2550mm CEILING HIEGHT TO BEDROOMS, BATHROOMS, AND LAUNDRY
-RAKED CEILINGS TO LIVING AREAS AND KITCHEN



NOTE:
ALL ROOF WOODLAND
GREY COLORBOND
CORRUGATED STEEL,
FULLY SARKED



1.

ROOF PLAN

1:100

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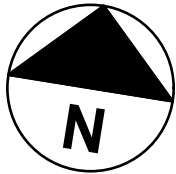
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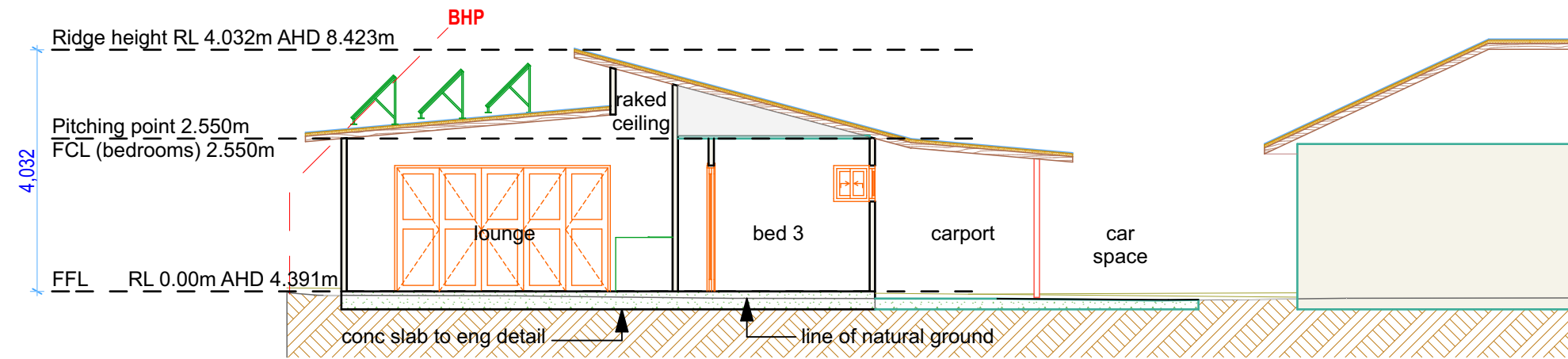
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Project No: 160527	Drawing No.: 05
	REVISION: B
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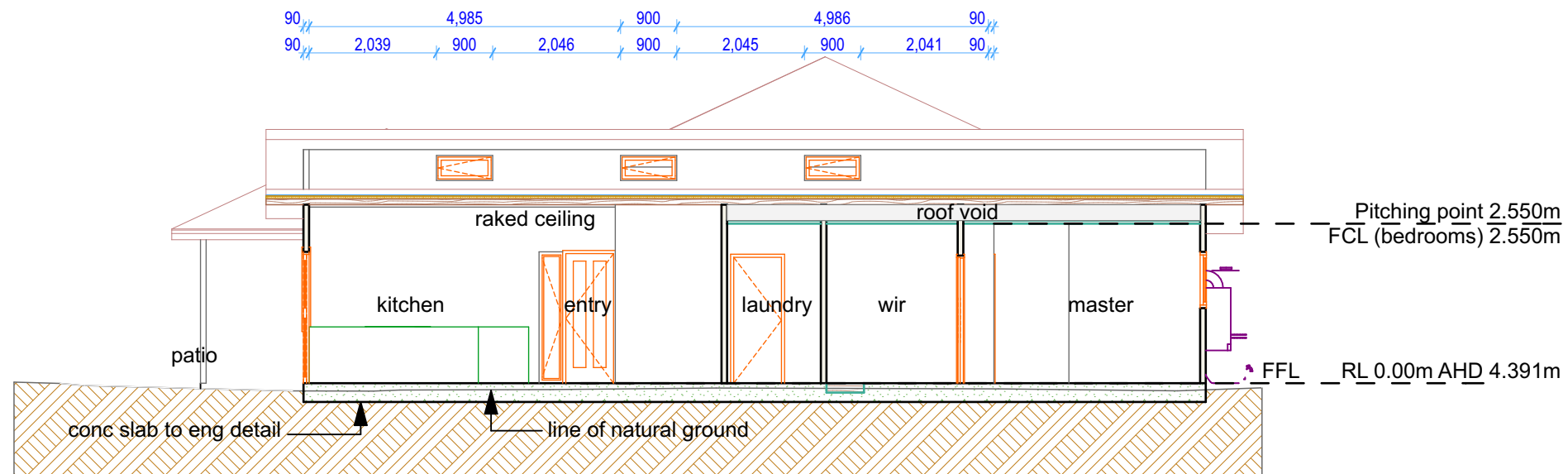




