

57 CARLYLE STREET, BYRON BAY 2481

DWG NO.	DRAWING	REVISION	SCALE
DA.00	COVER SHEET	B	NTS
DA.01	SITE ANALYSIS	B	1:200
DA.02	DEMOLITION GROUND FLOOR PLAN	B	1:200
DA.03	DEMOLITION ROOF PLAN	B	1:200
DA.04	SITE PLAN	B	1:200
DA.05	DWELLING A GROUND FLOOR PLAN	B	1:100
DA.06	DWELLING A ROOF PLAN	B	1:100
DA.07	DWELLING B + C GROUND FLOOR PLAN DUPLEX	B	1:100
DA.08	DWELLING B + C FIRST FLOOR PLAN	B	1:100
DA.09	DWELLING B + C ROOF PLAN	B	1:100
DA.10	SECTION AA	B	1:100
DA.11	SECTION BB	B	1:100
DA.12	SECTION CC	B	1:100
DA.13	SOUTH ELEVATION	B	1:100
DA.14	NORTH ELEVATION	B	1:100
DA.15	EAST ELEVATION	B	1:100
DA.16	WEST ELEVATION	B	1:100
DA.17	DWELLING A REAR ELEVATION	B	1:100
DA.18	DWELLING B + C REAR ELEVATION	B	1:100
DA.19	SUN SHADOWS - JUNE 21 9AM	B	1:300
DA.20	SUN SHADOWS - JUNE 21 12PM	B	1:300
DA.21	SUN SHADOWS - JUNE 21 3PM	B	1:300
DA.22	GFA GROUND FLOOR PLAN	B	1:150
DA.23	GFA FIRST FLOOR PLAN	B	1:150
DA.24	WASTE MANAGEMENT PLAN	B	1:200
DA.25	PHOTOMONTAGE	A	NTS
LP.01	LANDSCAPE PLAN	B	1:200
LP.02	LANDSCAPE DETAILS	B	NTS
NOT.01	NOTIFICATION PLANS 01	A	NTS
NOT.02	NOTIFICATION PLANS 02	A	NTS
NOT.03	NOTIFICATION PLANS 03	A	NTS

REFER SURVEY PLAN PREPARED BY CANTY'S SURVEYORS

REFER BASIX CERTIFICATE PREPARED BY PARTNERS ENERGY

REFER LANDSCAPE PLAN PREPARED BY THOSE ARCHITECTS

REFER STORMWATER PLAN PREPARED BY ARDILL PAYNE & PARTNERS

REFER SEE PREPARED BY ARDILL PAYNE & PARTNERS

COMPLIANCE TABLE

LGA	BYRON SHIRE COUNCIL	
LOT + DP NO	LOT 2, SECTION 00, DP 401710	
ZONING.	ZONE R2 - LOW DENSITY RESIDENTIAL	
SITE AREA.	1,164.51 m <sup>2</sup>	
CONTROLS.	BYRON SHIRE DCP 2014	PROPOSAL
FSR.	0.5:1 (582.26 m <sup>2</sup> )	0.37:1 (248.74 m <sup>2</sup> )
SITE COVERAGE		
BUILDING HEIGHT.	9.0 m	VARIES - MAX 8.1 m
FRONT SETBACK.	4.5 m	UNCHANGED - ESTABLISHED
SIDE SETBACK.	0.9 / 1.5 m	VARIES- 0.90 m MIN
REAR SETBACK.	4.5 m	5.5 m MIN
OPEN SPACE	30.0 m <sup>2</sup> (PER DWELLING)	VARIES - 39.45 m <sup>2</sup> MIN
LANDSCAPING	25% (291.13 m <sup>2</sup> )	27.50% - (319.78 m <sup>2</sup> )
POOL	1.5 m FROM BOUNDARY	VARIES- 1.5 m MIN



2 LOCATION MAP 1:1

NOTE  
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REVISION				
A	FOR INFORMATION	LH/EM	6/11/17	
B	FOR DEVELOPMENT APPLICATION	EM/SA	22/11/17	

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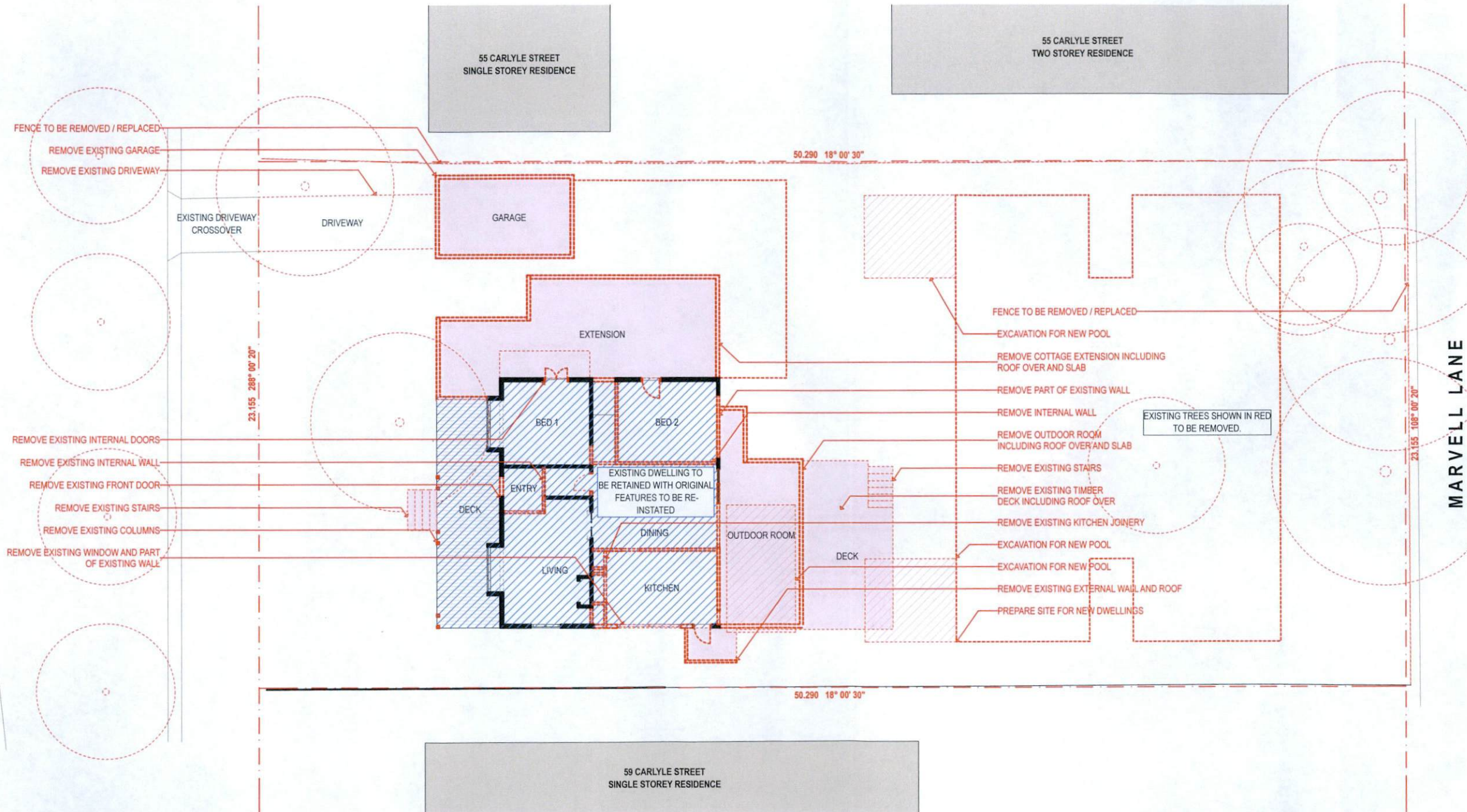
PROJECT. CARLYLE STREET HOUSES  
PROJECT NO. 17011  
OWNER. DROMORE PTY LTD  
ADDRESS. 57 CARLYLE STREET, BYRON BAY 2481  
DRAWING TITLE. COVER SHEET  
SCALE. NTS AT A3  
DRAWN / CHECKED. LH/EM  
ISSUED. FOR DEVELOPMENT APPLICATION

DRAWING  
DA.00  
REVISION  
B









BASIX COMMITMENTS - DWELLINGS B & C New Dwellings	
Water	-Landscaping Indigenous or low water use species -Pool Max 18kL outdoor pool -Water tank Dwellings to have an individual tank of at least 1500L collecting rain water from at least 90SQM of roof area and connected to landscape tap, toilet and laundry
Energy	-Hot water system Gas instantaneous 5 star -Heating and Cooling Ceiling fans for bedrooms and living room -Natural lighting In at least 1 bathroom/toilet -Alternative energy Dwelling B to install a 1kW photovoltaic system
Thermal Comfort	-In-slab heating/cooling system Floor insulation of at least R1.0 around the vertical edges of the slab (if concrete), or insulation R1.0 under the slab and around the vertical edges (if suspended floor) -Floors Concrete slab on ground with no minimum R value insulation -Walls External Walls: Cavity panel, minimum total system R value of R2.0 (bulk value) -Ceilings Plasterboard ceiling, minimum total system R value of R3.0 (bulk value) -Roof Sheet metal roofing - Reflective airgap required -Windows & glazed doors Given values are AFRC, total window system values (glass and frame) U-Value: 5.40 (equal to or lower than) SHGC: 0.58 (±5%) Clear Low-e glass in AL Frame -Skylights Double glazed OPAL U-Value: 2.60 (equal to or lower than) SHGC: 0.24

BASIX COMMITMENTS - DWELLING A Alterations & Additions	
Pool	Max 21kL outdoor pool
Insulation Requirements	-Floors Concrete slab on ground with no minimum R value insulation Framed suspended floor with open subfloor with R0.7 insulation (insulation value only) Framed suspended floor with enclosed subfloor with R0.7 insulation (insulation value only) -Walls External Walls: Framed, minimum total system R value of R1.0 (insulation value only) (R1.40 including construction) Internal walls shared with garage: Single skin masonry R0.18 -Ceilings Plasterboard ceiling -Roof Metal roof with foil backed blanket (R3 down) External colour: Medium (SA 0.475-0.7)
Glazing requirements	-Windows & glazed doors Given values are AFRC, total window system values (glass and frame) Timber or uPVC single clear performance glazing to all windows/glazed doors U-Value: 5.71 (equal to or lower than) SHGC: 0.66 (±10%) -External shade Shading as drawings

LEGEND-CODES	
AHD AUSTRALIAN HEIGHT DATUM	HWS HOT WATER SYSTEM
B- BATTEN TYPE	L6 LOUVER GLASS
C- COLUMN TYPE	MR METAL ROOF
CL CENTER LINE	PAV PAVEMENT
CONC CONCRETE	PC PAINTED CLADDING TYPE
CPT CARPET	PCONC POLISHED CONCRETE
D DOOR	POLY POLYCARBONATE
DP DOWN PIPE	PR PAINTED RENDER
EG EAVES GUTTER	PT POOL TILE
F FENCE TYPE	RL REDUCED LEVEL
FC FIBRE CEMENT	RWT RAIN WATER TANK
FCL FINISHED CEILING HEIGHT	SG SLIDING GLASS
FFL FINISH FLOOR LEVEL	TD TIMBER DECK
FG FIXED GLASS	TF TIMBER FLOORING
FT FLOOR TILE	TOF TOP OF FENCE
G GATE	TOW TOP OF WALL
HR HAND RAIL	W WINDOW

1 DEMOLITION PLAN - GROUND  
1:200

**NOTE**  
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**PROJECT.**  
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**ADDRESS.**

CARLYLE STREET HOUSES  
17011  
DROMORE PTY LTD  
57 CARLYLE STREET, BYRON BAY 2481

**DRAWING TITLE.**  
**SCALE.**  
**DRAWN / CHECKED.**  
**ISSUED.**

DEMOLITION GROUND FLOOR PLAN  
1:200 AT A3  
LH/EM  
FOR DEVELOPMENT APPLICATION

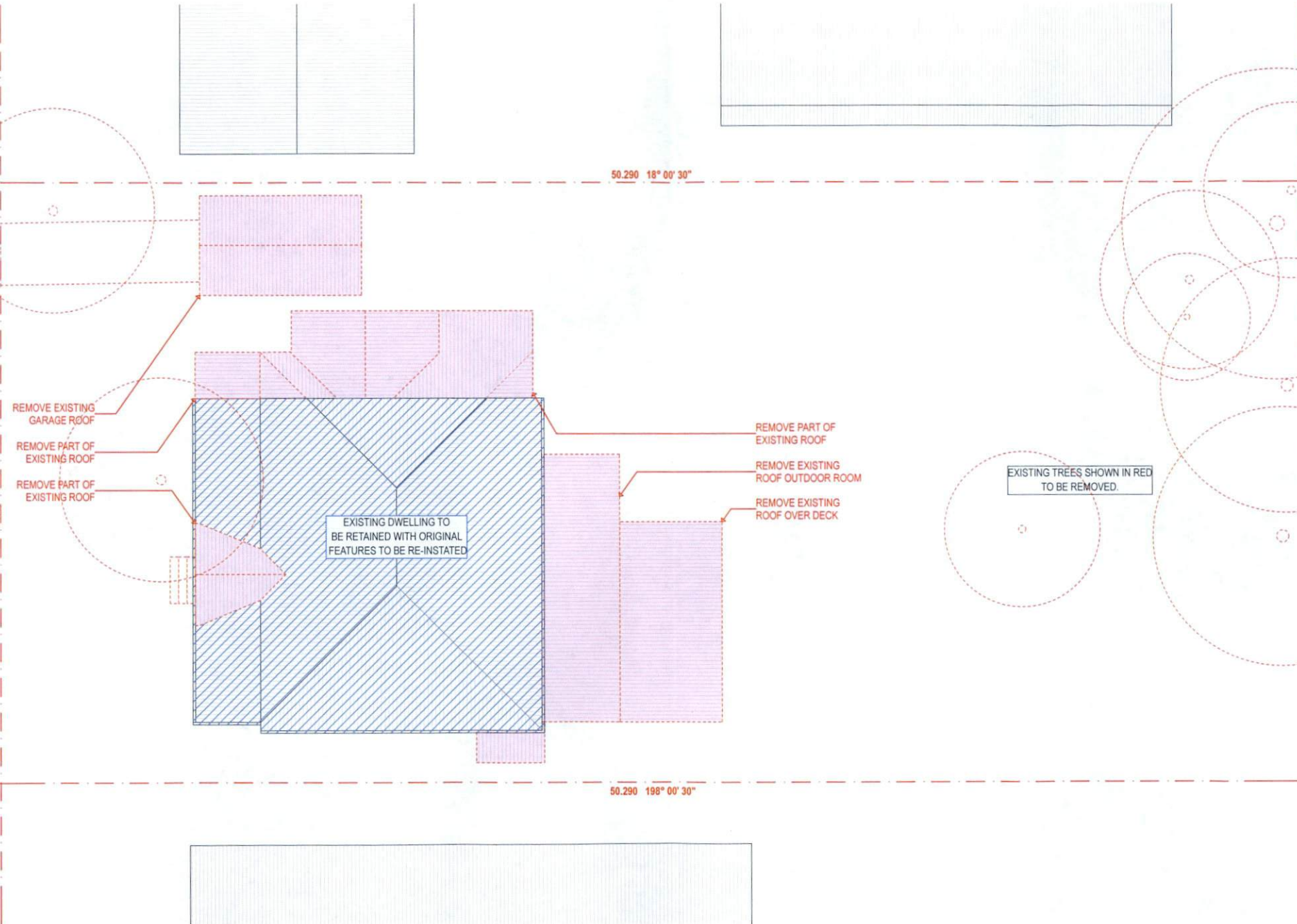
**DRAWING**  
**DA.02**

**REVISION**  
**B**



CARLYLE STREET

MARVELL LANE



BASIX COMMITMENTS - DWELLINGS B & C New Dwellings	
Water	<ul style="list-style-type: none"><li>-Landscaping Indigenous or low water use species</li><li>-Pool Max 18kL outdoor pool</li><li>-Water tank Dwellings to have an individual tank of at least 1500L collecting rain water from at least 90SQM of roof area and connected to landscape tap, toilet and laundry</li></ul>
Energy	<ul style="list-style-type: none"><li>-Hot water system Gas instantaneous 5 star</li><li>-Heating and Cooling Ceiling fans for bedrooms and living room</li><li>-Natural lighting In at least 1 bathroom/toilet</li><li>-Alternative energy Dwelling B to install a 1kW photovoltaic system</li></ul>
Thermal Comfort	<ul style="list-style-type: none"><li>-In-slab heating/cooling system Floor insulation of at least R1.0 around the vertical edges of the slab (if concrete), or insulation R1.0 under the slab and around the vertical edges (if suspended floor)</li><li>-Floors Concrete slab on ground with no minimum R value insulation</li><li>-Walls External Walls: Cavity panel, minimum total system R value of R2.0 (bulk value)</li><li>-Ceilings Plasterboard ceiling, minimum total system R value of R3.0 (bulk value)</li><li>-Roof Sheet metal roofing - Reflective airgap required</li><li>-Windows &amp; glazed doors Given values are AFRC, total window system values (glass and frame) U-value: 5.40 (equal to or lower than) SHGC: 0.58 (±5%) Clear Low-e glass in AL Frame</li><li>-Skylights Double glazed OPAL U-value: 2.50 (equal to or lower than) SHGC: 0.24</li></ul>

BASIX COMMITMENTS - DWELLING A Alterations & Additions	
Pool	<ul style="list-style-type: none"><li>Max 21kL outdoor pool</li></ul>
Insulation Requirements	<ul style="list-style-type: none"><li>-Floors Concrete slab on ground with no minimum R value insulation Framed suspended floor with open subfloor with R0.7 insulation (insulation value only) Framed suspended floor with enclosed subfloor with R0.7 insulation (insulation value only)</li><li>-Walls External Walls: Framed, minimum total system R value of R1.0 (insulation value only) (R1.40 including construction) Internal walls shared with garage: Single skin masonry R0.18</li><li>-Ceilings Plasterboard ceiling</li><li>-Roof Metal roof with foil backed blanket (R3 down) External colour: Medium (SA 0.475-0.7)</li></ul>
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C	COLUMN TYPE	MR	METAL ROOF
CL	CENTER LINE	PAV	PAVER
CONC	CONCRETE	PC	PAINTED CLADDING TYPE
CPT	CARPET	PCONC	POLISHED CONCRETE
D	DOOR	POLY	POLYCARBONATE
DP	DOWN PIPE	PS	PAINTED RENDER
EG	EAVES GUTTER	PT	POOL TILE
F	FENCE TYPE	RL	REDUCED LEVEL
FC	FIBRE CEMENT	RWT	RAIN WATER TANK
FCL	FINISHED CEILING HEIGHT	SG	SLIDING GLASS
FFL	FINISH FLOOR LEVEL	TD	TIMBER DECK
FG	FIXED GLASS	TF	TIMBER FLOORING
FT	FLOOR TILE	TOW	TOP OF FENCE
G	GATE	TOW	TOP OF WALL
HR	HAND RAIL	W	WINDOW

1 DEMOLITION PLAN - ROOF  
1:200

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B	FOR DEVELOPMENT APPLICATION	EM/SA	22/11/17

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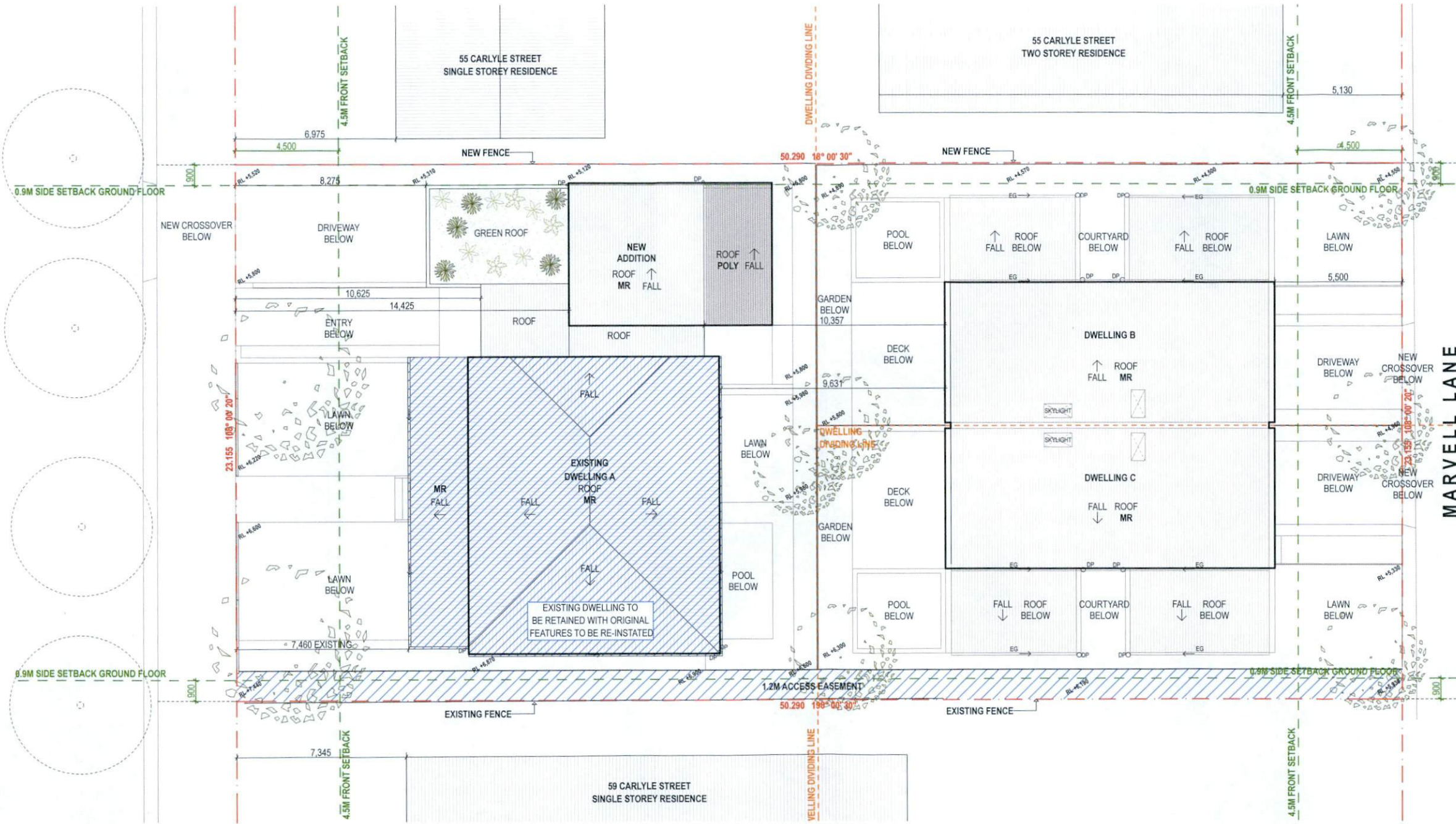
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CARLYLE STREET HOUSES  
17011  
DROMORE PTY LTD  
57 CARLYLE STREET, BYRON BAY 2481  
DEMOLITION ROOF PLAN  
1:200 AT A3  
LH/EM  
FOR DEVELOPMENT APPLICATION