1

section

1:100



2

section

1:100

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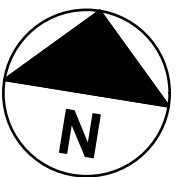
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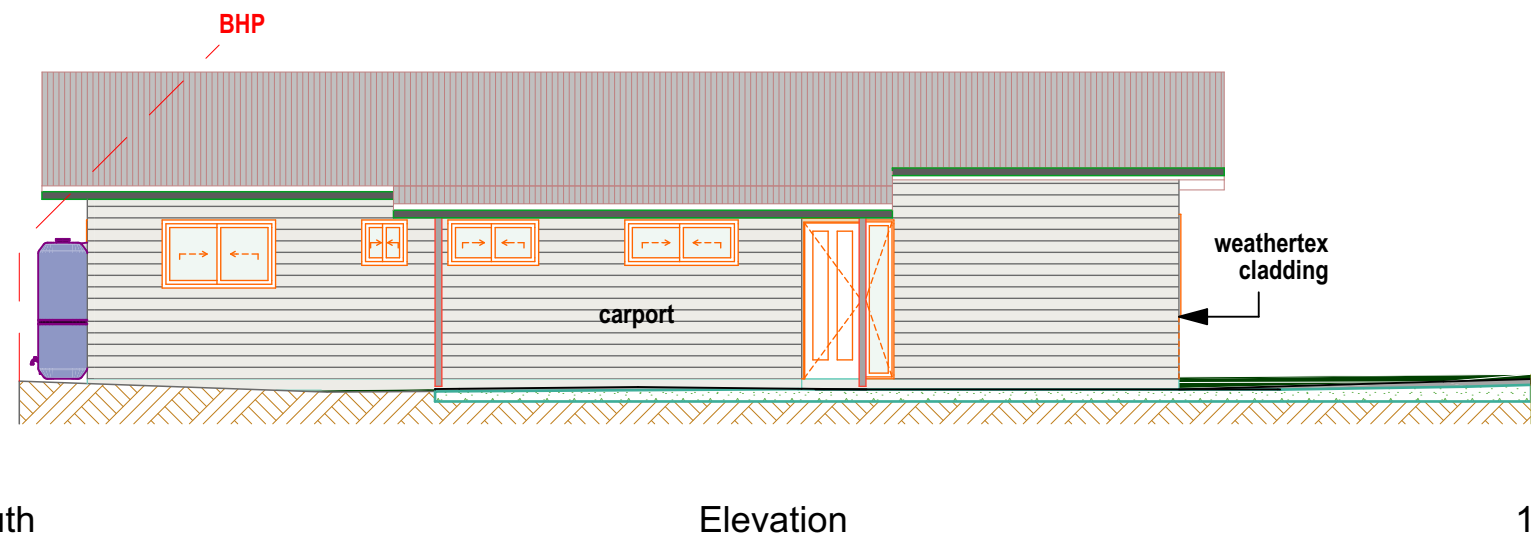
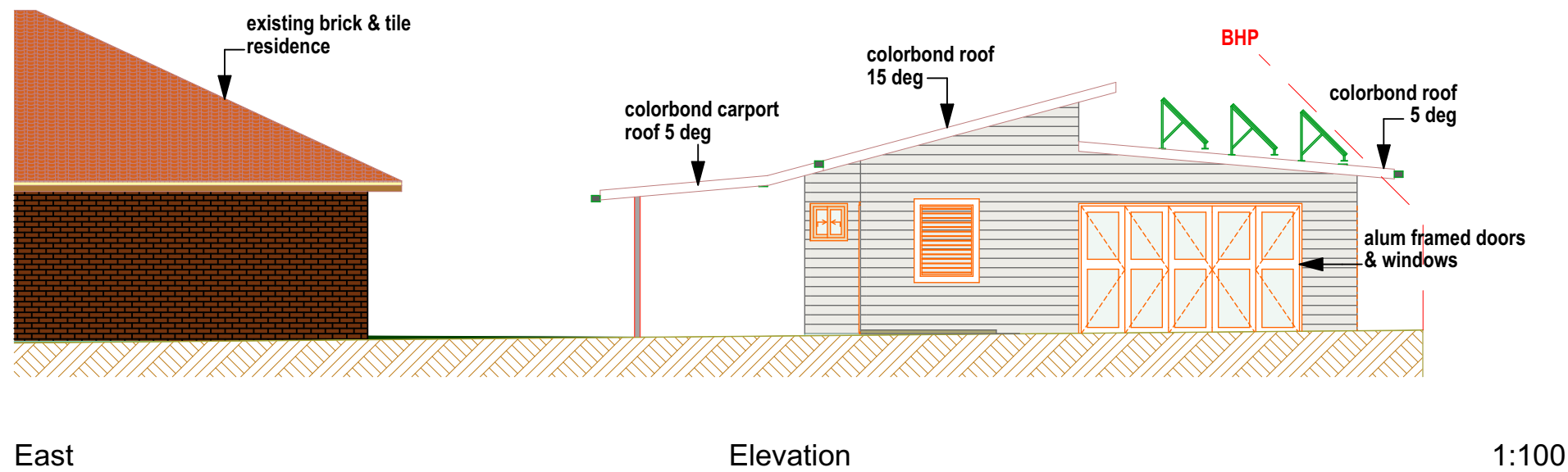