**DRAWING**  
**DA.03**  
**REVISION**  
**B**



CARLYLE STREET



BASIX COMMITMENTS - DWELLINGS B & C	
New Dwellings	
Water	-Landscaping Indigenous or low water use species -Pool Max 18kL outdoor pool -Water tank Dwellings to have an individual tank of at least 5500L collecting rain water from at least 90SQM of roof area and connected to landscape tap, toilet and laundry
Energy	-Hot water system Gas instantaneous 5 star -Heating and Cooling Ceiling fans for bedrooms and living room -Natural lighting In at least 1 bathroom/toilet -Alternative energy Dwelling B to install a 1kW photovoltaic system
Thermal Comfort	-In-slab heating/cooling system Floor insulation of at least R1.0 around the vertical edges of the slab (if concrete), or insulation R1.0 under the slab and around the vertical edges (if suspended floor) -Floors Concrete slab on ground with no minimum R value insulation -Walls External Walls: Cavity panel, minimum total system R value of R2.0 (bulk value) -Ceilings Plasterboard ceiling, minimum total system R value of R3.0 (bulk value) -Roof Sheet metal roofing - Reflective airgap required -Windows & glazed doors Given values are AFRC, total window system values (glass and frame) U-Value: 5.40 (equal to or lower than) SHGC: 0.58 (±5%) Clear Low-e glass in AL Frame -Skylights Double glazed OPAL U-Value: 2.60 (equal to or lower than) SHGC: 0.24

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Alterations & Additions	
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B-	BATTEN TYPE
C	COLUMN TYPE
CL	CENTER LINE
CONC	CONCRETE
CPT	CARPET
D	DOOR
DP	DOWN PIPE
EG	EAVES GUTTER
F	FENCE TYPE
FC	FIBRE CEMENT
FCL	FINISHED CEILING HEIGHT
FPL	FINISH FLOOR LEVEL
FG	FIXED GLASS
FT	FLOOR TILE
HR	HAND RAIL
HWS	HOT WATER SYSTEM
LG	LOUVER GLASS
MR	METAL ROOF
PAV	PAVER
PC	PAINTED CLADDING TYPE
PCONC	POLISHED CONCRETE
PR	PAINTED RENDER
POLY	POLYCARBONATE
PT	PAINTED TILE
RL	REDUCED LEVEL
RWT	RAIN WATER TANK
SG	SLIDING GLASS
TD	TIMBER DECK
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TOP	TOP OF FENCE
TOW	TOP OF WALL
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1 SITE PLAN  
1:200

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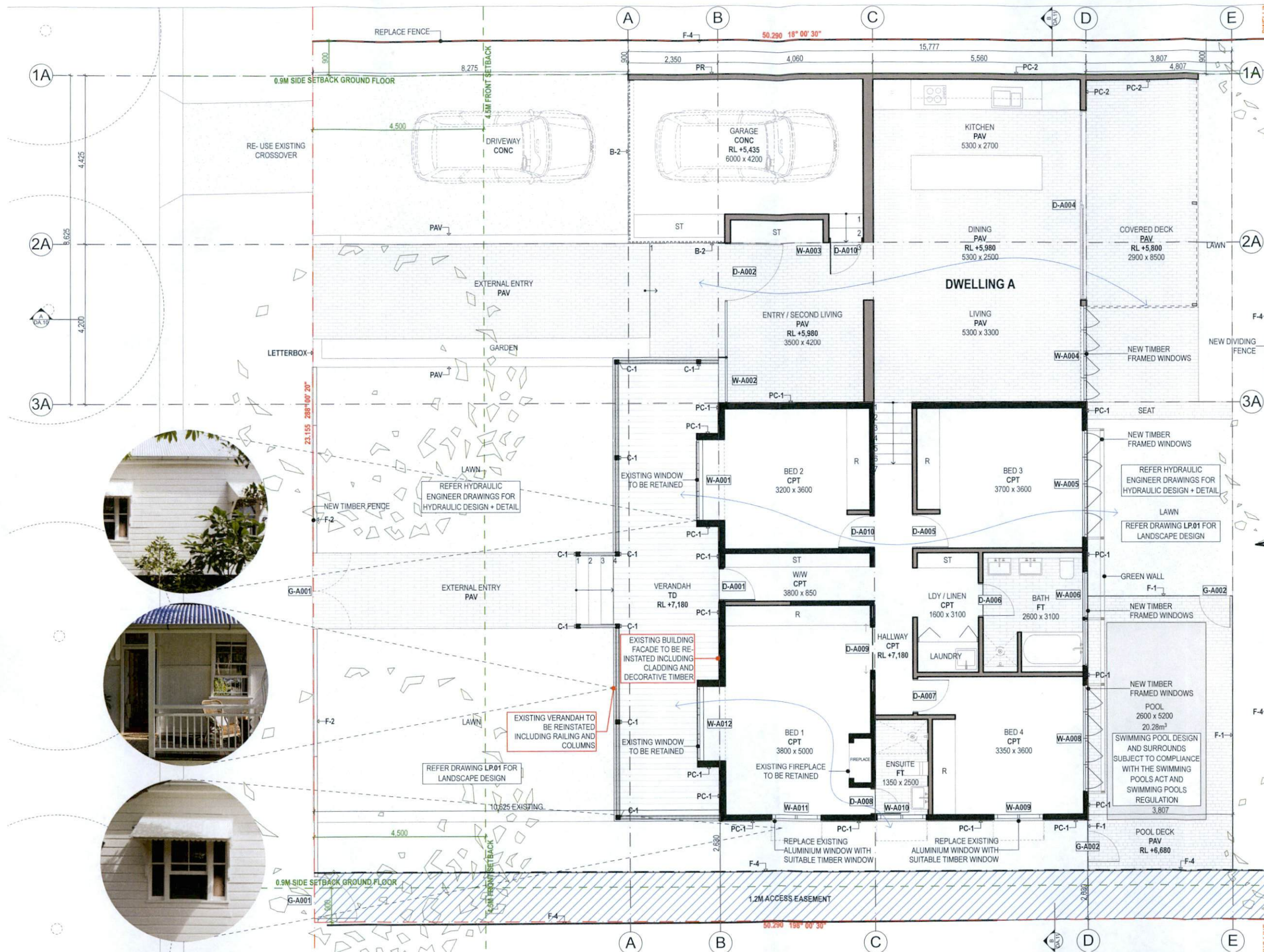
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SITE PLAN  
1:100 AT A3  
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DRAWING  
DA.04REVISION  
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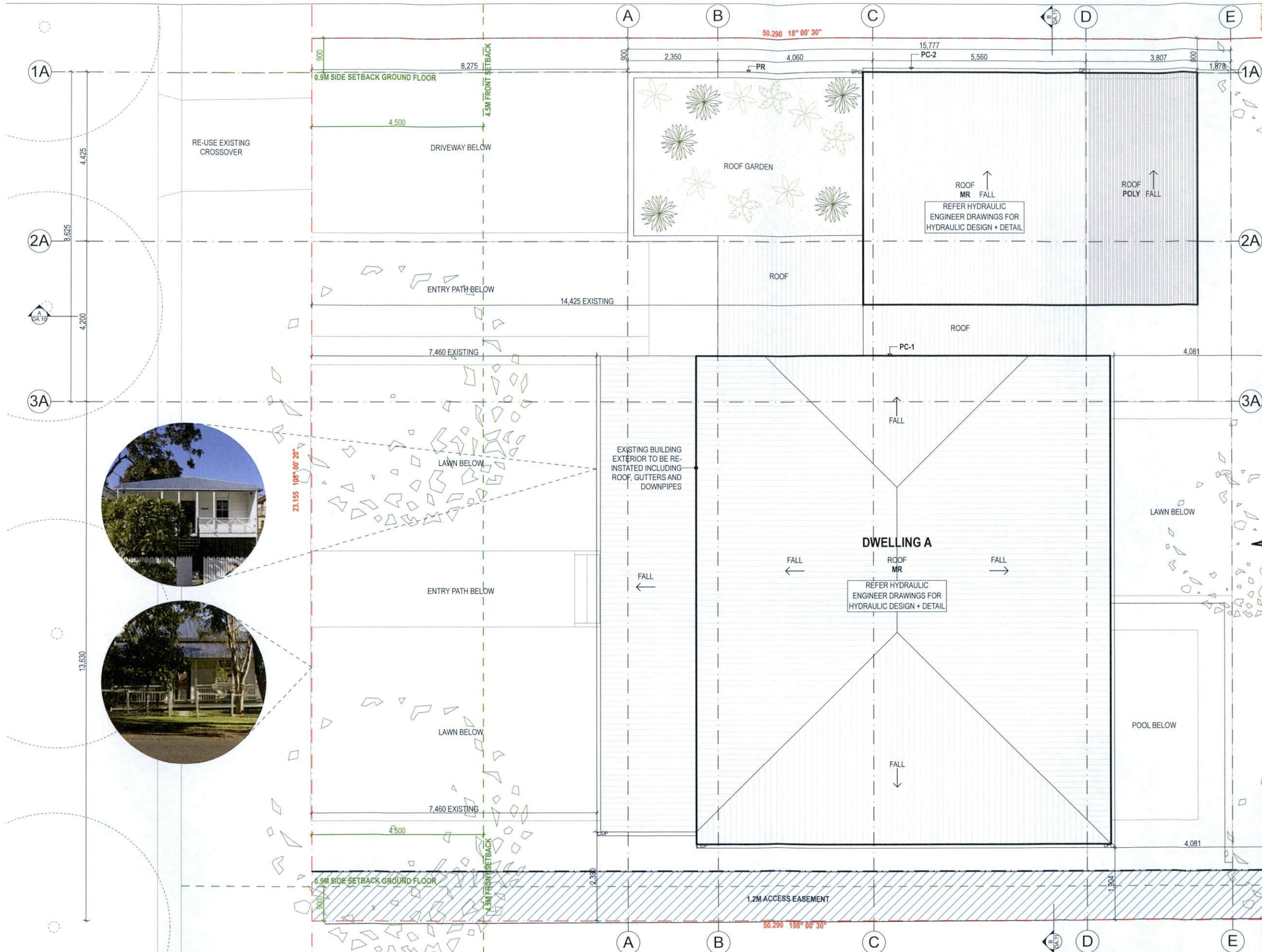
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HR	HAND RAIL	W	WINDOW

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**REFERENCES**  
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- REFER BASIC CERTIFICATE PREPARED BY PARTNERS ENERGY  
- REFER LANDSCAPE PLAN PREPARED BY THOSE ARCHITECTS  
- REFER STORMWATER PLAN PREPARED BY ARDILL PAYNE & PARTNERS  
- REFER SEE PREPARED BY ARDILL PAYNE & PARTNERS





BASIX COMMITMENTS - DWELLINGS B & C	
New Dwellings	
Water	-Landscaping Indigenous or low water use species -Pool Max 18kL outdoor pool -Water tank Dwellings to have an individual tank of at least 1500L collecting rain water from at least 90SQM of roof area and connected to landscape tap, toilet and laundry
Energy	-Hot water system Gas instantaneous 5 star -Heating and Cooling Ceiling fans for bedrooms and living room -Natural lighting In at least 1 bathroom/toilet -Alternative energy Dwelling B to install a 1kW photovoltaic system
Thermal Comfort	-In-slab heating/cooling system Floor insulation of at least R1.0 around the vertical edges of the slab (if concrete), or insulation R1.0 under the slab and around the vertical edges (if suspended floor) -Floors Concrete slab on ground with no minimum R value insulation -Walls External Walls: Cavity panel, minimum total system R value of R2.0 (bulk value) -Ceilings Plasterboard ceiling, minimum total system R value of R3.0 (bulk value) -Roof Sheet metal roofing - Reflective airgap required -Windows & glazed doors Given values are AFRC, total window system values (glass and frame) U-Value: 5.40 (equal to or lower than) SHGC: 0.58 (±5%) Clear Low-e glass in AL Frame -Skylights Double glazed OPAL U-Value: 2.60 (equal to or lower than) SHGC: 0.24

BASIX COMMITMENTS - DWELLING A	
Alterations & Additions	
Pool	Max 21kL outdoor pool
Insulation Requirements	-Floors Concrete slab on ground with no minimum R value insulation Framed suspended floor with open subfloor with R0.7 insulation (insulation value only) Framed suspended floor with enclosed subfloor with R0.7 insulation (insulation value only) -Walls External Walls: Framed, minimum total system R value of R1.0 (insulation value only) (RL40 including construction) Internal walls shared with garage: Single skin masonry R0.18 -Ceilings Plasterboard ceiling -Roof Metal roof with foil backed blanket (R3 down) External colour: Medium (SA 0.475-0.7)
Glazing requirements	-Windows & glazed doors Given values are AFRC, total window system values (glass and frame) Timber or uPVC single clear performance glazing to all windows/glazed doors U-Value: 5.71 (equal to or lower than) SHGC: 0.66 (±10%) -External shade Shading as drawings

LEGEND-CODES	
AHD	AUSTRALIAN HEIGHT DATUM
B	BATTEN TYPE
C	COLUMN TYPE
CL	CENTER LINE
CONC	CONCRETE
CPT	CARPET
D	DOOR
DP	DOWN PIPE
EG	EAVES GUTTER
F	FENCE TYPE
FC	FIBRE CEMENT
FCL	FINISHED CEILING HEIGHT
FFL	FINISH FLOOR LEVEL
FG	FIXED GLASS
FT	FLOOR TILE
G	GATE
HR	HAND RAIL
HWS	HOT WATER SYSTEM
LG	LOUVER GLASS
MR	METAL ROOF
PAV	PAVER
PC	PAINTED CLADDING TYPE
PCONC	POLISHED CONCRETE
POLY	POLYCARBONATE
PR	PAINTED RENDER
PT	POOL TILE
RL	REDUCED LEVEL
RWT	RAIN WATER TANK
SG	SLIDING GLASS
TD	TIMBER DECK
TF	TIMBER FLOORING
TOW	TOP OF FENCE
W	WINDOW

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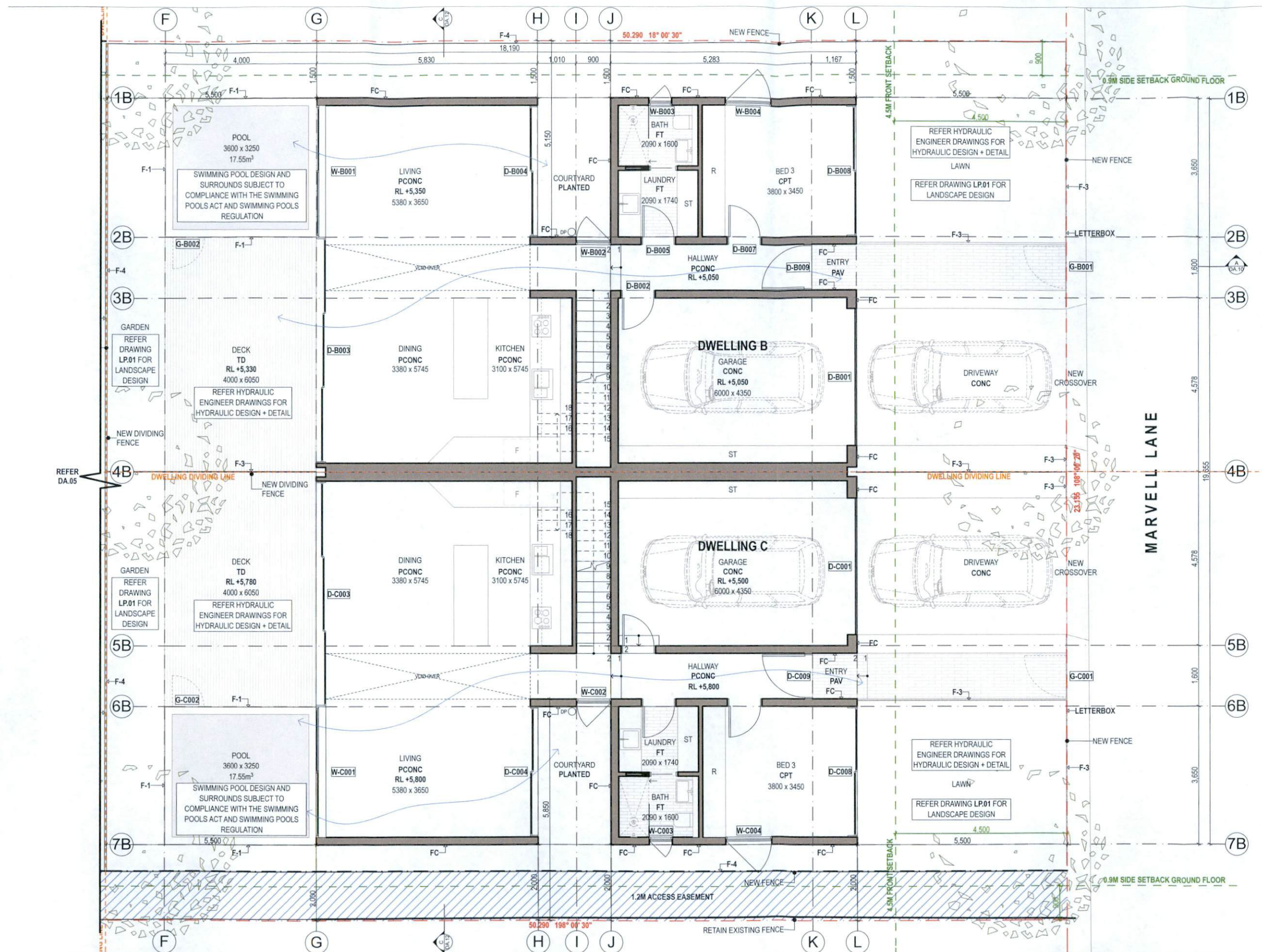
REVISION				
A	FOR INFORMATION	LH/EM	6/11/17	
B	FOR DEVELOPMENT APPLICATION	EM/SA	22/11/17	

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**PROJECT.**  
PROJECT NO.  
OWNER.  
ADDRESS.  
DRAWING TITLE.  
SCALE.  
DRAWN / CHECKED.  
ISSUED.  
CARLYLE STREET HOUSES  
17011  
DROMORE PTY LTD  
57 CARLYLE STREET, BYRON BAY 2481  
DWELLING A ROOF PLAN  
1:100 AT A3  
LH/EM  
FOR DEVELOPMENT APPLICATION