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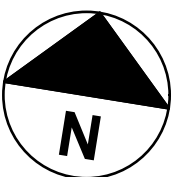
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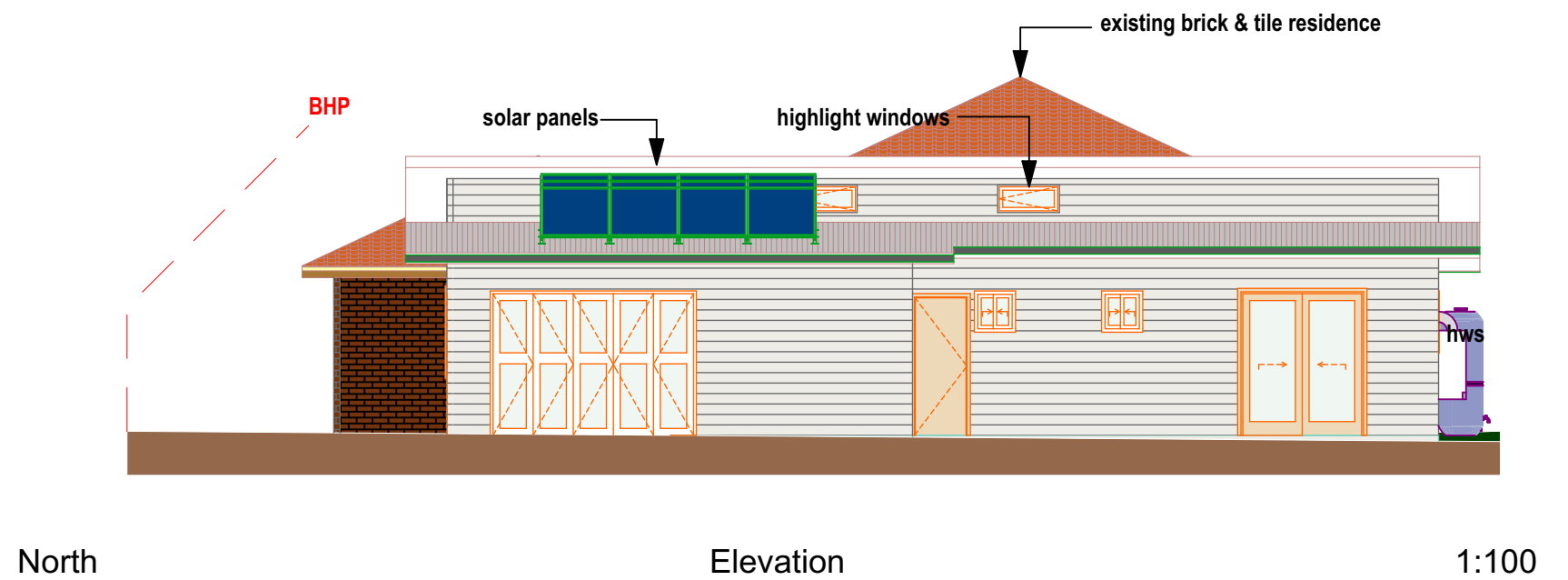
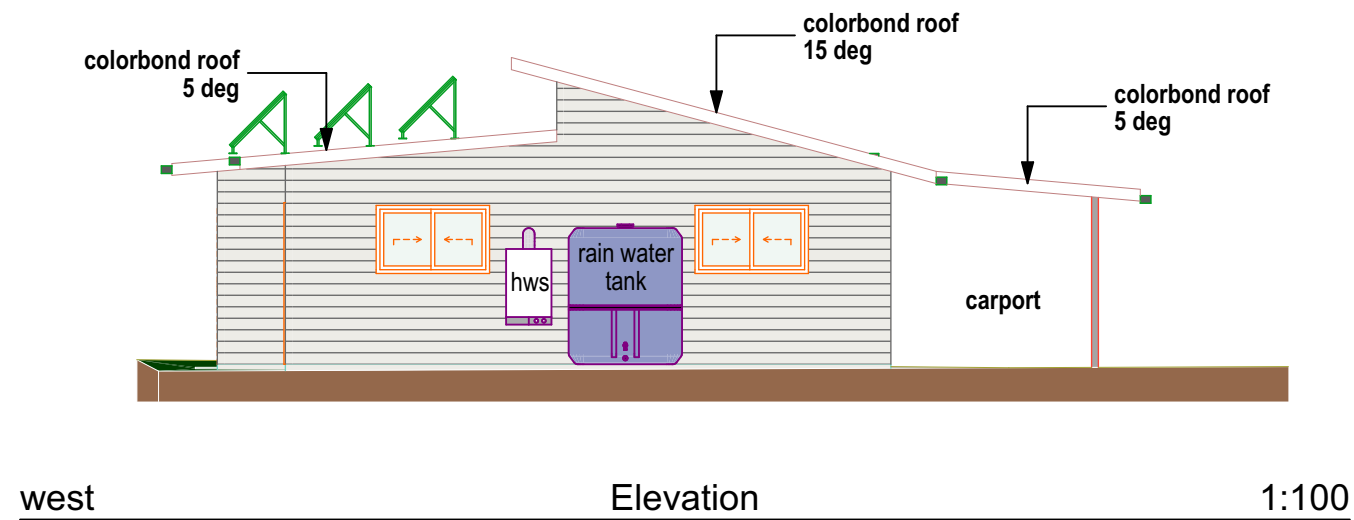
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Drawing No.: **07**
REVISION: **B**

26/06/2018

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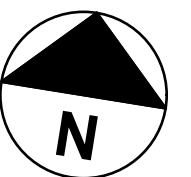
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Date: SSUE>

Drawing No.: **08** REVISION: **B**

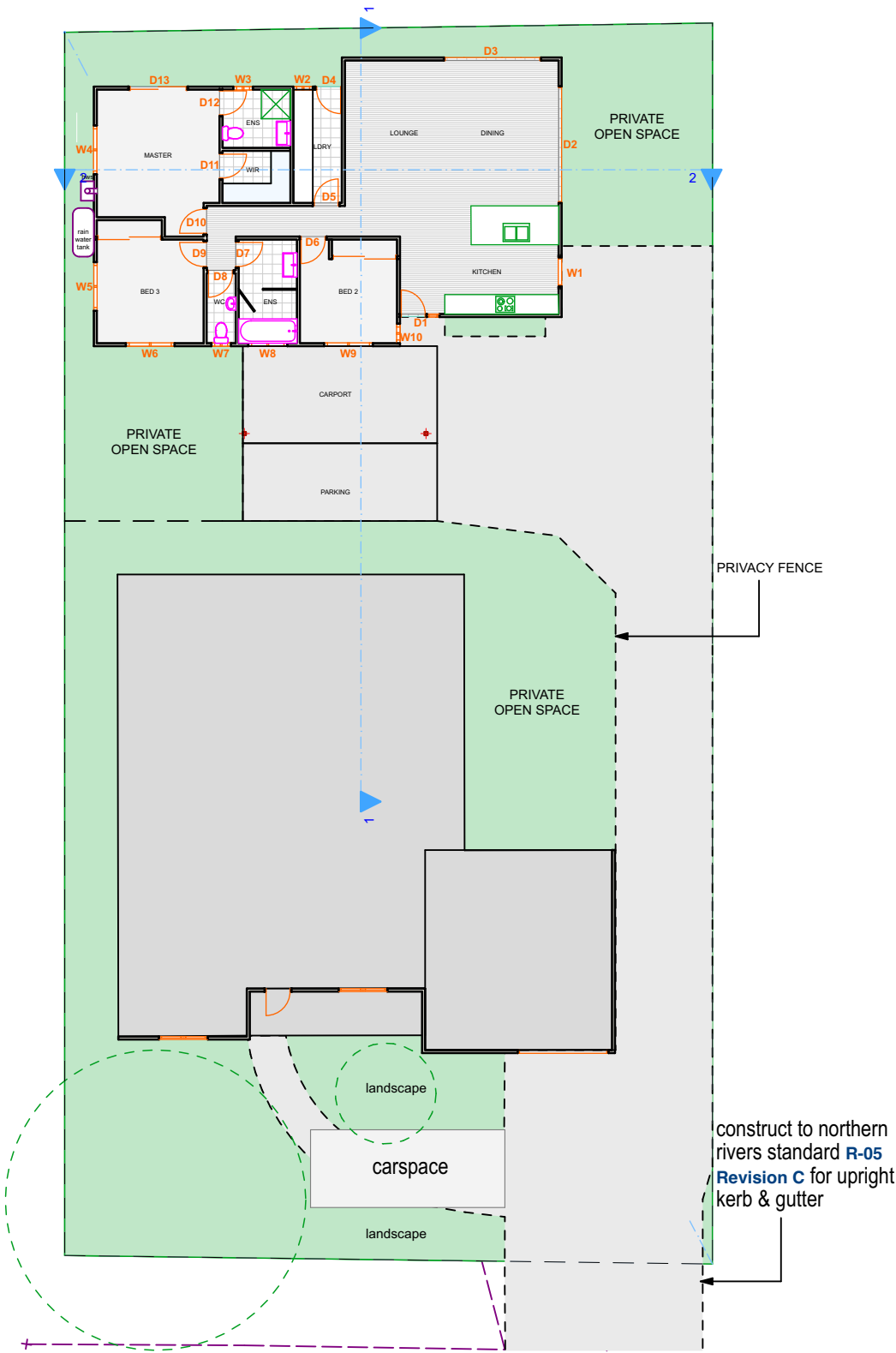