**DRAWING**  
**DA.06**  
**REVISION**  
**B**





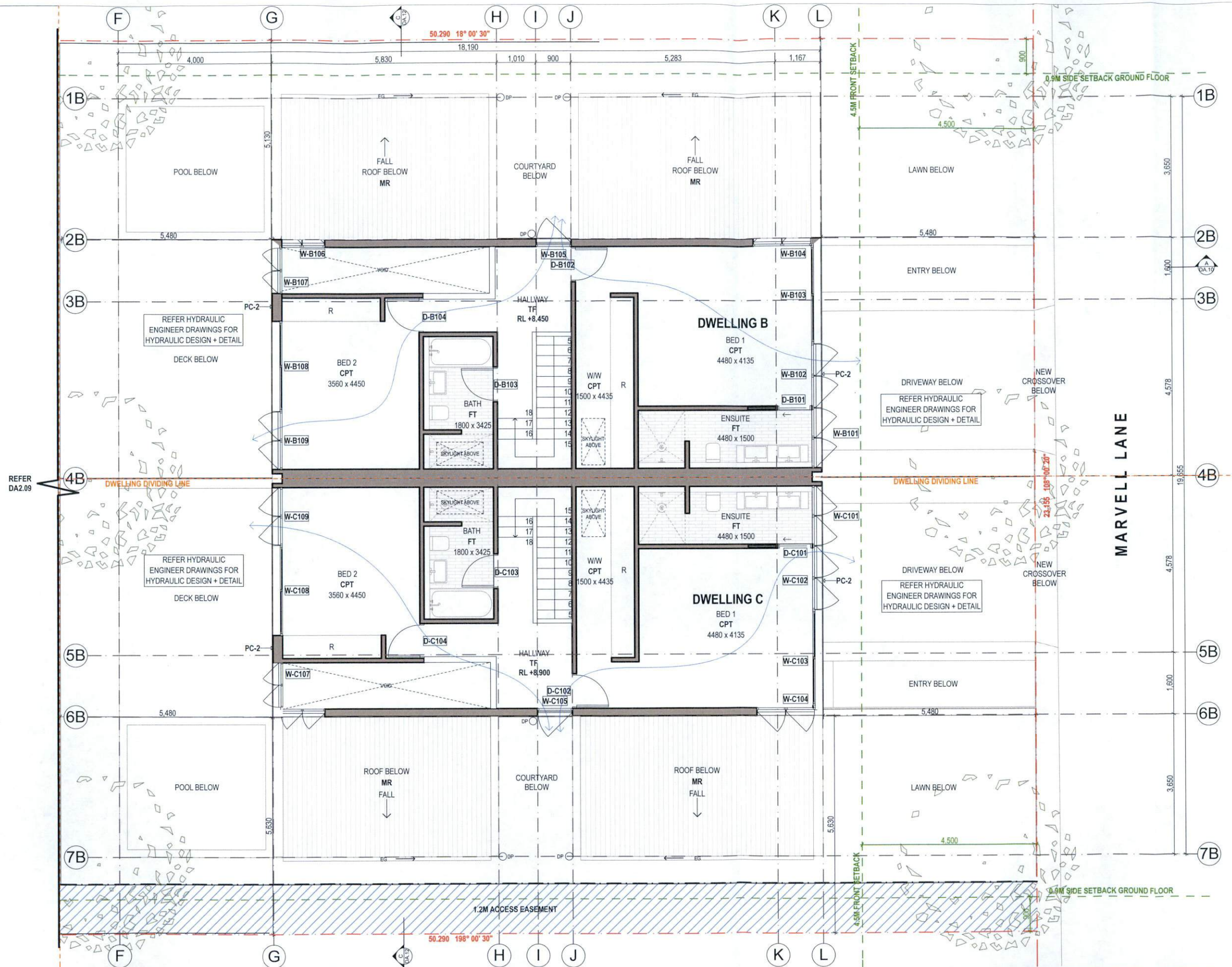
BASIX COMMITMENTS - DWELLINGS B & C	
New Dwellings	
Water	<ul style="list-style-type: none"> <li>-Landscaping</li> <li>Indigenous or low water use species</li> <li>-Pool</li> <li>Max 18kL outdoor pool</li> <li>-Water tank</li> <li>Dwellings to have an individual tank of at least 1500L collecting rain water from at least 90SQM of roof area and connected to landscape tap, toilet and laundry</li> </ul>
Energy	<ul style="list-style-type: none"> <li>-Hot water system</li> <li>Gas instantaneous 5 star</li> <li>-Heating and Cooling</li> <li>Ceiling fans for bedrooms and living room</li> <li>-Natural lighting</li> <li>In at least 1 bathroom/toilet</li> <li>-Alternative energy</li> <li>Dwelling B to install a 1kW photovoltaic system</li> </ul>
Thermal Comfort	<ul style="list-style-type: none"> <li>-In-slab heating/cooling system</li> <li>Floor insulation of at least R1.0 around the vertical edges of the slab (if concrete), or insulation R1.0 under the slab and around the vertical edges (if suspended floor)</li> <li>-Floors</li> <li>Concrete slab on ground with no minimum R value insulation</li> <li>-Walls</li> <li>External Walls: Cavity panel, minimum total system R value of R2.0 (bulk value)</li> <li>-Ceilings</li> <li>Plasterboard ceiling, minimum total system R value of R3.0 (bulk value)</li> <li>-Roof</li> <li>Sheet metal roofing - Reflective airgap required</li> <li>-Windows &amp; glazed doors</li> <li>Given values are AFRC, total window system values (glass and frame)</li> <li>U-Value: 5.40 (equal to or lower than)</li> <li>SHGC: 0.58 (±5%) Clear Low-e glass in AL Frame</li> <li>-Skylights</li> <li>Double glazed OPAL</li> <li>U-Value: 2.60 (equal to or lower than)</li> <li>SHGC: 0.24</li> </ul>

BASIX COMMITMENTS - DWELLING A Alterations & Additions	
Pool	Max 21kL outdoor pool
Insulation Requirements	<ul style="list-style-type: none"> <li>-Floors</li> <li>Concrete slab on ground with no minimum R value insulation</li> <li>Framed suspended floor with open subfloor with R0.7 insulation (insulation value only)</li> <li>Framed suspended floor with enclosed subfloor with R0.7 insulation (insulation value only)</li> <li>-Walls</li> <li>External Walls: Framed, minimum total system R value of R1.0 (insulation value only) (R1.40 including construction)</li> <li>Internal walls shared with garage: Single skin masonry R0.18</li> <li>-Ceilings</li> <li>Plasterboard ceiling</li> <li>-Roof</li> <li>Sheet metal roof with foil backed blanket (R3 down)</li> <li>External colour: Medium (SA 0.475-0.7)</li> </ul>
Glazing requirements	<ul style="list-style-type: none"> <li>-Windows &amp; glazed doors</li> <li>Given values are AFRC, total window system values (glass and frame)</li> <li>Timber or uPVC single clear performance glazing to all windows/glazed doors</li> <li>U-Value: 5.71 (equal to or lower than)</li> <li>SHGC: 0.66 (±10%)</li> <li>-External shade</li> <li>Shading as drawings</li> </ul>

LEGEND-CODES	
AHD	AUSTRALIAN HEIGHT DATUM
B	BATTEN TYPE
C	COLUMN TYPE
CL	CENTER LINE
CONC	CONCRETE
CPT	CARPET
D	DOWN PIPE
EG	EAVES GUTTER
F	FENCE TYPE
FC	FIBRE CEMENT
FCL	FINISHED CEILING HEIGHT
FFL	FINISH FLOOR LEVEL
FG	FIXED GLASS
FT	FLOOR TILE
G	GATE
HR	HAND RAIL
HWS	HOT WATER SYSTEM
LQ	LOUVER GLASS
MR	METAL ROOF
PAV	PAVER
PC	PAINTED CLADDING TYPE
PCONC	POLISHED CONCRETE
POLY	POLYCARBONATE
PR	PAINTED RENDER
PT	POOL TILE
RL	REDUCED LEVEL
RWT	RAIN WATER TANK
SG	SLOING GLASS
TD	TIMBER DECK
TF	TIMBER FLOORING
TOW	TOP OF FENCE
TOW	TOP OF WALL
W	WINDOW

1 DWELLING B + C GROUND FLOOR PLAN  
1:100





BASIX COMMITMENTS - DWELLINGS B & C New Dwellings	
Water	<ul style="list-style-type: none"> <li>-Landscaping: Indigenous or low water use species</li> <li>-Pool: Max 18kL outdoor pool</li> <li>-Water tank: Dwellings to have an individual tank of at least 1500L collecting rain water from at least 90SQM of roof area and connected to landscape tap, toilet and laundry</li> </ul>
Energy	<ul style="list-style-type: none"> <li>-Hot water system: Gas instantaneous 5 star</li> <li>-Heating and Cooling: Ceiling fans for bedrooms and living room</li> <li>-Natural lighting: In at least 1 bathroom/toilet</li> <li>-Alternative energy: Dwelling B to install a 1kW photovoltaic system</li> </ul>
Thermal Comfort	<ul style="list-style-type: none"> <li>-In-slab heating/cooling system: Floor insulation of at least R1.0 around the vertical edges of the slab (if concrete), or insulation R1.0 under the slab and around the vertical edges (if suspended floor)</li> <li>-Floors: Concrete slab on ground with no minimum R value insulation</li> <li>-Walls: External Walls: Cavity panel, minimum total system R value of R2.0 (bulk value)</li> <li>-Ceilings: Plasterboard ceiling, minimum total system R value of R3.0 (bulk value)</li> <li>-Roof: Sheet metal roofing - Reflective airgap required</li> <li>-Windows &amp; glazed doors: Given values are AFRC, total window system values (glass and frame) U-Value: 5.40 (equal to or lower than) SHGC: 0.58 (±5%) Clear Low-e glass in AL Frame</li> <li>-Skylights: Double glazed OPAL U-Value: 2.60 (equal to or lower than) SHGC: 0.24</li> </ul>

BASIX COMMITMENTS - DWELLING A Alterations & Additions	
Pool	Max 21kL outdoor pool
Insulation Requirements	<ul style="list-style-type: none"> <li>-Floors: Concrete slab on ground with no minimum R value insulation</li> <li>-Walls: External Walls: Framed, minimum total system R value of R1.0 (insulation value only) (R1.40 including construction) Internal walls shared with garage: Single skin masonry R0.18</li> <li>-Ceilings: Plasterboard ceiling</li> <li>-Roof: Metal roof with foil backed blanket (R3 down) External colour: Medium (SA 0.475-0.7)</li> </ul>
Glazing requirements	<ul style="list-style-type: none"> <li>-Windows &amp; glazed doors: Given values are AFRC, total window system values (glass and frame) Timber or uPVC single clear performance glazing to all windows/glazed doors U-Value: 5.71 (equal to or lower than) SHGC: 0.66 (±10%)</li> <li>-External shade: Shading as drawings</li> </ul>

LEGEND-CODES	
AHD	AUSTRALIAN HEIGHT DATUM
B	BATTEN TYPE
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CONC	CONCRETE
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MR	METAL ROOF
PAV	PAVER
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POLY	POLYCARBONATE
PR	PAINTED RENDER
PT	POOL TILE
RL	REDUCED LEVEL
RWT	RAIN WATER TANK
SG	SLIDING GLASS
TD	TIMBER DECK
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TOP	TOP OF FENCE
TOW	TOP OF WALL
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REVISION			
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**PROJECT.**  
**PROJECT NO.**  
**OWNER.**  
**ADDRESS.**

**DRAWING TITLE.**  
**SCALE.**  
**DRAWN / CHECKED.**  
**ISSUED.**

CARLYLE STREET HOUSES  
17011  
DROMORE PTY LTD  
57 CARLYLE STREET, BYRON BAY 2481

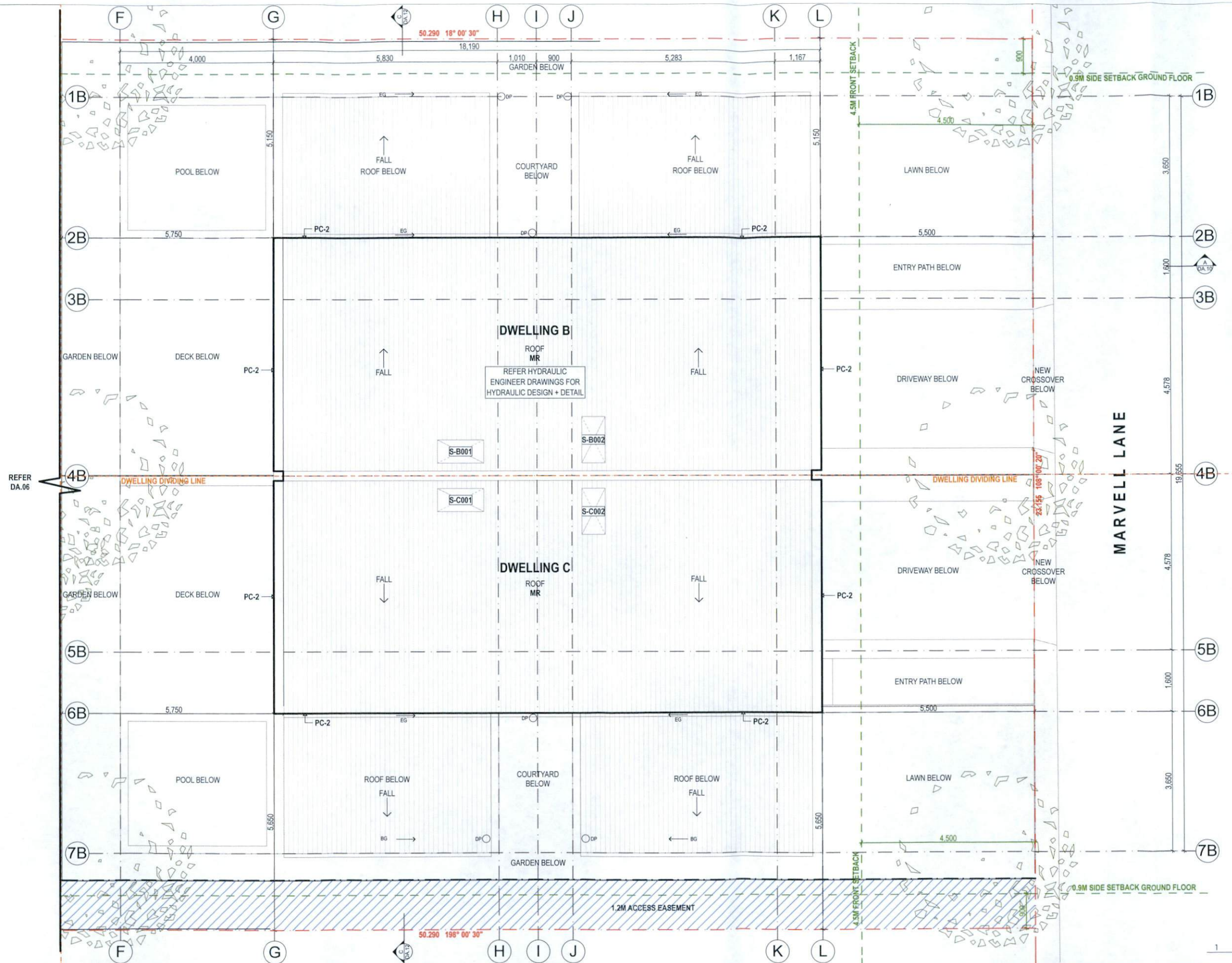
DWELLING B + C FIRST FLOOR PLAN  
1:100 AT A3  
LH/EM  
FOR DEVELOPMENT APPLICATION

**DRAWING**  
**DA.08**

**REVISION**  
**B**

DWELLING B + C FIRST FLOOR PLAN  
1:100





BASIX COMMITMENTS - DWELLINGS B & C New Dwellings	
Water	-Landscaping Indigenous or low water use species -Roof Max 18kL outdoor pool -Water tank Dwellings to have an individual tank of at least 1500L, collecting rain water from at least 9050mm of roof area and connected to landscape tap, toilet and laundry
Energy	-Hot water system Gas instantaneous 5 star -Heating and Cooling Ceiling fans for bedrooms and living room -Natural lighting In at least 1 bathroom/toilet -Alternative energy Dwelling B to install a 1kW photovoltaic system
Thermal Comfort	-In-slab heating/cooling system Floor insulation of at least R1.0 around the vertical edges of the slab (if concrete), or insulation R1.0 under the slab and around the vertical edges (if suspended floor) -Floors Concrete slab on ground with no minimum R value insulation -Walls External Walls: Cavity panel, minimum total system R value of R2.0 (bulk value) -Ceilings Plasterboard ceiling, minimum total system R value of R3.0 (bulk value) -Roof Sheet metal roofing - Reflective airgap required -Windows & glazed doors Given values are AFRC, total window system values (glass and frame) U-Value: 5.40 (equal to or lower than) SHGC: 0.58 (±5%) Clear Low-e glass in AL Frame -Skylights Double glazed OPAL U-Value: 2.60 (equal to or lower than) SHGC: 0.24

BASIX COMMITMENTS - DWELLING A Alterations & Additions	
Pool	Max 21kL outdoor pool
Insulation Requirements	-Floors Concrete slab on ground with no minimum R value insulation Framed suspended floor with open subfloor with R0.7 insulation (insulation value only) Framed suspended floor with enclosed subfloor with R0.7 insulation (insulation value only) -Walls External Walls: Framed, minimum total system R value of R1.0 (insulation value only) (R1.40 including construction) Internal walls shared with garage: Single skin masonry R0.18 -Ceilings Plasterboard ceiling -Roof Metal roof with foil backed blanket (R3 down) External colour: Medium (SA 0.475-0.7)
Glazing requirements	-Windows & glazed doors Given values are AFRC, total window system values (glass and frame) Timber or uPVC single clear performance glazing to all windows/glazed doors U-Value: 5.71 (equal to or lower than) SHGC: 0.66 (±10%) -External shade Shading as drawings

LEGEND-CODES	
AHD AUSTRALIAN HEIGHT DATUM	HWS HOT WATER SYSTEM
B- BATTEN TYPE	LG LOUVER GLASS
C- COLUMN TYPE	MR METAL ROOF
CL CENTER LINE	PAV PAVED
CONC CONCRETE	PC- PAINTED CLADDING TYPE
CPT CARPET	PCONC POLISHED CONCRETE
D DOOR	POLY POLYCARBONATE
DP DOWN PIPE	PR PAINTED RENDER
EG EAVES GUTTER	PT POOL TILE
F FENCE TYPE	RL REDUCED LEVEL
FC FIBRE CEMENT	RW RAIN WATER TANK
FCL FINISHED CEILING HEIGHT	SG SLIDING GLASS
PFL FINISH FLOOR LEVEL	TD TIMBER DECK
FG FIXED GLASS	TF TIMBER FLOORING
G GATE	TOP TOP OF FENCE
HR HAND RAIL	TW TOP OF WALL
	W WINDOW

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REVISION			
A	FOR INFORMATION	LH/EM	6/11/17
B	FOR DEVELOPMENT APPLICATION	EM/SA	22/11/17

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**DRAWN / CHECKED.**  
**ISSUED.**  
CARLYLE STREET HOUSES  
17011  
DROMORE PTY LTD  
57 CARLYLE STREET, BYRON BAY 2481  
DWELLING B + C ROOF PLAN  
1:100 AT A3  
LH/EM  
FOR DEVELOPMENT APPLICATION

**DRAWING**  
**DA.09**  
**REVISION**  
**B**





BASIX COMMITMENTS - DWELLINGS B & C	
New Dwellings	
Water	<ul style="list-style-type: none"> <li>-Landscaping</li> <li>Indigenous or low water use species</li> <li>-Pool</li> <li>Max 18kL outdoor pool</li> <li>-Water tank</li> <li>Dwellings to have an individual tank of at least 1500L collecting rain water from at least 90SQM of roof area and connected to landscape tap, toilet and laundry</li> </ul>
Energy	<ul style="list-style-type: none"> <li>-Hot water system</li> <li>Gas instantaneous 5 star</li> <li>-Heating and Cooling</li> <li>Ceiling fans for bedrooms and living room</li> <li>-Natural lighting</li> <li>In at least 1 bathroom/toilet</li> <li>-Alternative energy</li> <li>Dwelling B to install a 1kW photovoltaic system</li> </ul>
Thermal Comfort	<ul style="list-style-type: none"> <li>-In-slab heating/cooling system</li> <li>Floor insulation of at least R1.0 around the vertical edges of the slab (if concrete), or insulation R1.0 under the slab and around the vertical edges (if suspended floor)</li> <li>-Floors</li> <li>Concrete slab on ground with no minimum R value insulation</li> <li>-Walls</li> <li>External Walls: Cavity panel, minimum total system R value of R2.0 (bulk value)</li> <li>-Ceilings</li> <li>Plasterboard ceiling, minimum total system R value of R3.0 (bulk value)</li> <li>-Roof</li> <li>Sheet metal roofing - Reflective airgap required</li> <li>-Windows &amp; glazed doors</li> <li>Given values are AFRC, total window system values (glass and frame)</li> <li>U-Value: 5.40 (equal to or lower than)</li> <li>SHGC: 0.58 (±5%) Clear Low-e glass in AL-Frame</li> <li>-Skylights</li> <li>Double glazed OPAL</li> <li>U-Value: 2.50 (equal to or lower than)</li> <li>SHGC: 0.24</li> </ul>

BASIX COMMITMENTS - DWELLING A	
Alterations & Additions	
Pool	<ul style="list-style-type: none"> <li>Max 21kL outdoor pool</li> </ul>
Insulation Requirements	<ul style="list-style-type: none"> <li>-Floors</li> <li>Concrete slab on ground with no minimum R value insulation</li> <li>Framed suspended floor with open subfloor with R0.7 insulation (insulation value only)</li> <li>Framed suspended floor with enclosed subfloor with R0.7 insulation (insulation value only)</li> <li>-Walls</li> <li>External Walls: Framed, minimum total system R value of R1.0 (insulation value only) (R1.40 including construction)</li> <li>Internal walls shared with garage: Single skin masonry R0.18</li> <li>-Ceilings</li> <li>Plasterboard ceiling</li> <li>-Roof</li> <li>Metal roof with foil backed blanket (R3 down)</li> <li>External colour: Medium (SA 0.475-0.7)</li> </ul>
Glazing requirements	<ul style="list-style-type: none"> <li>-Windows &amp; glazed doors</li> <li>Given values are AFRC, total window system values (glass and frame)</li> <li>Timber or uPVC single clear performance glazing to all windows/glazed doors</li> <li>U-Value: 5.71 (equal to or lower than)</li> <li>SHGC: 0.66 (±10%)</li> <li>-External shade</li> <li>Shading as drawings</li> </ul>

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REVISION			
A	FOR INFORMATION	LH/EM	6/11/17
B	FOR DEVELOPMENT APPLICATION	EM/SA	22/11/17

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**THOSE ARCHITECTS**

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Byron Bay New South Wales 3392  
Email: gday@thosearchitects.com.au  
Telephone: 0414 494 837 / 0416 235 661

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**PROJECT.**  
CARLYLE STREET HOUSES

**PROJECT NO.**  
17011

**OWNER.**  
DROMORE PTY LTD

**ADDRESS.**  
57 CARLYLE STREET, BYRON BAY 2481

**DRAWING TITLE.**  
SECTION AA

**SCALE.**  
1:100 AT A3

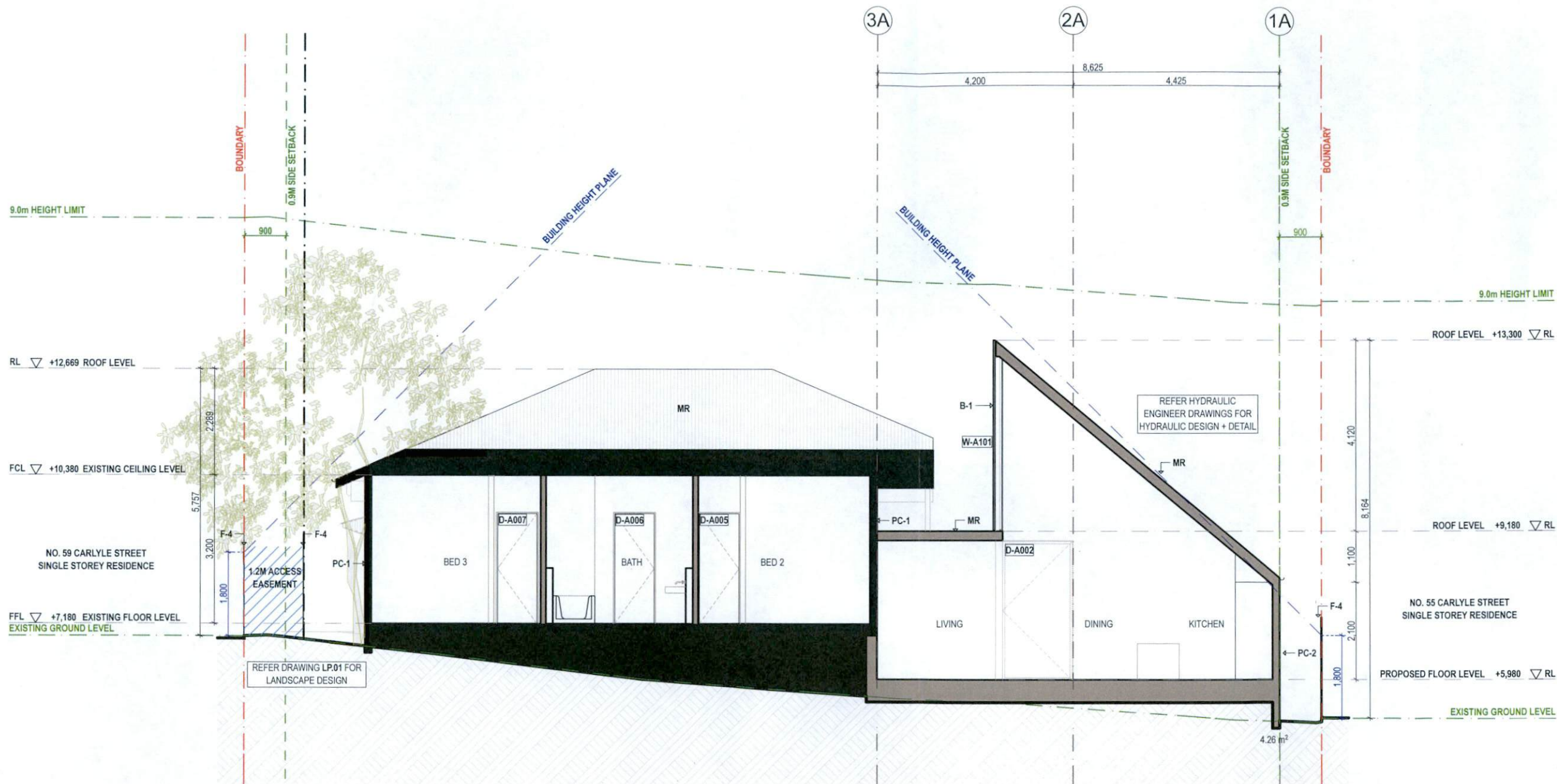
**DRAWN / CHECKED.**  
LH/EM

**ISSUED.**  
FOR DEVELOPMENT APPLICATION

**DRAWING**  
**DA.10**

**REVISION**  
**B**





BASIC COMMITMENTS - DWELLINGS B & C	
New Dwellings	
Water	<ul style="list-style-type: none"> <li>-Landscaping</li> <li>Indigenous or low water use species</li> <li>-Pool</li> <li>Max 18kL outdoor pool</li> <li>-Water tank</li> <li>Dwellings to have an individual tank of at least 1500L collecting rain water from at least 90SQM of roof area and connected to landscape tap, toilet and laundry</li> </ul>
Energy	<ul style="list-style-type: none"> <li>-Hot water system</li> <li>Gas instantaneous 5 star</li> <li>-Heating and Cooling</li> <li>Ceiling fans for bedrooms and living room</li> <li>-Natural lighting</li> <li>In at least 1 bathroom/toilet</li> <li>-Alternative energy</li> <li>Dwelling B to install a 1kW photovoltaic system</li> </ul>
Thermal Comfort	<ul style="list-style-type: none"> <li>-In-slab heating/cooling system</li> <li>Floor insulation of at least R1.0 around the vertical edges of the slab (if concrete), or insulation R1.0 under the slab and around the vertical edges (if suspended floor)</li> <li>-Floors</li> <li>Concrete slab on ground with no minimum R value insulation</li> <li>-Walls</li> <li>External Walls: Cavity panel, minimum total system R value of R2.0 (bulk value)</li> <li>-Ceilings</li> <li>Plasterboard ceiling, minimum total system R value of R3.0 (bulk value)</li> <li>-Roof</li> <li>Sheet metal roofing - Reflective airgap required</li> <li>-Windows &amp; glazed doors</li> <li>Given values are AFRC, total window system values (glass and frame)</li> <li>U-Value: 5.40 (equal to or lower than)</li> <li>SHGC: 0.58 (±5%) Clear Low-e glass in AL Frame</li> <li>-Skylights</li> <li>Double glazed OPAL</li> <li>U-Value: 2.60 (equal to or lower than)</li> <li>SHGC: 0.24</li> </ul>
BASIC COMMITMENTS - DWELLING A	
Alterations & Additions	
Pool	Max 21kL outdoor pool
Insulation Requirements	<ul style="list-style-type: none"> <li>-Floors</li> <li>Concrete slab on ground with no minimum R value insulation</li> <li>Framed suspended floor with open subfloor with R0.7 insulation (insulation value only)</li> <li>Framed suspended floor with enclosed subfloor with R0.7 insulation (insulation value only)</li> <li>-Walls</li> <li>External Walls: Framed, minimum total system R value of R1.0 (insulation value only) (R1.40 including construction)</li> <li>Internal walls shared with garage: Single skin masonry R0.18</li> <li>-Ceilings</li> <li>Plasterboard ceiling</li> <li>-Roof</li> <li>Metal roof with foil backed blanket (R3 down)</li> <li>External colour: Medium (SA 0.475-0.7)</li> </ul>
Glazing requirements	<ul style="list-style-type: none"> <li>-Windows &amp; glazed doors</li> <li>Given values are AFRC, total window system values (glass and frame)</li> <li>Timber or uPVC single clear performance glazing to all windows/glazed doors</li> <li>U-Value: 5.71 (equal to or lower than)</li> <li>SHGC: 0.66 (±10%)</li> <li>-External shade</li> <li>Shading as drawings</li> </ul>

LEGEND-CODES	
AHD	AUSTRALIAN HEIGHT DATUM
B-	BATTEN TYPE
CL	COLUMN TYPE
CL	CENTER LINE
CONC	CONCRETE
CPT	CARPET
D	DOOR
DP	DOWN PIPE
EG	EAVES GUTTER
F	FENCE TYPE
FC	FIBRE CEMENT
FCL	FINISHED CEILING HEIGHT
FFL	FINISH FLOOR LEVEL
FG	FIXED GLASS
FT	FLOOR TILE
G	GATE
HR	HAND RAIL
HWS	HOT WATER SYSTEM
LG	LOUVER GLASS
MR	METAL ROOF
PAV	PAVER
PC	PAINTED CLADDING TYPE
PCONC	POLISHED CONCRETE
POLY	POLYCARBONATE
PR	PAINTED RENDER
PT	POOL TILE
RL	REDUCED LEVEL
RWT	RAIN WATER TANK
SG	SLIDING GLASS
TD	TIMBER DECK
TF	TIMBER FLOORING
TOP	TOP OF FENCE
TOW	TOP OF WALL
W	WINDOW

**NOTE**  
ALL LEVELS TO AUSTRALIAN HEIGHT DATA. IT IS THE CONTRACTORS RESPONSIBILITY TO CONFIRM ALL MEASUREMENTS ON SITE AND LOCATIONS OF ANY SERVICES PRIOR TO COMMENCEMENT OF WORK. DRAWINGS SHOULD NOT BE SCALED. WRITTEN DIMENSIONS ONLY SHOULD BE TAKEN FROM DRAWINGS. IF DISCREPANCY EXISTS NOTIFY ARCHITECT IMMEDIATELY. ALL WORKS SHALL COMPLY WITH THE BUILDING CODE OF AUSTRALIA, THE RULES AND REQUIREMENTS OF APPLICABLE STATUTORY BODIES, COUNCIL AND ALL RELEVANT AUSTRALIAN STANDARDS CODES AND SPECIFICATIONS.

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**REFERENCES**  
- REFER SURVEY PLAN PREPARED BY CANTY'S SURVEYORS  
- REFER BASIC CERTIFICATE PREPARED BY PARTNERS ENERGY  
- REFER LANDSCAPE PLAN PREPARED BY THOSE ARCHITECTS  
- REFER STORMWATER PLAN PREPARED BY ARDILL PAYNE & PARTNERS  
- REFER SEE PREPARED BY ARDILL PAYNE & PARTNERS

REVISION			
A	FOR INFORMATION	LH/EM	6/11/17
B	FOR DEVELOPMENT APPLICATION	EM/SA	22/11/17

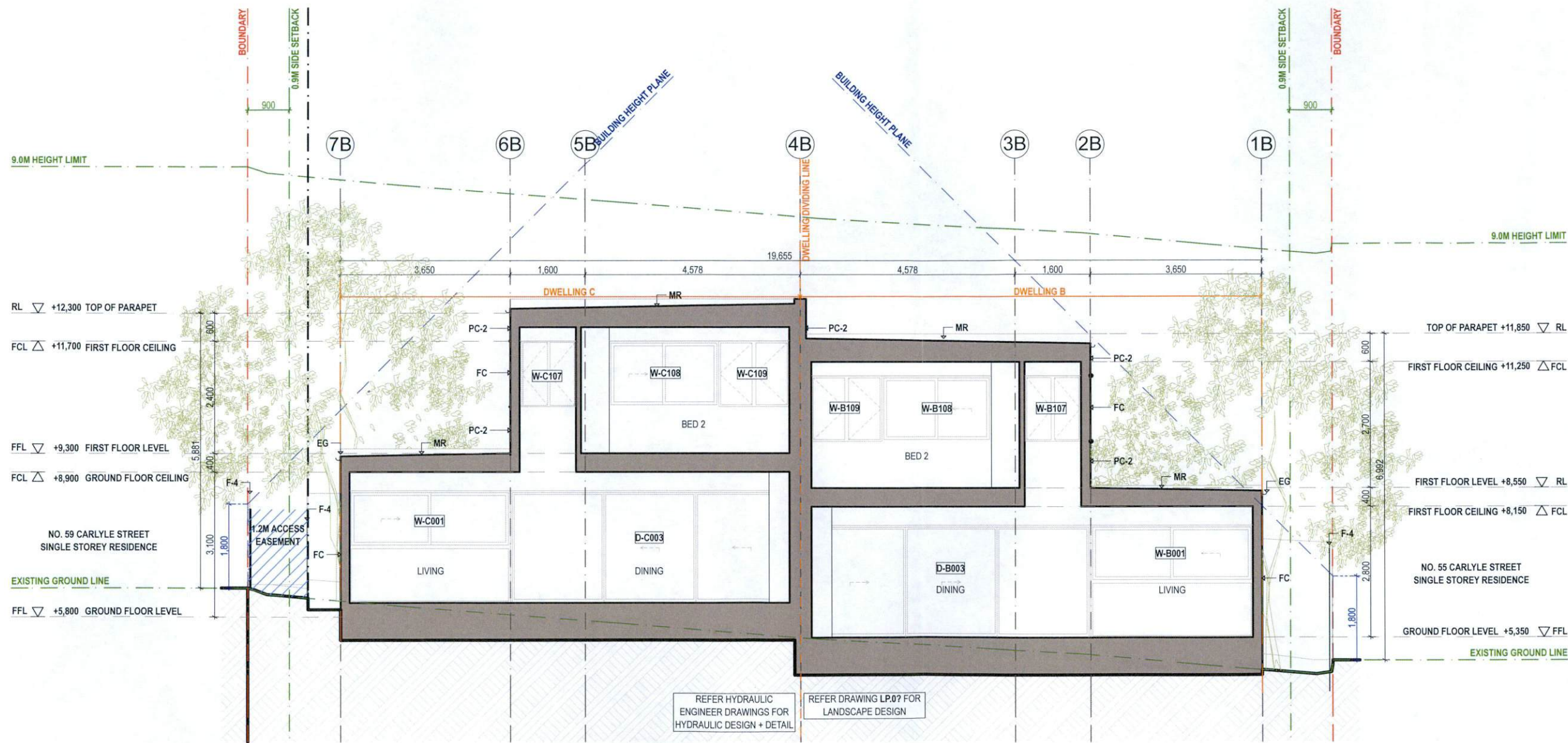
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**PROJECT.** CARLYLE STREET HOUSES  
**PROJECT NO.** 17011  
**OWNER.** DROMORE PTY LTD  
**ADDRESS.** 57 CARLYLE STREET, BYRON BAY 2481

**DRAWING TITLE.** SECTION BB  
**SCALE.** 1:100 AT A3  
**DRAWN / CHECKED.** LH/EM  
**ISSUED.** FOR DEVELOPMENT APPLICATION

**DRAWING**  
**DA.11**  
**REVISION**  
**B**





BASIX COMMITMENTS - DWELLINGS B & C	
New Dwellings	
Water	-Landscaping Indigenous or low water use species -Pool Max 18kL outdoor pool -Water tank Dwellings to have an individual tank of at least 1500L collecting rain water from at least 90SQM of roof area and connected to landscape tap, toilet and laundry
Energy	-Hot water system Gas instantaneous 5 star -Heating and Cooling Ceiling fans for bedrooms and living room -Natural lighting In at least 1 bathroom/toilet -Alternative energy Dwelling B to install a 1kW photovoltaic system
Thermal Comfort	-In-slab heating/cooling system Floor insulation of at least R1.0 around the vertical edges of the slab (if concrete), or insulation R1.0 under the slab and around the vertical edges (if suspended floor) -Floors Concrete slab on ground with no minimum R value insulation -Walls External Walls: Cavity panel, minimum total system R value of R2.0 (bulk value) -Ceilings Plasterboard ceiling, minimum total system R value of R3.0 (bulk value) -Roof Sheet metal roofing - Reflective airgap required -Windows & glazed doors Given values are AFRC, total window system values (glass and frame) U-Value: 5.40 (equal to or lower than) SHGC: 0.58 (±5%) Clear Low-e glass in AL Frame -Skylights Double glazed OPAL U-Value: 2.60 (equal to or lower than) SHGC: 0.24
BASIX COMMITMENTS - DWELLING A	
Alterations & Additions	
Pool	Max 21kL outdoor pool
Insulation Requirements	-Floors Concrete slab on ground with no minimum R value insulation Framed suspended floor with open subfloor with R0.7 insulation (insulation value only) Framed suspended floor with enclosed subfloor with R0.7 insulation (insulation value only) -Walls External Walls: Framed, minimum total system R value of R1.0 (insulation value only) (R1.40 including construction) Internal walls shared with garage: Single skin masonry R0.18 -Ceilings Plasterboard ceiling -Roof Metal roof with foil backed blanket (R3 down) External colour: Medium (SA 0.475-0.7)
Glazing requirements	-Windows & glazed doors Given values are AFRC, total window system values (glass and frame) Timber or uPVC single clear performance glazing to all windows/glazed doors U-Value: 5.71 (equal to or lower than) SHGC: 0.66 (±10%) -External shade Shading as drawings

LEGEND-CODES	
AHD	AUSTRALIAN HEIGHT DATUM
B	BATTEN TYPE
C	COLUMN TYPE
CL	CENTER LINE
CONC	CONCRETE
CPT	CARPET
DP	DOWN PIPE
EG	EAVES GUTTER
F	FENCE TYPE
FC	FIBRE CEMENT
FCL	FINISHED CEILING HEIGHT
FFL	FINISH FLOOR LEVEL
FG	FIXED GLASS
FT	FLOOR TILE
GR	GATE
HR	HAND RAIL
HWS	HOT WATER SYSTEM
LG	LOUVER GLASS
MR	METAL ROOF
PAV	PAVER
PC	PAINTED CLADDING TYPE
PCNC	POLISHED CONCRETE
POLY	POLYCARBONATE
PR	PAINTED RENDER
PT	POOL TILE
RL	REDUCED LEVEL
RWT	RAIN WATER TANK
SG	SLIDING GLASS
TD	TIMBER DECK
TF	TIMBER FLOORING
TOP	TOP OF FENCE
TOW	TOP OF WALL
W	WINDOW

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- REFER STORMWATER PLAN PREPARED BY ARDILL PAYNE & PARTNERS  
- REFER SEE PREPARED BY ARDILL PAYNE & PARTNERS

REVISION				
A	FOR INFORMATION	LH/EM	6/11/17	
B	FOR DEVELOPMENT APPLICATION	EM/SA	22/11/17	

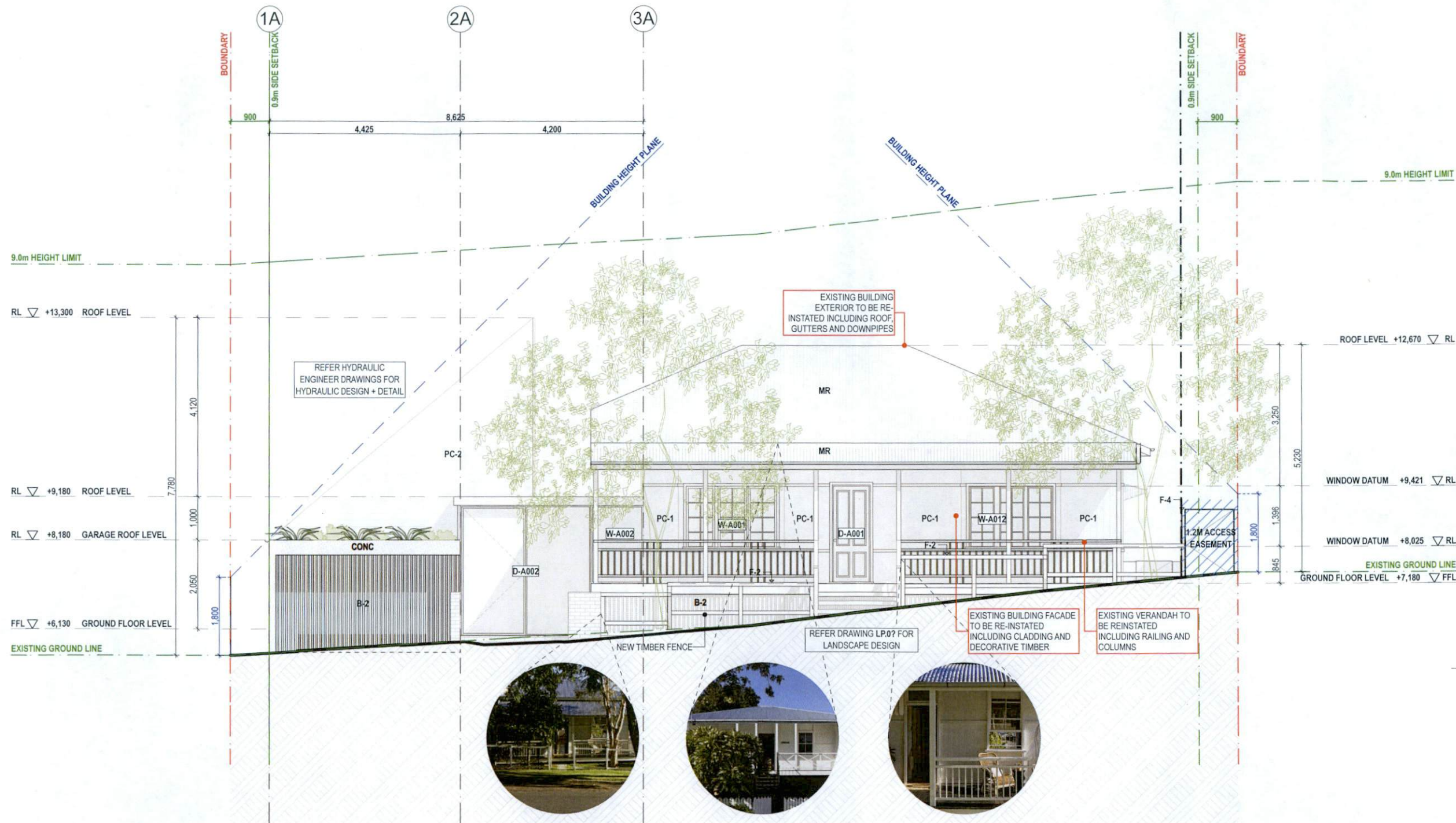
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**PROJECT.** CARLYLE STREET HOUSES  
**PROJECT NO.** 17011  
**OWNER.** DROMORE PTY LTD  
**ADDRESS.** 57 CARLYLE STREET, BYRON BAY 2481

**DRAWING TITLE.** SECTION CC  
**SCALE.** 1:100 AT A3  
**DRAWN / CHECKED.** LH/EM  
**ISSUED.** FOR DEVELOPMENT APPLICATION