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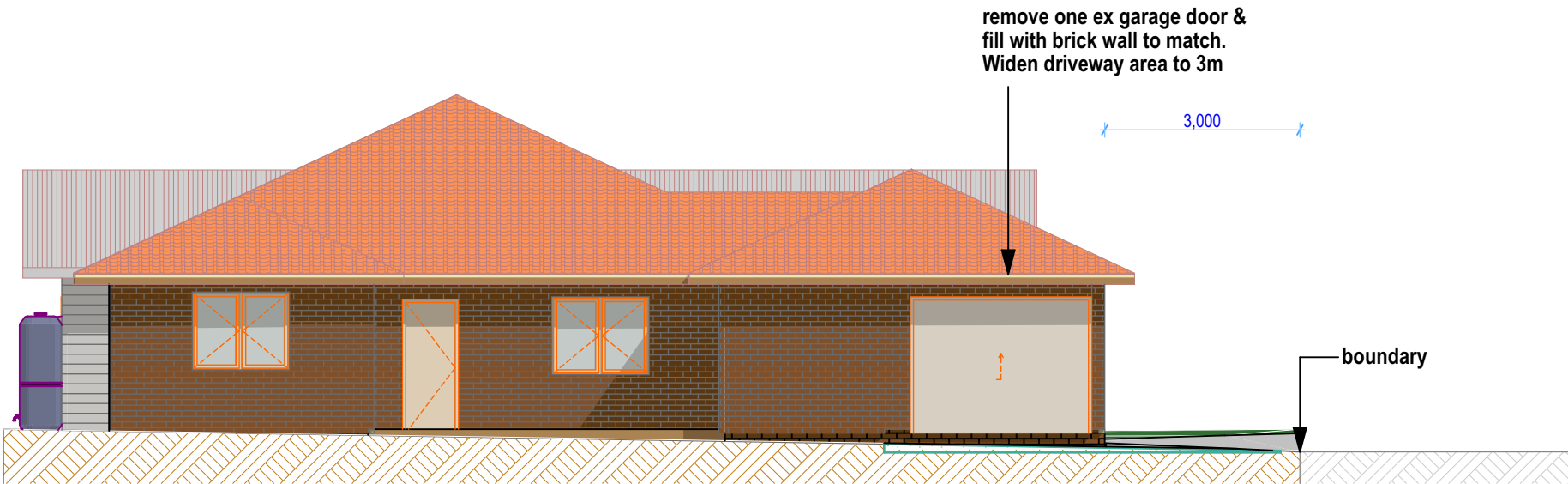


NOTE:

SITE AREA 760.73 sqm
DEEP SOIL PLANTING AREA 280.00 sqm



0. LANDSCAPE PLAN 1:200



E-09 STREET ELEVATION 1:100