**DRAWING**  
**DA.12**  
**REVISION**  
**B**





BASIX COMMITMENTS - DWELLINGS B & C New Dwellings	
Water	<ul style="list-style-type: none"><li>-Landscaping</li><li>Indigenous or low water use species</li><li>-Pool</li><li>Max 18kL outdoor pool</li><li>-Water tank</li><li>Dwellings to have an individual tank of at least 1500L collecting rain water from at least 90SQM of roof area and connected to landscape tap, toilet and laundry</li></ul>
Energy	<ul style="list-style-type: none"><li>-Hot water system</li><li>Gas instantaneous 5 star</li><li>-Heating and Cooling</li><li>Ceiling fans for bedrooms and living room</li><li>-Natural lighting</li><li>In at least 1 bathroom/toilet</li><li>-Alternative energy</li><li>Dwelling B to install a 1kW photovoltaic system</li></ul>
Thermal Comfort	<ul style="list-style-type: none"><li>-In-slab heating/cooling system</li><li>Floor insulation of at least R1.0 around the vertical edges of the slab (if concrete), or insulation R1.0 under the slab and around the vertical edges (if suspended floor)</li><li>-Floors</li><li>Concrete slab on ground with no minimum R value insulation</li><li>-Walls</li><li>External Walls: Cavity panel, minimum total system R value of R2.0 (bulk value)</li><li>-Ceilings</li><li>Plasterboard ceiling, minimum total system R value of R3.0 (bulk value)</li><li>-Roof</li><li>Sheet metal roofing - Reflective airgap required</li><li>-Windows &amp; glazed doors</li><li>Given values are AFRC, total window system values (glass and frame)</li><li>U-Value: 5.40 (equal to or lower than)</li><li>SHGC: 0.58 (±5%) Clear Low-e glass in AL Frame</li><li>-Skylights</li><li>Double glazed DPAL</li><li>U-Value: 2.60 (equal to or lower than)</li><li>SHGC: 0.24</li></ul>

BASIX COMMITMENTS - DWELLING A Alterations & Additions	
Pool	<ul style="list-style-type: none"><li>Max 21kL outdoor pool</li></ul>
Insulation Requirements	<ul style="list-style-type: none"><li>-Floors</li><li>Concrete slab on ground with no minimum R value insulation</li><li>Framed suspended floor with open subfloor with R0.7 insulation (insulation value only)</li><li>Framed suspended floor with enclosed subfloor with R0.7 insulation (insulation value only)</li><li>-Walls</li><li>External Walls: Framed, minimum total system R value of R1.0 (insulation value only) (R1.40 including construction)</li><li>Internal walls shared with garage: Single skin masonry R0.18</li><li>-Ceilings</li><li>Plasterboard ceiling</li><li>-Roof</li><li>Metal roof with foil backed blanket (R3 down)</li><li>External colour: Medium (SA 0.475-0.7)</li></ul>
Glazing requirements	<ul style="list-style-type: none"><li>-Windows &amp; glazed doors</li><li>Given values are AFRC, total window system values (glass and frame)</li><li>Timber or uPVC single clear performance glazing to all windows/glazed doors</li><li>U-Value: 5.71 (equal to or lower than)</li><li>SHGC: 0.66 (±10%)</li><li>-External shade</li><li>Shading as drawings</li></ul>

LEGEND-CODES	
AHD	AUSTRALIAN HEIGHT DATUM
B-	BATTEN TYPE
C-	COLUMN TYPE
CL	CENTER LINE
CONC	CONCRETE
CPT	CARPET
D	DOOR
DP	DOWN PIPE
EG	EAVES GUTTER
F-	FENCE TYPE
FC	FIBRE CEMENT
FCL	FINISHED CEILING HEIGHT
FFL	FINISH FLOOR LEVEL
FG	FIXED GLASS
FT	FLOOR TILE
G	GATE
HR	HAND RAIL
HWS	HOT WATER SYSTEM
LG	LOUVER GLASS
MR	METAL ROOF
PAV	PAVER
PC	PAINTED CLADDING TYPE
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POLY	POLYCARBONATE
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RWT	RAIN WATER TANK
SG	SLIDING GLASS
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TOW	TOP OF WALL
W	WINDOW

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REVISION				
A	FOR INFORMATION	LH/EM	6/11/17	
B	FOR DEVELOPMENT APPLICATION	EM/SA	22/11/17	

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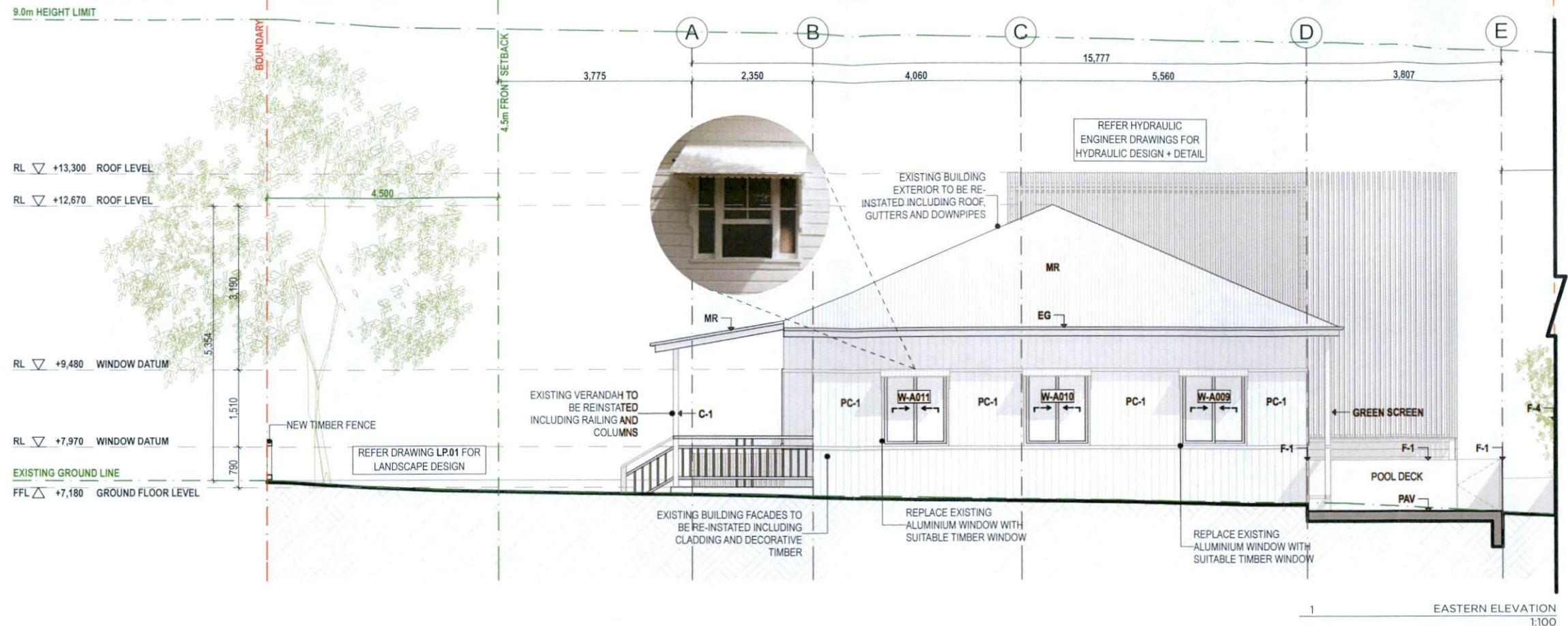
**PROJECT.** CARLYLE STREET HOUSES  
**PROJECT NO.** 17011  
**OWNER.** DROMORE PTY LTD  
**ADDRESS.** 57 CARLYLE STREET, BYRON BAY 2481  
**DRAWING TITLE.** SOUTH ELEVATION  
**SCALE.** 1:100 AT A3  
**DRAWN / CHECKED.** LH/EM  
**ISSUED.** FOR DEVELOPMENT APPLICATION

**DRAWING**  
**DA.13**  
**REVISION**  
**B**

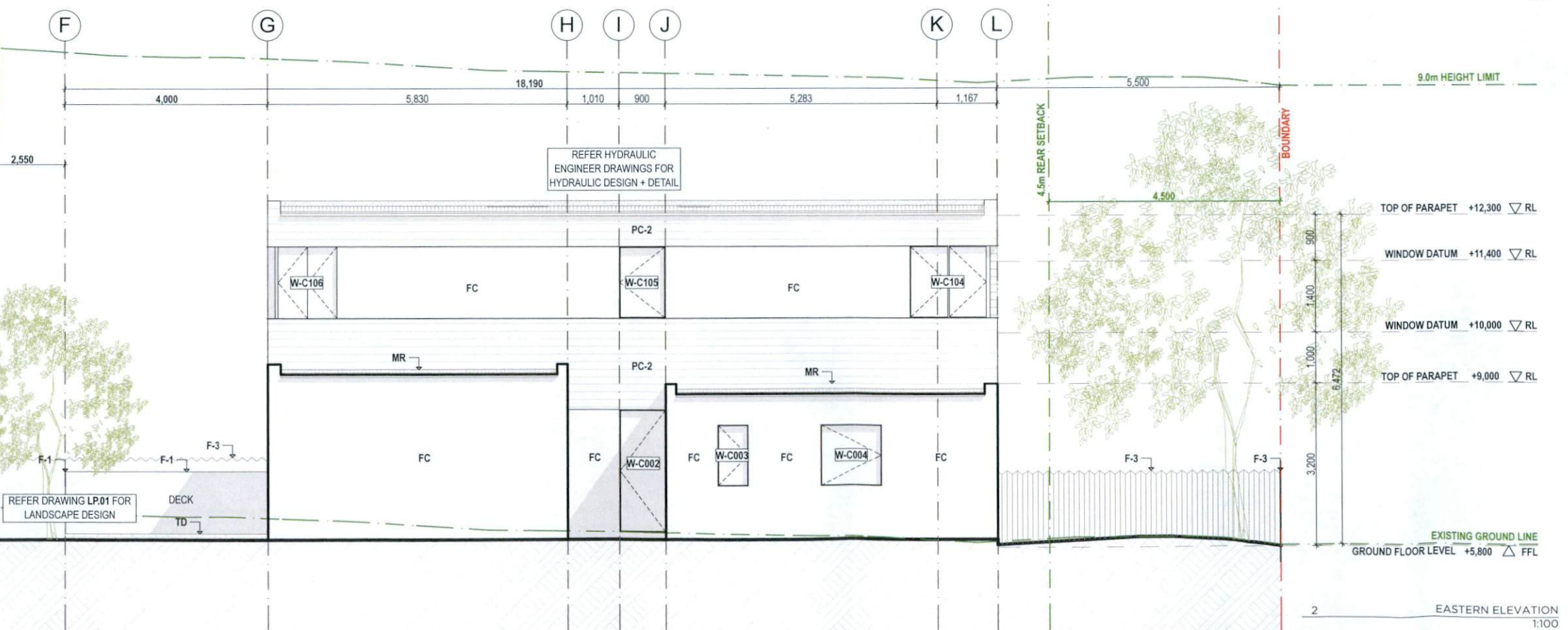








BASIX COMMITMENTS - DWELLINGS B & C	
New Dwellings	
Water	<ul style="list-style-type: none"> <li>-Landscaping: Indigenous or low water use species</li> <li>-Pool: Max 18kL outdoor pool</li> <li>-Water tank: Dwellings to have an individual tank of at least 1500L collecting rain water from at least 90SQM of roof area and connected to landscape tap, toilet and laundry</li> </ul>
Energy	<ul style="list-style-type: none"> <li>-Hot water system: Gas instantaneous 5 star</li> <li>-Heating and Cooling: Ceiling fans for bedrooms and living room</li> <li>-Natural lighting: In at least 1 bathroom/toilet</li> <li>-Alternative energy: Dwelling B to install a 1kW photovoltaic system</li> </ul>
Thermal Comfort	<ul style="list-style-type: none"> <li>-In-slab heating/cooling system: Floor insulation of at least R1.0 around the vertical edges of the slab (if concrete), or insulation R1.0 under the slab and around the vertical edges (if suspended floor)</li> <li>-Floors: Concrete slab on ground with no minimum R value insulation</li> <li>-Walls: External Walls: Cavity panel, minimum total system R value of R2.0 (bulk value)</li> <li>-Ceilings: Plasterboard ceiling, minimum total system R value of R3.0 (bulk value)</li> <li>-Roof: Sheet metal roofing - Reflective airgap required</li> <li>-Windows &amp; glazed doors: Given values are AFRC, total window system values (glass and frame) U-Value: 5.40 (equal to or lower than) SHGC: 0.58 (±5%) Clear Low-e glass in AL. Frame</li> <li>-Skylights: Double glazed OPAL U-Value: 2.60 (equal to or lower than) SHGC: 0.24</li> </ul>



BASIX COMMITMENTS - DWELLING A	
Alterations & Additions	
Pool	Max 21kL outdoor pool
Insulation Requirements	<ul style="list-style-type: none"> <li>-Floors: Concrete slab on ground with no minimum R value insulation</li> <li>-Walls: External Walls: Framed, minimum total system R value of R1.0 (insulation value only) (including construction)</li> <li>-Ceilings: Plasterboard ceiling</li> <li>-Roof: Metal roof with foil backed blanket (R3 down) External colour: Medium (SA 0.475-0.7)</li> </ul>
Glazing requirements	<ul style="list-style-type: none"> <li>-Windows &amp; glazed doors: Given values are AFRC, total window system values (glass and frame) U-Value: 5.71 (equal to or lower than) SHGC: 0.66 (±10%)</li> <li>-External shade: Shading as drawings</li> </ul>

LEGEND-CODES	
AHD	AUSTRALIAN HEIGHT DATUM
B-	BATTEN TYPE
C-	COLUMN TYPE
CL	CENTER LINE
CONC	CONCRETE
CPT	CARPET
D	DOOR
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EG	EAVES GUTTER
F	FENCE TYPE
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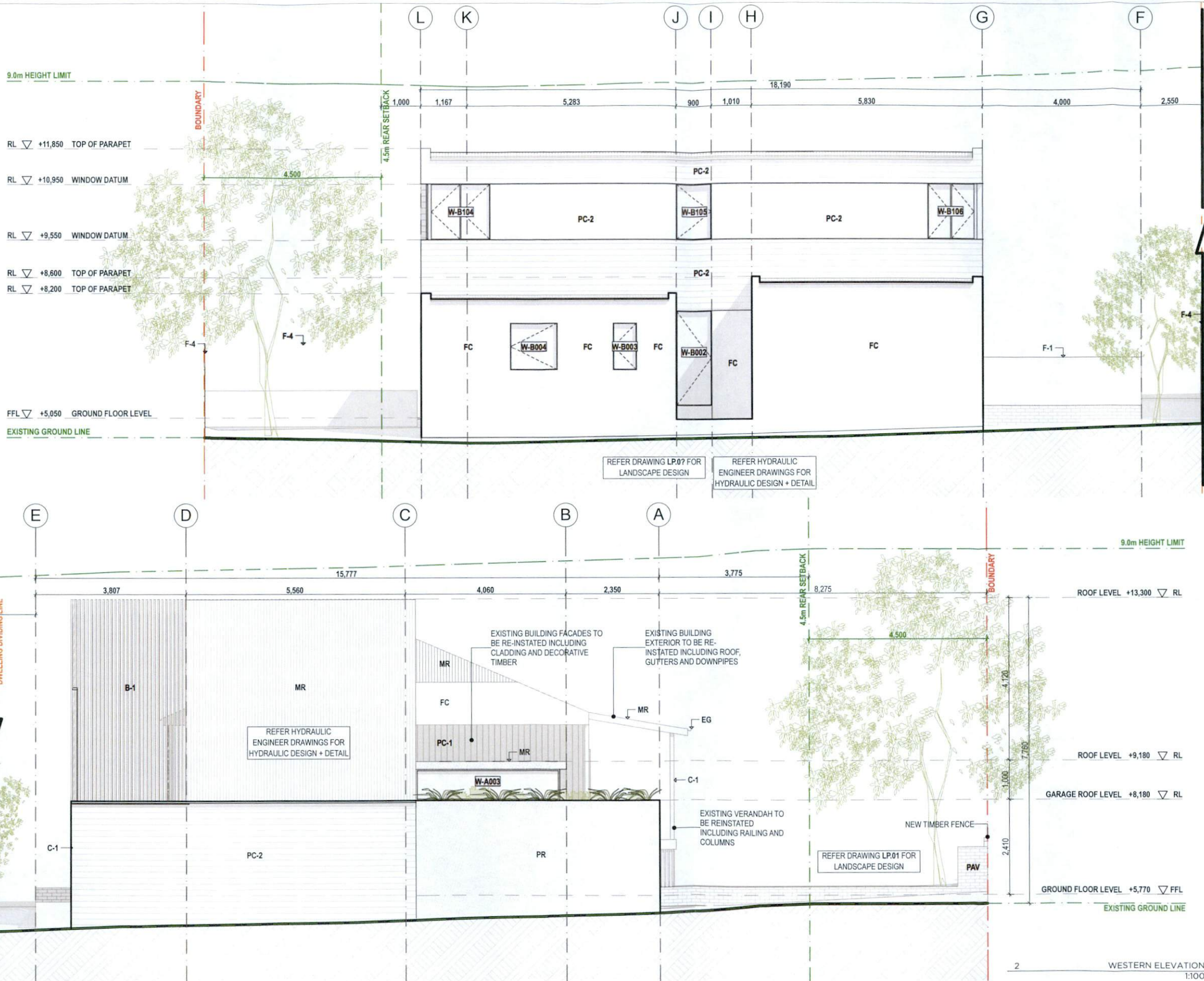
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A	FOR INFORMATION	LH/EM	6/11/17
B	FOR DEVELOPMENT APPLICATION	EM/SA	22/11/17

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CARLYLE STREET HOUSES  
17011  
DROMORE PTY LTD  
57 CARLYLE STREET, BYRON BAY 2481  
EAST ELEVATION  
1:100 AT A3  
LH/EM  
FOR DEVELOPMENT APPLICATION

**DRAWING**  
**DA.15**  
**REVISION**  
**B**





BASIX COMMITMENTS - DWELLINGS B & C New Dwellings	
Water	<ul style="list-style-type: none"><li>-Landscaping</li><li>Indigenous or low water use species</li><li>-Pool</li><li>Max 18kL outdoor pool</li><li>-Water tank</li><li>Dwellings to have an individual tank of at least 1500L collecting rain water from at least 90SQM of roof area and connected to landscape tap, toilet and laundry</li></ul>
Energy	<ul style="list-style-type: none"><li>-Hot water system</li><li>Gas instantaneous 5 star</li><li>-Heating and Cooling</li><li>Ceiling fans for bedrooms and living room</li><li>-Natural lighting</li><li>In at least 1 bathroom/toilet</li><li>-Alternative energy</li><li>Dwelling B to install a 1kW photovoltaic system</li></ul>
Thermal Comfort	<ul style="list-style-type: none"><li>-In-slab heating/cooling system</li><li>Floor insulation of at least R1.0 around the vertical edges of the slab (if concrete), or insulation R1.0 under the slab and around the vertical edges (if suspended floor)</li><li>-Floors</li><li>Concrete slab on ground with no minimum R value insulation</li><li>-Walls</li><li>External Walls: Cavity panel, minimum total system R value of R2.0 (bulk value)</li><li>-Ceilings</li><li>Plasterboard ceiling, minimum total system R value of R3.0 (bulk value)</li><li>-Roof</li><li>Sheet metal roofing - Reflective airgap required</li><li>-Windows &amp; glazed doors</li><li>Given values are AFRC, total window system values (glass and frame)</li><li>U-Value: 5.40 (equal to or lower than)</li><li>SHGC: 0.58 (±5%) Clear Low-e glass in AL Frame</li><li>-Skylights</li><li>Double glazed OPAL</li><li>U-Value: 2.60 (equal to or lower than)</li><li>SHGC: 0.24</li></ul>
BASIX COMMITMENTS - DWELLING A Alterations & Additions	
Pool	<ul style="list-style-type: none"><li>Max 21kL outdoor pool</li></ul>
Insulation Requirements	<ul style="list-style-type: none"><li>-Floors</li><li>Concrete slab on ground with no minimum R value insulation</li><li>Framed suspended floor with open subfloor with R0.7 insulation (insulation value only)</li><li>Framed suspended floor with enclosed subfloor with R0.7 insulation (insulation value only)</li><li>-Walls</li><li>External Walls: Framed, minimum total system R value of R1.0 (insulation value only) (R1.40 including construction)</li><li>Internal walls shared with garage: Single skin masonry R0.18</li><li>-Ceilings</li><li>Plasterboard ceiling</li><li>-Roof</li><li>Metal roof with foil backed blanket (R3 down)</li><li>External colour: Medium (SA 0.475-0.7)</li></ul>
Glazing requirements	<ul style="list-style-type: none"><li>-Windows &amp; glazed doors</li><li>Given values are AFRC, total window system values (glass and frame)</li><li>Timber or uPVC single clear performance glazing to all windows/glazed doors</li><li>U-Value: 5.71 (equal to or lower than)</li><li>SHGC: 0.66 (±10%)</li><li>-External shade</li><li>Shading as drawings</li></ul>
LEGEND-CODES	
AHD AUSTRALIAN HEIGHT DATUM	HWS HOT WATER SYSTEM
B- BATTEN TYPE	LG LOUVER GLASS
C- COLUMN TYPE	MR METAL ROOF
CL CENTER LINE	PAV PAVEMENT
CLC CONCRETE	PC- PAINTED CLADDING TYPE
CONC CONCRETE	PCMC POLISHED CONCRETE
D DOOR	POLY POLYCARBONATE
DP DOWN PIPE	PR PAINTED RENDER
EG EAVES GUTTER	PT POOL TILE
F FENCE TYPE	RL REDUCED LEVEL
FC FIBRE CEMENT	RWT RAIN WATER TANK
FCL FINISHED CEILING HEIGHT	SG SLIDING GLASS
FFL FINISH FLOOR LEVEL	TD TIMBER DECK
FG FIXED GLASS	TF TIMBER FLOORING
FT FLOOR TILE	TF TOP OF FENCE
G GATE	TOW TOP OF WALL
HR HAND RAIL	W WINDOW

**NOTE**  
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**REFERENCES**  
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- REFER BASIX CERTIFICATE PREPARED BY PARTNERS ENERGY  
- REFER LANDSCAPE PLAN PREPARED BY THOSE ARCHITECTS  
- REFER TORMWATER PLAN PREPARED BY ARDILL PAYNE & PARTNERS  
- REFER SEE PREPARED BY ARDILL PAYNE & PARTNERS

REVISION	FOR INFORMATION	LH/EM	6/11/17
A	FOR INFORMATION	EM/SA	22/11/17
B	FOR DEVELOPMENT APPLICATION		

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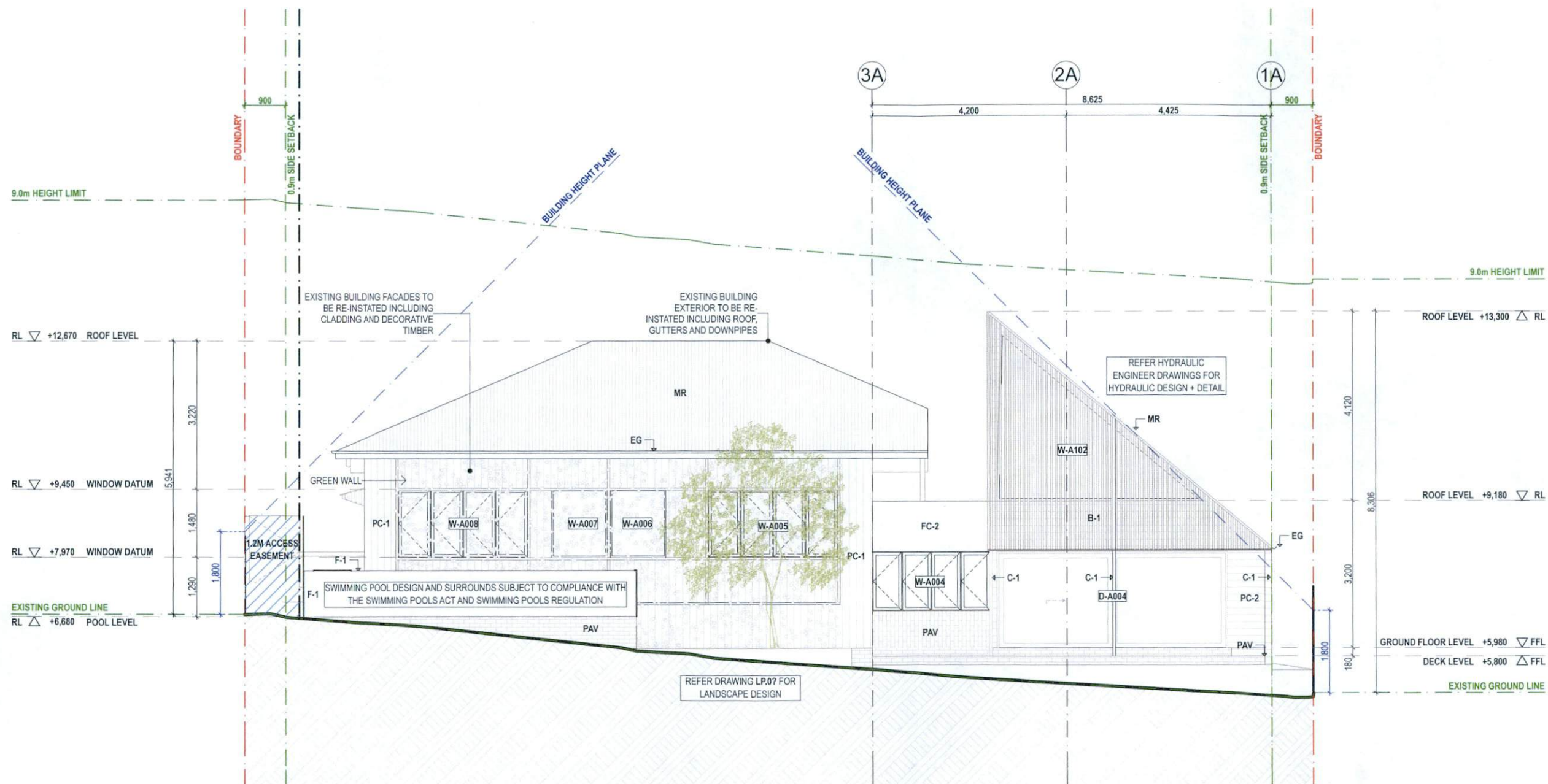
**PROJECT.**  
**PROJECT NO.** 17011  
**OWNER.** DROMORE PTY LTD  
**ADDRESS.** 57 CARLYLE STREET, BYRON BAY 2481

**DRAWING TITLE.** WEST ELEVATION  
**SCALE.** 1:100 AT A3  
**DRAWN / CHECKED.** LH/EM  
**ISSUED.** FOR DEVELOPMENT APPLICATION

**DRAWING**  
**DA.16**

**REVISION**  
**B**





1 COTTAGE REAR ELEVATION  
1:100

BASIX COMMITMENTS - DWELLINGS B & C New Dwellings	
Water	<ul style="list-style-type: none"> <li>-Landscaping</li> <li>Indigenous or low water use species</li> <li>-Pool</li> <li>Max 18kL outdoor pool</li> <li>-Water tank</li> <li>Dwellings to have an individual tank of at least 1500L collecting rain water from at least 90SQM of roof area and connected to landscape tap, toilet and laundry</li> </ul>
Energy	<ul style="list-style-type: none"> <li>-Hot water system</li> <li>Gas instantaneous 5 star</li> <li>-Heating and Cooling</li> <li>Ceiling fans for bedrooms and living room</li> <li>-Natural lighting</li> <li>In at least 1 bathroom/toilet</li> <li>-Alternative energy</li> <li>Dwelling B to install a 1kW photovoltaic system</li> </ul>
Thermal Comfort	<ul style="list-style-type: none"> <li>-In-slab heating/cooling system</li> <li>Floor insulation of at least R1.0 around the vertical edges of the slab (if concrete), or insulation R1.0 under the slab and around the vertical edges (if suspended floor)</li> <li>-Floors</li> <li>Concrete slab on ground with no minimum R value insulation</li> <li>-Walls</li> <li>External Walls: Cavity panel, minimum total system R value of R2.0 (bulk value)</li> <li>-Ceilings</li> <li>Plasterboard ceiling, minimum total system R value of R3.0 (bulk value)</li> <li>-Roof</li> <li>Sheet metal roofing - Reflective airgap required</li> <li>-Windows &amp; glazed doors</li> <li>Given values are AFRC, total window system values (glass and frame)</li> <li>U-Value: 5.40 (equal to or lower than)</li> <li>SHGC: 0.58 (±5%) Clear Low-e glass in AL Frame</li> <li>-Skylights</li> <li>Double glazed OPAL</li> <li>U-Value: 2.60 (equal to or lower than)</li> <li>SHGC: 0.24</li> </ul>

BASIX COMMITMENTS - DWELLING A Alterations & Additions	
Pool	<ul style="list-style-type: none"> <li>Max 21kL outdoor pool</li> </ul>
Insulation Requirements	<ul style="list-style-type: none"> <li>-Floors</li> <li>Concrete slab on ground with no minimum R value insulation</li> <li>Framed suspended floor with open subfloor with R0.7 insulation (insulation value only)</li> <li>Framed suspended floor with enclosed subfloor with R0.7 insulation (insulation value only)</li> <li>-Walls</li> <li>External Walls: Framed, minimum total system R value of R1.0 (insulation value only) (R1.40 including construction)</li> <li>Internal walls shared with garage: Single skin masonry R0.18</li> <li>-Ceilings</li> <li>Plasterboard ceiling</li> <li>-Roof</li> <li>Metal roof with foil backed blanket (R3 down)</li> <li>External colour: Medium (SA 0.475-0.7)</li> </ul>
Glazing requirements	<ul style="list-style-type: none"> <li>-Windows &amp; glazed doors</li> <li>Given values are AFRC, total window system values (glass and frame)</li> <li>Timber or uPVC single clear performance glazing to all windows/glazed doors</li> <li>U-Value: 5.71 (equal to or lower than)</li> <li>SHGC: 0.66 (±10%)</li> <li>-External shade</li> <li>Shading as drawings</li> </ul>

LEGEND-CODES	
AHD	AUSTRALIAN HEIGHT DATUM
B-	BATTEN TYPE -
CL	COLUMN TYPE -
CL	CENTER LINE
CONC	CONCRETE
CPT	CARPET
D	DOOR
DP	DOWN PIPE
EG	EAVES GUTTER
F	FENCE TYPE
FC	FIBRE CEMENT
FCL	FINISHED CEILING HEIGHT
FFL	FINISH FLOOR LEVEL
FG	FIXED GLASS
FT	FLOOR TILE
G	GATE
HR	HAND RAIL
HWS	HOT WATER SYSTEM
LG	LOUVER GLASS
MR	METAL ROOF
PAV	PAVER
PC	PAINTED CLADDING TYPE -
PCONC	POLISHED CONCRETE
POLY	POLYCARBONATE
PR	PAINTED RENDER
PT	POOL TILE
RL	REDUCED LEVEL
RWT	RAIN WATER TANK
SG	SLIDING GLASS
TD	TIMBER DECK
TF	TIMBER FLOORING
TOP	TOP OF FENCE
TOW	TOP OF WALL
W	WINDOW

**NOTE**  
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- REFER STORMWATER PLAN PREPARED BY ARDILL PAYNE & PARTNERS  
- REFER SEE PREPARED BY ARDILL PAYNE & PARTNERS

REVISION				
A	FOR INFORMATION	LH/EM	6/11/17	
B	FOR DEVELOPMENT APPLICATION	EM/SA	22/11/17	

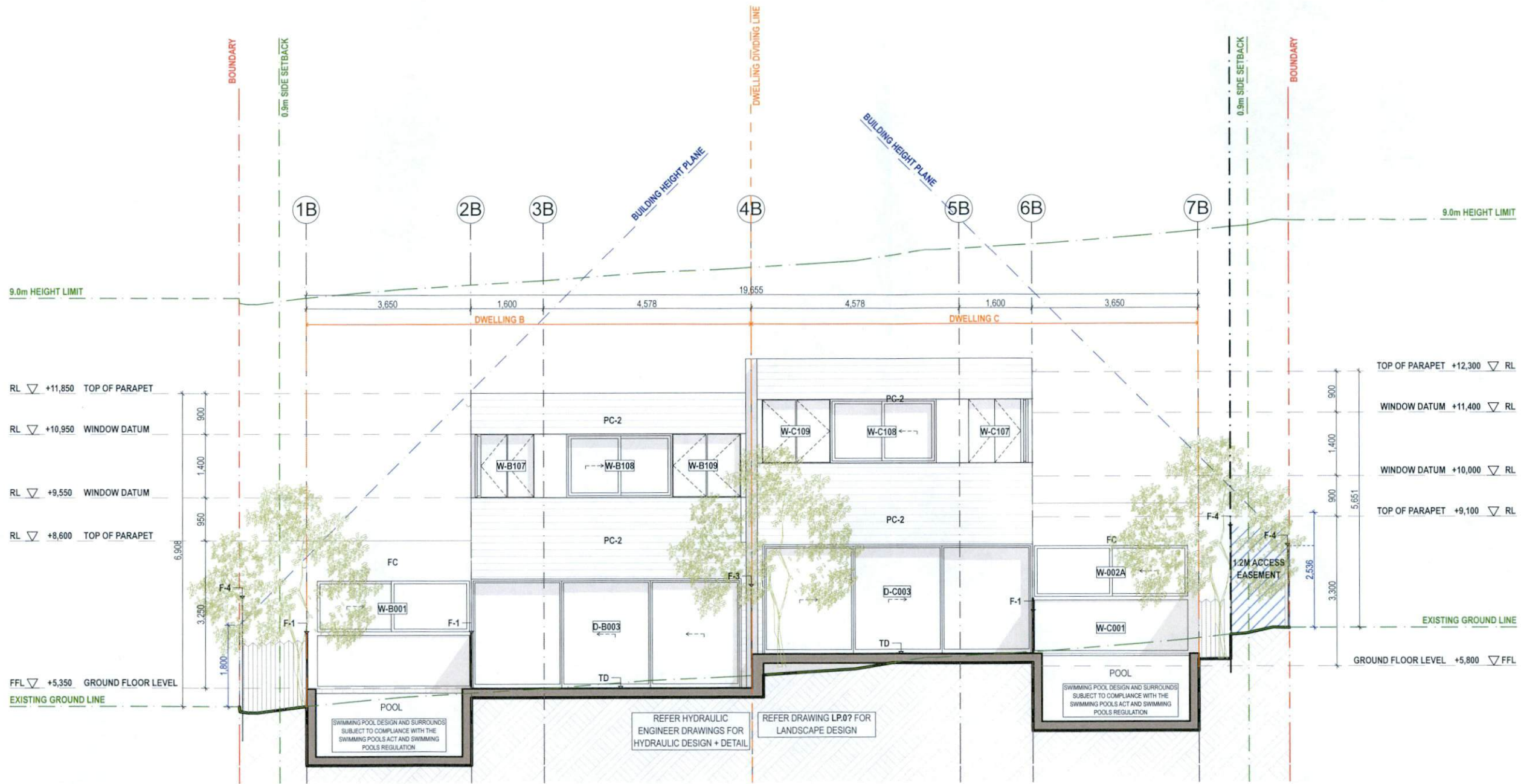
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Telephone: 0414 494 837 / 0416 235 661  
THOSEARCHITECTS.COM.AU

**PROJECT.**  
**PROJECT NO.**  
**OWNER.**  
**ADDRESS.**  
CARLYLE STREET HOUSES  
17011  
DROMORE PTY LTD  
57 CARLYLE STREET, BYRON BAY 2481

**DRAWING TITLE.**  
**SCALE.**  
**DRAWN / CHECKED.**  
**ISSUED.**  
DWELLING A REAR ELEVATION  
1:100 AT A3  
LH/EM  
FOR DEVELOPMENT APPLICATION

**DRAWING**  
**DA.17**  
**REVISION**  
**B**





1 DWELLING A + B REAR ELEVATION  
1:100

BASIX COMMITMENTS - DWELLINGS B & C New Dwellings	
Water	<ul style="list-style-type: none"> <li>-Landscaping: Indigenous or low water use species</li> <li>-Pool: Max 18kL outdoor pool</li> <li>-Water tank: Dwellings to have an individual tank of at least 1500L collecting rain water from at least 905QM of roof area and connected to landscape tap, toilet and laundry</li> </ul>
Energy	<ul style="list-style-type: none"> <li>-Hot water system: Gas instantaneous 5 star</li> <li>-Heating and Cooling: Ceiling fans for bedrooms and living room</li> <li>-Natural lighting: In at least 1 bathroom/toilet</li> <li>-Alternative energy: Dwelling B to install a 1kW photovoltaic system</li> </ul>
Thermal Comfort	<ul style="list-style-type: none"> <li>-In-slab heating/cooling system: Floor insulation of at least R1.0 around the vertical edges of the slab (if concrete), or insulation R1.0 under the slab and around the vertical edges (if suspended floor)</li> <li>-Floors: Concrete slab on ground with no minimum R value insulation</li> <li>-Walls: External Walls: Cavity panel, minimum total system R value of R2.0 (bulk value)</li> <li>-Ceilings: Plasterboard ceiling, minimum total system R value of R3.0 (bulk value)</li> <li>-Roof: Sheet metal roofing - Reflective airgap required</li> <li>-Windows &amp; glazed doors: Given values are AFRC, total window system values (glass and frame) <ul style="list-style-type: none"> <li>U-Value: 5.40 (equal to or lower than)</li> <li>SHGC: 0.58 (±5%) Clear Low-e glass in AL</li> </ul> </li> <li>-Skylights: Double glazed OPAL <ul style="list-style-type: none"> <li>U-Value: 2.60 (equal to or lower than)</li> <li>SHGC: 0.24</li> </ul> </li> </ul>

BASIX COMMITMENTS - DWELLING A Alterations & Additions	
Pool	Max 21kL outdoor pool
Insulation Requirements	<ul style="list-style-type: none"> <li>-Floors: Concrete slab on ground with no minimum R value insulation</li> <li>-Framed suspended floor with open subfloor with R0.7 insulation (insulation value only)</li> <li>-Framed suspended floor with enclosed subfloor with R0.7 insulation (insulation value only)</li> <li>-Walls: External Walls: Framed, minimum total system R value of R1.0 (insulation value only) (R1.40 including construction)</li> <li>-Internal walls shared with garage: Single skin masonry R0.18</li> <li>-Ceilings: Plasterboard ceiling</li> <li>-Roof: Metal roof with foil backed blanket (R3 down)</li> <li>External colour: Medium (SA 0.475-0.7)</li> </ul>
Glazing requirements	<ul style="list-style-type: none"> <li>-Windows &amp; glazed doors: Given values are AFRC, total window system values (glass and frame) <ul style="list-style-type: none"> <li>Timber or uPVC single clear performance glazing to all windows/glazed doors</li> <li>U-Value: 5.71 (equal to or lower than)</li> <li>SHGC: 0.66 (±10%)</li> </ul> </li> <li>-External shade: Shading as drawings</li> </ul>

LEGEND-CODES	
AND	AUSTRALIAN HEIGHT DATUM
B-	BATTEN TYPE
C	COLUMN TYPE
CL	CENTER LINE
CONC	CONCRETE
CPT	CARPET
DP	DOOR
ES	DOWN PIPE
EG	EAVES GUTTER
F	FENCE TYPE
FC	FIBRE CEMENT
FCL	FINISHED CEILING HEIGHT
FFL	FINISH FLOOR LEVEL
FG	FIXED GLASS
FT	FLOOR TILE
G	GATE
HR	HAND RAIL
HWS	HOT WATER SYSTEM
LG	LOUVER GLASS
MR	METAL ROOF
PAV	PAVER
PC	PAINTED CLADDING TYPE
PCONC	POLISHED CONCRETE
POLY	POLYCARBONATE
PR	PAINTED RENDER
PT	POOL TILE
RL	REDUCED LEVEL
RWT	RAIN WATER TANK
SG	SLIDING GLASS
TD	TIMBER DECK
TF	TIMBER FLOORING
TOP	TOP OF FENCE
TOW	TOP OF WALL
W	WINDOW

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- REFER STORMWATER PLAN PREPARED BY ARDILL PAYNE & PARTNERS  
- REFER SEE PREPARED BY ARDILL PAYNE & PARTNERS

REVISION	FOR INFORMATION	LH/EM	6/11/17
A	FOR INFORMATION	EM/SA	22/11/17
B	FOR DEVELOPMENT APPLICATION		

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**PROJECT.**  
**PROJECT NO.**  
**OWNER.**  
**ADDRESS.**

CARLYLE STREET HOUSES  
17011  
DROMORE PTY LTD  
57 CARLYLE STREET, BYRON BAY 2481

**DRAWING TITLE.**  
**SCALE.**  
**DRAWN / CHECKED.**  
**ISSUED.**

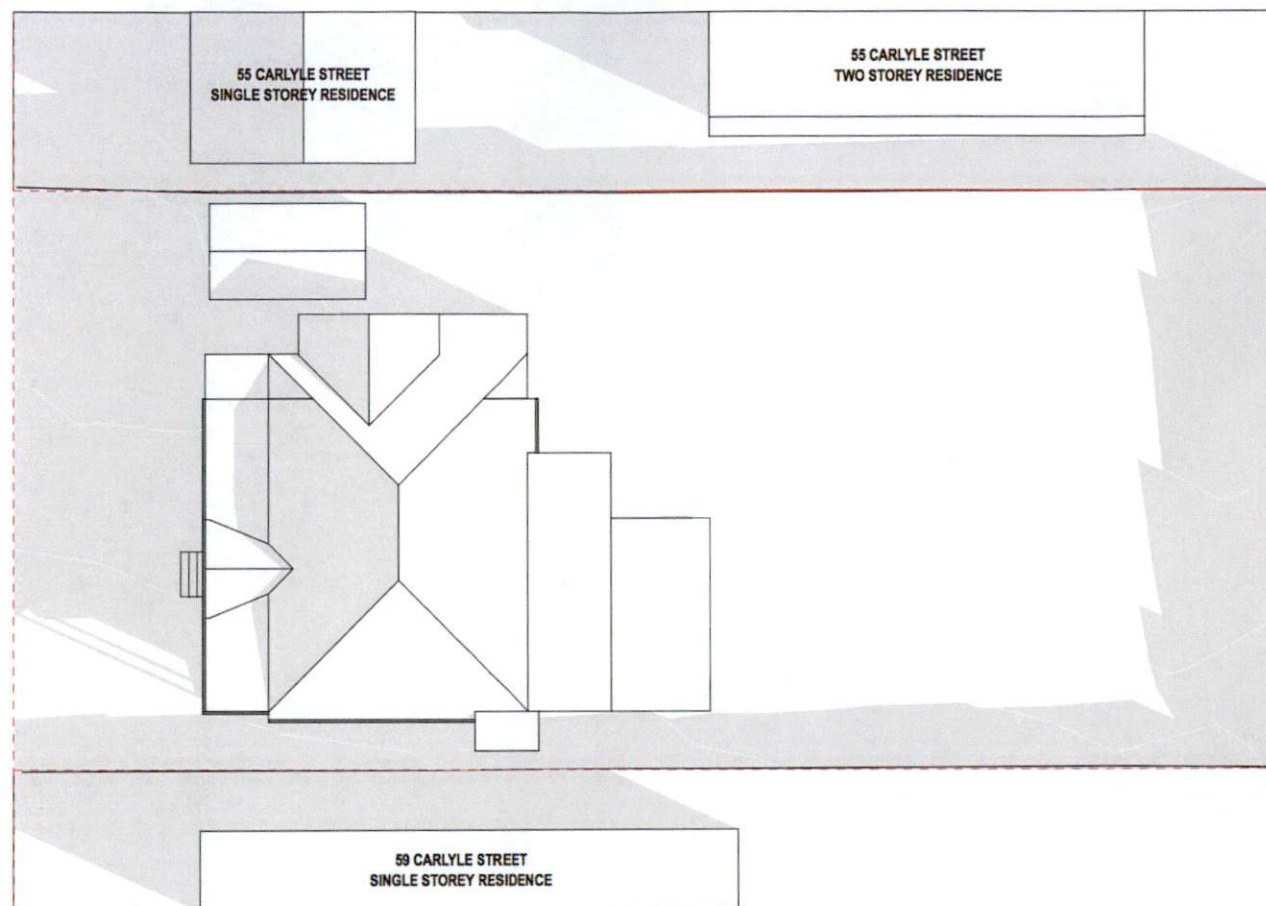
DWELLING B + C REAR ELEVATION  
1:100 AT A3  
LH/EM  
FOR DEVELOPMENT APPLICATION

**DRAWING**  
**DA.18**

**REVISION**  
**B**

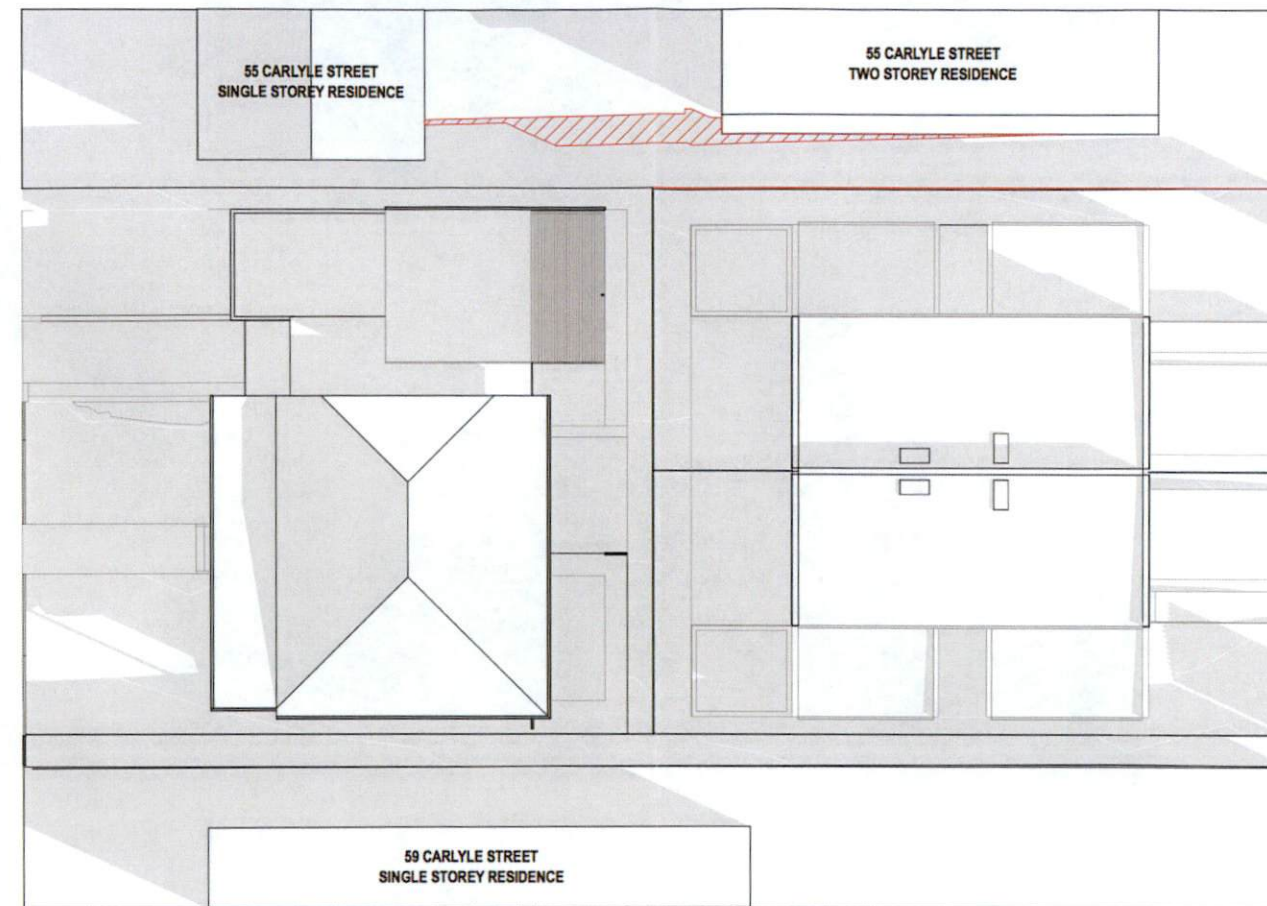


CARLYLE STREET



MARVELL LANE

CARLYLE STREET



MARVELL LANE



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REVISION				
A	FOR INFORMATION	LH/EM	6/11/17	
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**PROJECT.**  
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**DRAWING TITLE.**  
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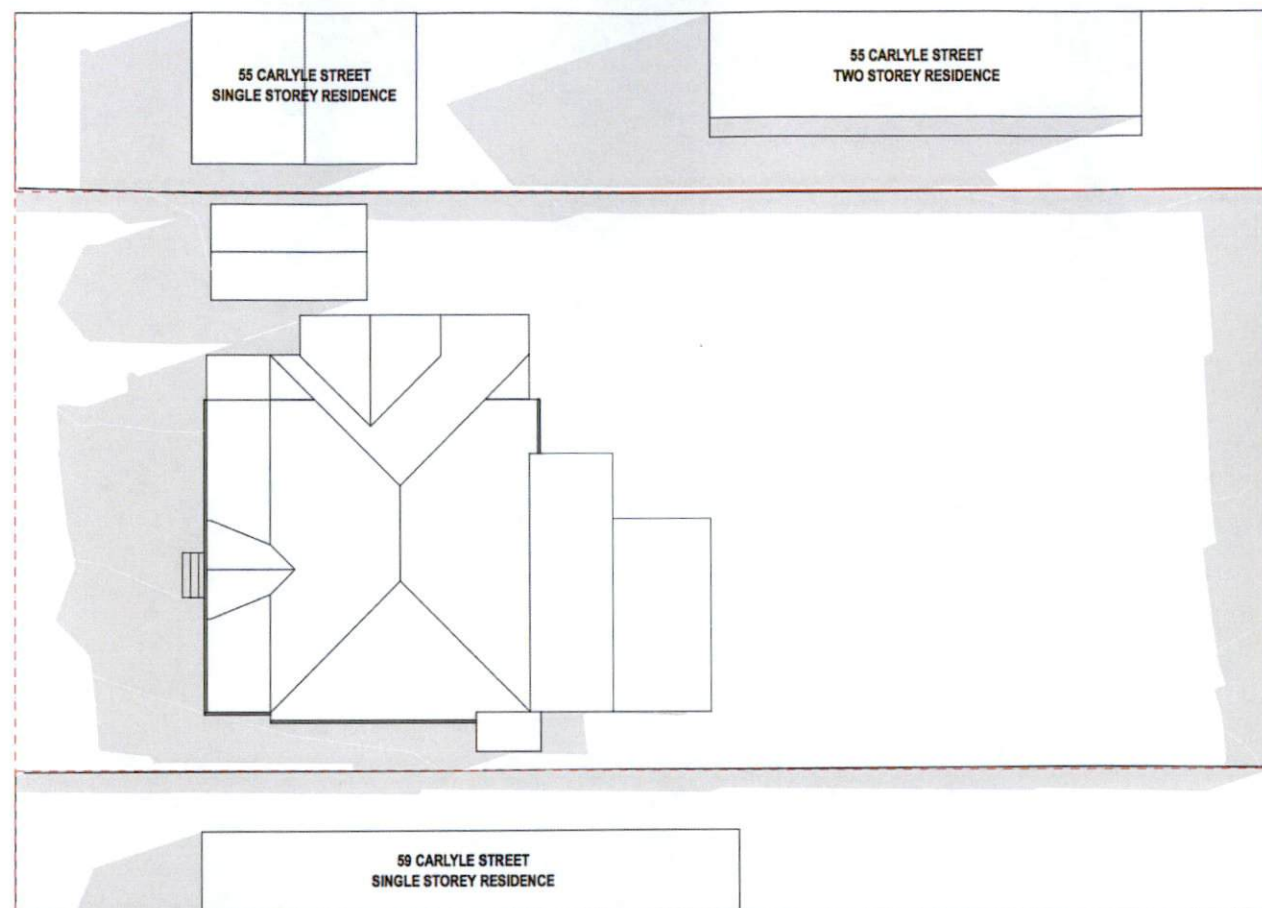
CARLYLE STREET HOUSES  
17011  
DROMORE PTY LTD  
57 CARLYLE STREET, BYRON BAY 2481  
SUN SHADOWS - JUNE 21 9AM  
1:100 AT A3  
LH/EM  
FOR DEVELOPMENT APPLICATION



**DRAWING**  
**DA.19**  
**REVISION**  
**B**



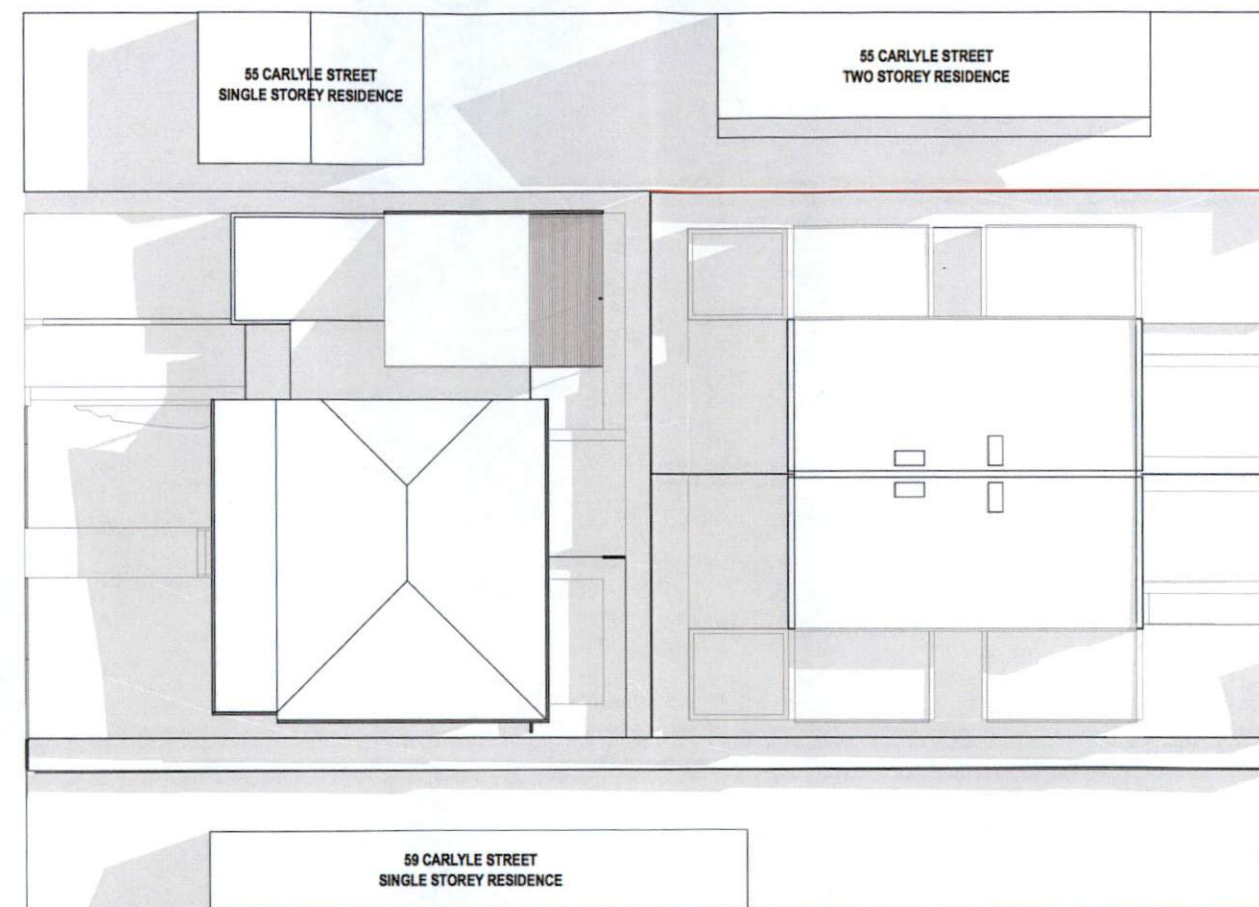
CARLYLE STREET



MARVELL LANE

1 EXISTING SHADOWS JUNE 12PM  
1:300

CARLYLE STREET



MARVELL LANE

2 PROPOSED SHADOWS JUNE 12PM  
1:100



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REVISION				
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B	FOR DEVELOPMENT APPLICATION	EM/SA	22/1/17	

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**PROJECT.** CARLYLE STREET HOUSES  
**PROJECT NO.** 17011  
**OWNER.** DROMORE PTY LTD  
**ADDRESS.** 57 CARLYLE STREET, BYRON BAY 2481

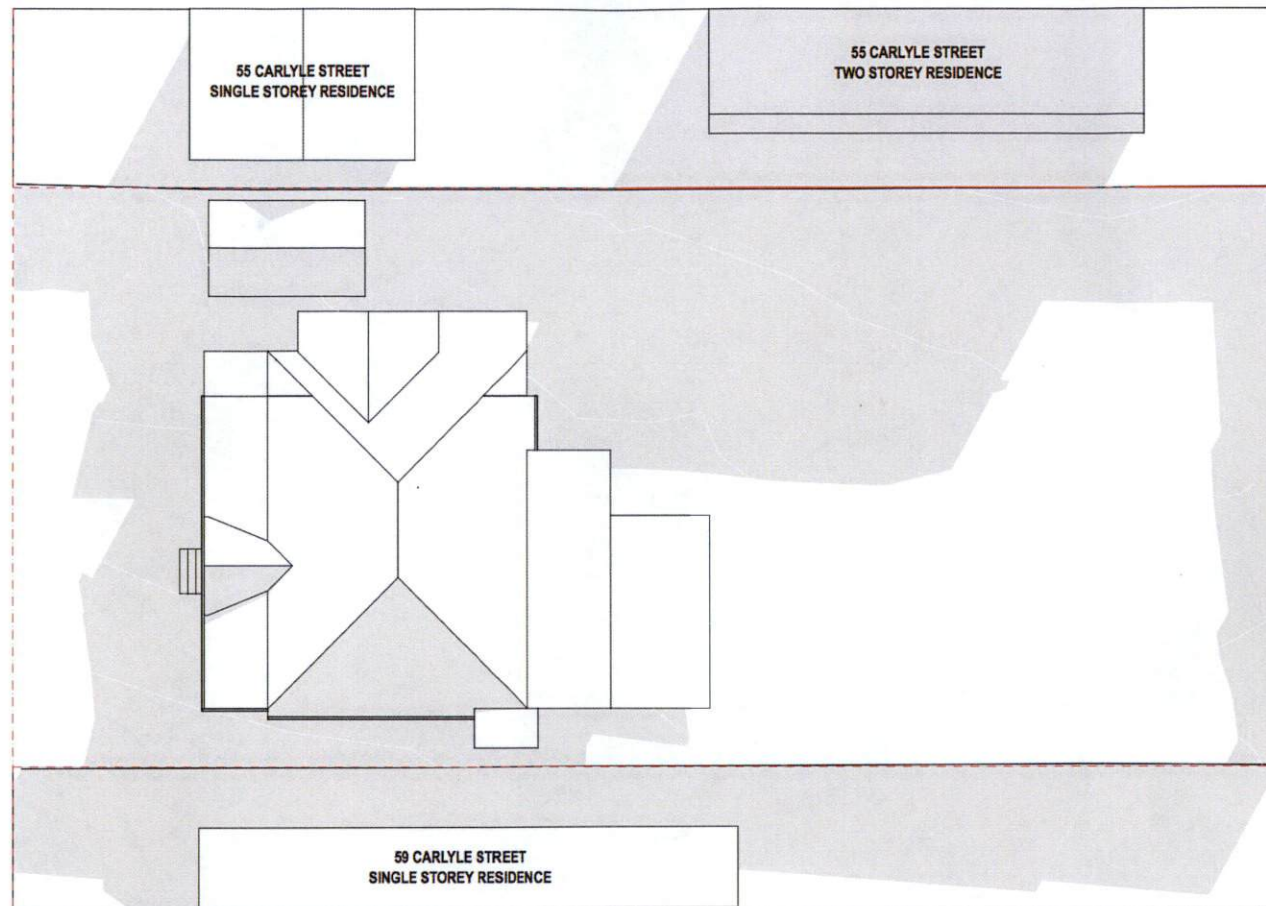
**DRAWING TITLE.** SUN SHADOWS - JUNE 21 12PM  
**SCALE.** 1:100 AT A3  
**DRAWN / CHECKED.** LH/EM  
**ISSUED.** FOR DEVELOPMENT APPLICATION

DRAWING  
DA.20

REVISION  
B

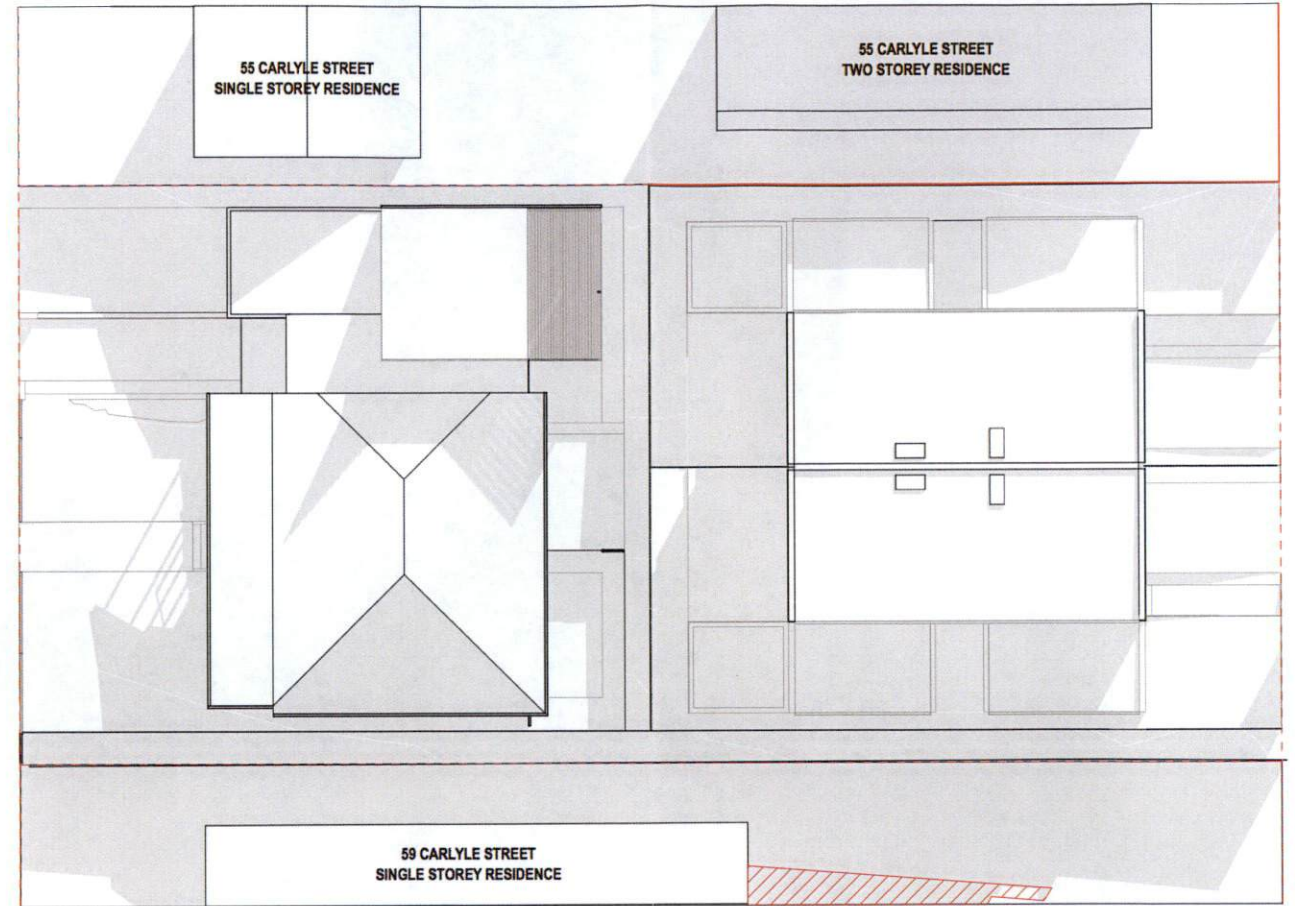


CARLYLE STREET



MARVELL LANE

CARLYLE STREET



MARVELL LANE

1 EXISTING SHADOWS JUNE 3PM 1:30

2 PROPOSED SHADOWS JUNE 3PM 1:30

**LEGEND**

EXISTING SHADOW CAST

ADDITIONAL SHADOW CAST

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REVISION				
A	FOR INFORMATION	LH/EM	6/11/17	
B	FOR DEVELOPMENT APPLICATION	EM/SA	22/11/17	

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**PROJECT.** CARLYLE STREET HOUSES  
**PROJECT NO.** 17011  
**OWNER.** DROMORE PTY LTD  
**ADDRESS.** 57 CARLYLE STREET, BYRON BAY 2481

**DRAWING TITLE.** SUN SHADOWS - JUNE 21 3PM  
**SCALE.** 1:100 AT A3  
**DRAWN / CHECKED.** LH/EM  
**ISSUED.** FOR DEVELOPMENT APPLICATION



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**DA.21**

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**B**





GFA CALCULATIONS			
CONTROL			
SITE AREA:	1164.51 m <sup>2</sup>	PROPOSED GFA	
ALLOWABLE FSR:	0.50:1 (582.26 m <sup>2</sup> )		DWELLING A 165.96 m <sup>2</sup>
			DWELLING B GROUND 94.44 m <sup>2</sup>
			DWELLING C GROUND 94.44 m <sup>2</sup>
			DWELLING B FIRST 75.38 m <sup>2</sup>
			DWELLING C FIRST 75.38 m <sup>2</sup>
			TOTAL GFA. 505.60 m <sup>2</sup>
			PROPOSED FSR: 0.43:1

LANDSCAPE OPEN SPACE PLAN AND CALCULATIONS			
CONTROL			
	LANDSCAPE AREA.	25% OVERALL SITE - 291.13 m <sup>2</sup>	
	OPEN SPACE.	36 m <sup>2</sup>	
PROPOSED			
	LANDSCAPE AREA.	27.5% - 319.78 m <sup>2</sup>	
	OPEN SPACE	DWELLING A	52.53 m <sup>2</sup>
		DWELLING B	39.45 m <sup>2</sup>
		DWELLING C	39.45 m <sup>2</sup>

NOTE  
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- REFER LANDSCAPE PLAN PREPARED BY THOSE ARCHITECTS  
- REFER STORMWATER PLAN PREPARED BY ARDILL PAYNE & PARTNERS  
- REFER SEE PREPARED BY ARDILL PAYNE & PARTNERS

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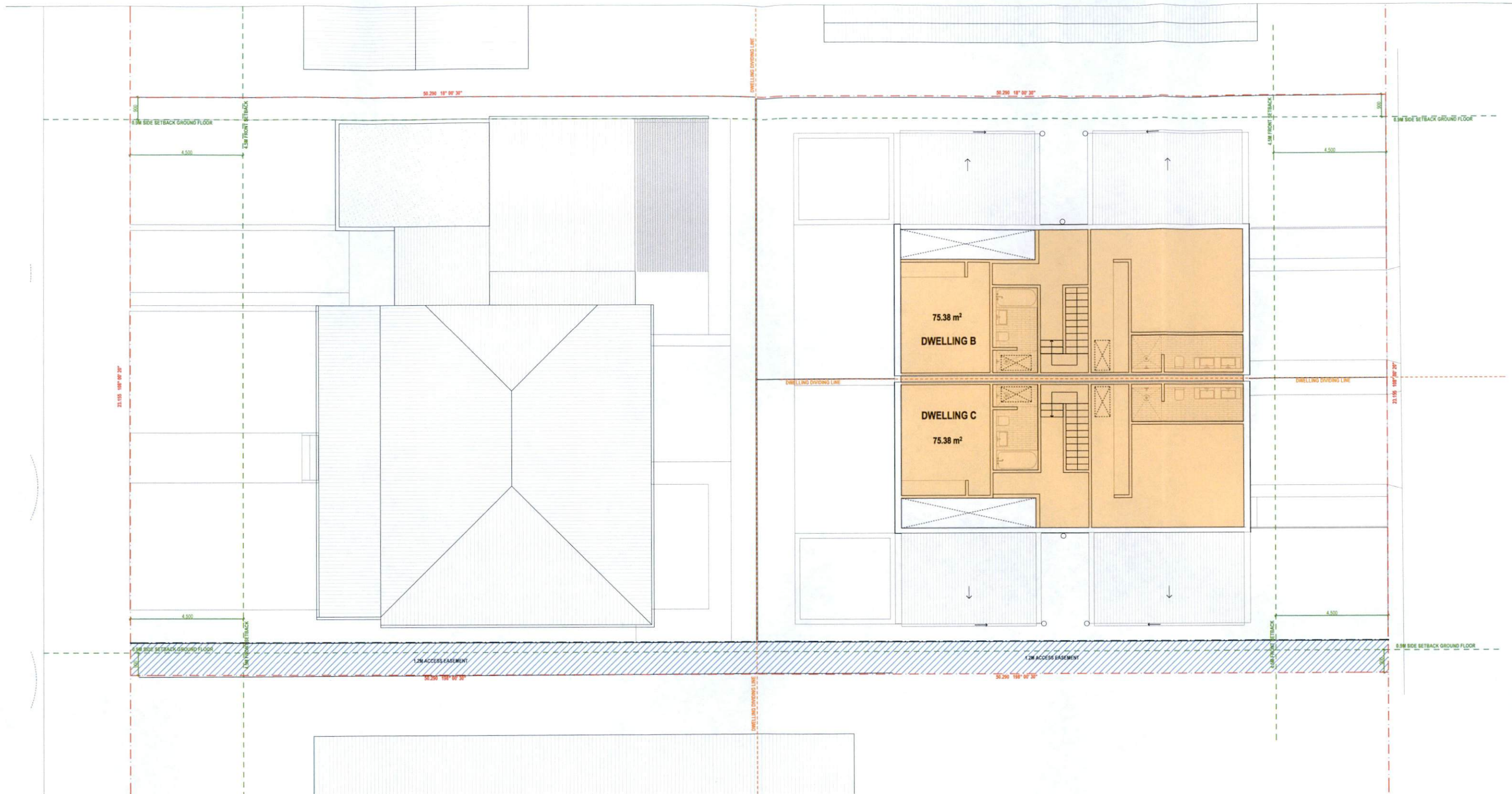
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ISSUED.

CARLYLE STREET HOUSES  
17011  
DROMORE PTY LTD  
57 CARLYLE STREET, BYRON BAY 2481  
GFA GROUND FLOOR PLAN  
1:100 AT A3  
LH/EM  
FOR DEVELOPMENT APPLICATION

DRAWING  
DA.22  
REVISION  
B





1

GFA FIRST  
1:150

#### GFA CALCULATIONS

CONTROL  
SITE AREA: 1164.51 m<sup>2</sup>  
ALLOWABLE FSR: 0.50:1 (582.26 m<sup>2</sup>)

#### PROPOSED GFA

DWELLING A	165.96 m <sup>2</sup>
DWELLING B GROUND	94.44 m <sup>2</sup>
DWELLING C GROUND	94.44 m <sup>2</sup>
DWELLING B FIRST	75.38 m <sup>2</sup>
DWELLING C FIRST	75.38 m <sup>2</sup>
TOTAL GFA	505.60 m <sup>2</sup>

PROPOSED FSR: 0.43:1

#### LANDSCAPE OPEN SPACE PLAN AND CALCULATIONS

##### CONTROL

LANDSCAPE AREA	25% OVERALL SITE - 291.13 m <sup>2</sup>
OPEN SPACE	36 m <sup>2</sup>

##### PROPOSED

LANDSCAPE AREA	27.5% - 319.78 m <sup>2</sup>
OPEN SPACE	DWELLING A 52.53 m <sup>2</sup> DWELLING B 39.45 m <sup>2</sup> DWELLING C 39.45 m <sup>2</sup>

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**DRAWING TITLE.**  
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GFA FIRST FLOOR PLAN  
1:100 AT A3  
LH/EM  
FOR DEVELOPMENT APPLICATION

**DRAWING**  
**DA.23**

**REVISION**  
**B**



RESIDENTS TO TAKE BINS OUT TO  
CARLYLE STREET THE EVENING  
BEFORE THE DESIGNATED  
COLLECTION DAY AND RETURN THEM  
TO THE BIN STORAGE AREA ONCE  
EMPTY.

CARLYLE STREET

MATERIALS STORAGE  
DURING CONSTRUCTION



MATERIALS STORAGE  
DURING CONSTRUCTION

RESIDENTS TO TAKE BINS OUT TO  
MARVELL LANE THE EVENING  
BEFORE THE DESIGNATED  
COLLECTION DAY AND RETURN THEM  
TO THE BIN STORAGE AREA ONCE  
EMPTY.

MARVELL LANE

RESIDENTS TO TAKE BINS OUT TO  
MARVELL LANE THE EVENING  
BEFORE THE DESIGNATED  
COLLECTION DAY AND RETURN THEM  
TO THE BIN STORAGE AREA ONCE  
EMPTY.

1 WASTE MANAGEMENT PLAN  
1:200

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WASTE MANAGEMENT PLAN  
1:200 AT A3  
LH/EM  
FOR DEVELOPMENT APPLICATION

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DA.24

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1 PHOTMONTAGE  
1:1

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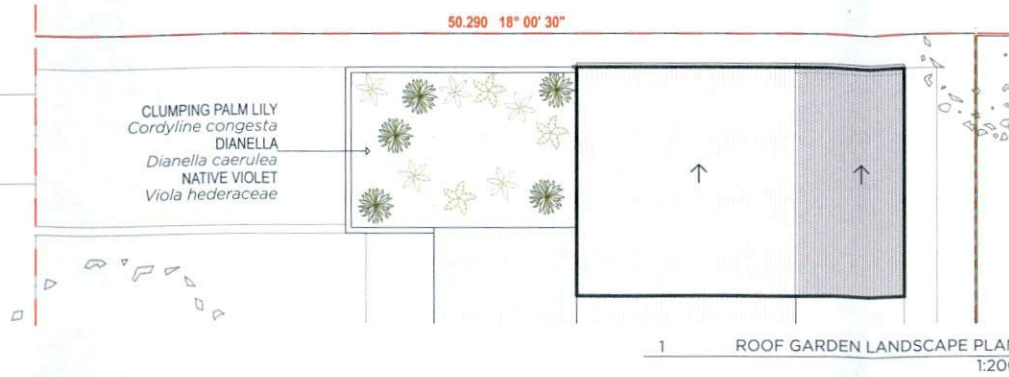
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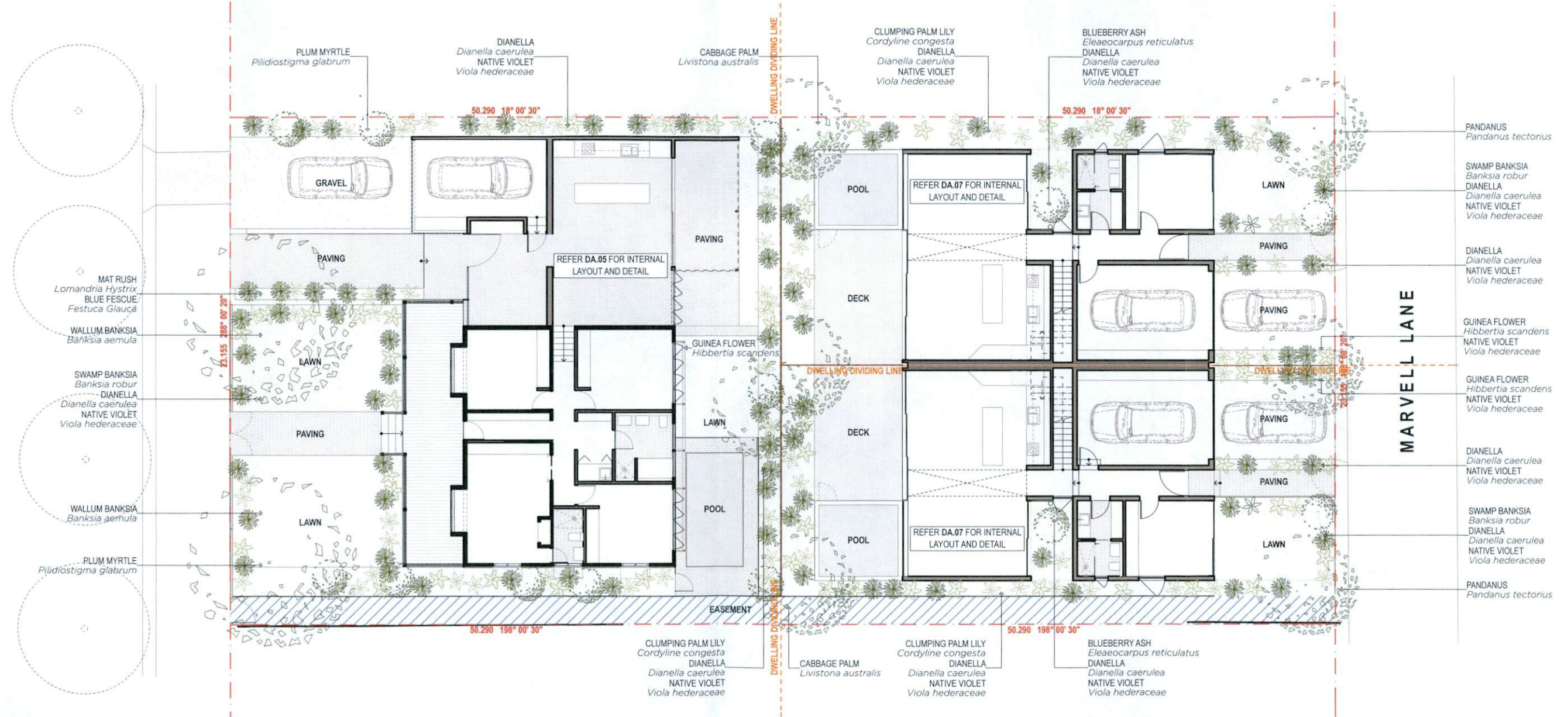
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**A**



CARLYLE STREET



1 ROOF GARDEN LANDSCAPE PLAN  
1:200



1 LANDSCAPE PLAN  
1:200



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LANDSCAPE PLAN  
1:200 AT A3  
LH/EM  
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LANDSCAPE SPECIFICATION NOTES

SERVICES

BEFORE LANDSCAPE WORK IS COMMENCED THE LANDSCAPE CONTRACTOR IS TO ESTABLISH THE POSITION OF ALL SERVICE LINES AND ENSURE TREE PLANTING IS CARRIED OUT AT LEAST 3 METRES AWAY FROM THESE SERVICES. SERVICE LIDS, VENTS AND HYDRANTS SHALL BE LEFT EXPOSED AND NOT COVERED BY ANY LANDSCAPE FINISHES (TURFING, PAVING, GARDEN BEDS ETC.) FINISH ADJOINING SURFACES FLUSH WITH PIT LIDS.

ABORIST MANAGEMENT OF TREE PROTECTION

A QUALIFIED AND APPROVED ABORIST IS TO BE CONTRACTED TO UNDERTAKE OR MANAGE THE INSTALLTION OF PROTECTIVE FENCING, AND TO UNDERTAKE SUCH MEASURES AS HE DEEMS APPROPRIATE TO PRESERVE THE SUBJECT TREES TO BE RETAINED. THE ARBORIST IS TO BE RETAINED FOR THE ENTIRE CONTRACT PERIOD TO UNDERTAKE ONGOING MANAGEMENT AND REVIEW OF THE TREES.

DRAINAGE CELL AND FILTER FABRIC

FOR ON-SLAB AREAS INSTALL AN APPROVED 'DRAINAGE CELL' PRODUCT TO COMPREHENSIVELY COVER THE BOTTOM OF ALL PLANTERS. OVER DRAINAGE CELL TO ON-SLAB AREAS, A POLYFELT GEOTEXTILE LINING (AS SUPPLIED BY 'POLYFELT TS' OR APPROVED EQUIVALENT) IS TO BE INSTALLED TO COVER THE BOTTOM OF ALL PLANTERS. TURNED UP 300MM AND TAPED TO THE PLANTER SIDES TO ENSURE SOIL MIX DOES NOT ESCAPE INTO DRAINAGE OUTLETS/HOLES. INSTALL MIN. 50MM COARSE RIVER SAND OVER ALL GEOTEXTILE LINING PRIOR TO INSTALLATION OF SOIL MIX.

PLANTING MIXTURE

SHALL BE HOMOGENOUS BLEND OF SOIL AND ADDITIVES IN THE FOLLOWING PROPORTIONS:

EXISTING SITE SOIL IF SUITABLE OR

IMPORTED TOPSOIL 50%

COMPOST 30%

DW SAND 20%

SOIL TESTING OF EXISTING SITE SOIL IS TO BE UNDERTAKEN TO ASSESS SUITABILITY OF USE AS PLANTING TOP-SOIL AND COMPLIANCE WITH AUSTRALIAN STANDARDS.

MULCH APPLICATION

PLACE MULCH TO THE REQUIRED DEPTH. (REFER TO DRAWINGS) CLEAR OF PLANT STEMS, AND RAKE TO AN EVEN SURFACE FINISHING 25MM BELOW ADJOINING LEVELS. ENSURE MULCH IS WATERED IN AND TAMPED DOWN DURING INSTALLATION.

MULCH TYPE

PINE BARK, FROM MATURE TREES. GRADED IN SIZE FROM 15MM TO 30MM, FREE FROM WOOD SLIVERS. DARK BROWN IN COLOUR AND TEXTURE.

COMPOST

SHALL BE WELL ROTTED VEGETATIVE MATERIAL OR ANIMAL MANURE, OR OTHER APPROVED MATERIAL, FREE FROM HARMFUL CHEMICALS, GRASS AND WEED GROWTH AND WITH NEUTRAL PH. PROVIDE A CERTIFICATE OF PROOF OF PH UPON REQUEST.

PLANT MATERIAL

ALL PLANTS SUPPLIED ARE TO CONFORM WITH THOSE SPECIES LISTED IN THE PLANT SCHEDULE ON THE DRAWINGS. GENERALLY PLANTS SHALL BE VIGOROUS, WELL ESTABLISHED, HARDENED OFF, OF GOOD FORM CONSISTENT WITH SPECIES OR VARIETY, NOT SOFT OR FORCED, FREE FROM DISEASE OR INSECT PESTS WITH LARGE HEALTHY ROOT SYSTEMS AND NO EVIDENCE OF HAVING BEEN RESTRICTED OR DAMAGED. TREES SHALL HAVE A LEADING SHOOT. IMMEDIATELY REJECT DRIED OUT, DAMAGED OR UNHEALTHY PLANT MATERIAL BEFORE PLANTING. ALL STOCK IS TO BE CONTAINER GROWN FOR A MINIMUM OF SIX (6) MONTHS PRIOR TO DELIVERY TO SITE

FERTILISER MASS PLANTING AREAS:

FERTILISER SHALL BE 'NUTRICOTE' OR APPROVED EQUIVALENT IN GRANULE FORM INTENDED FOR SLOW RELEASE OF PLANT NUTRIENTS OVER A PERIOD OF APPROXIMATELY NINE MONTHS. THOROUGHLY MIX FERTILISER WITH PLANTING MIXTURE AT THE RECOMMENDED RATE, PRIOR TO INSTALLING PLANTS.

TURF

SHALL BE SIR WALTER BUFFALO. SHIRLEYS NO. 17 OR APPROVED EQUAL LAWN FOOD SHALL BE THOROUGHLY MIXED INTO THE TOPSOIL PRIOR TO PLACING TURF.

TREES IN GRASS AND SUPER ADVANCED TREES:

PELLETS SHALL BE IN THE FORM INTENDED TO UNIFORMLY RELEASE PLANT FOOD ELEMENTS FOR A PERIOD OF APPROXIMATELY NINE MONTHS EQUAL TO SHIRLEYS KOKEI PELLETS. ANALYSIS 6.3:1.8:2.9. KOKEI PELLETS SHALL BE PLACED AT THE TIME OF PLANTING TO THE BASE OF THE PLANT, 50MM MINIMUM FROM THE ROOT BALL AT A RATE OF TWO PELLETS PER 300MM OF TOP GROWTH TO A MAXIMUM OF 8 PELLETS PER TREE.

STAKING AND TYING

STAKES SHALL BE STRAIGHT HARDWOOD, FREE FROM KNOTS AND TWISTS, POINTED AT ONE END AND SIZED ACCORDING TO SIZE OF PLANTS TO BE STAKED.  
A. 5-15 LITRE SIZE PLANT 1X(1200X25X25MM)  
B. 35-75 LITRE SIZE PLANT 2X(1500X38X38MM)  
C. 100-GREATER THAN 200LITRE 3X(1800X50X50MM)  
TIES SHALL BE 50MM WIDE HESSIAN WEBBING OR APPROVED EQUIVALENT NAILED OR STAPLED TO STAKE. DRIVE STAKES A MINIMUM ONE THIRD OF THEIR LENGTH, AVOIDING DAMAGE TO THE ROOT SYSTEM, ON THE WINDWARD SIDE OF THE PLANT.

IRRIGATION SYSTEM

SUPPLY AN AUTOMATIC WATERING SYSTEM USING 'TORO IRRIGATION SYSTEM' OR SIMILAR APPROVED, WITH MICRO-JET SPRINKLER HEADS AND LOW DENSITY, RUBBER MODIFIED POLYPROPYLENE RETICULATION, TO INCLUDE FILTERS, BENDS JUNCTIONS, ENDS AND OTHER ANCILLARY EQUIPMENT. THE LANDSCAPER SHALL NOMINATE HIS SOURCE OF SUPPLY FOR THE WATERING SYSTEM AND OBTAIN APPROVAL FROM THE SUPERINTENDENT BEFORE PLACING ORDERS FOR EQUIPMENT OR SUPPLY.

A SCHEMATIC PLAN OF THE PROPOSED IRRIGATION SYSTEM IS TO BE PREPARED BY THE CONTRACTOR, SHOWING SOLENOIDS, PIPE DIAMETERS, AND ALL NOZZLE AND TRICKLE ATTACHMENT TYPES (INCLUDING SPRAY/HEAD ANGLE), FOR REVIEW BY THE SUPERINTENDENT PRIOR TO INSTALLATION

THE CONTRACTOR IS TO LIASE WITH THE HYDRAULIC ENGINEER AND COUNCIL AS NECESSARY, TO ENSURE THE THE IRRIGATION SYSTEM CONFORMS WITH ALL THE COUNCIL AND WATER BOARD CODES AND REQUIREMENTS.

PROVIDE AN AUTOMATIC CONTROLLER THAT PROVIDES FOR TWO WEEK SCHEDULING AND HOURLY MULTI-CYCLE OPERATION. THE CONTROLLER SHALL MANUAL OVERRIDE. PROGRAMMING SHALL BE UNDERTAKEN BY THE CONTRACTOR WHO SHALL ADVISE ON THE OPERATION OF THE SYSTEM.

PROVISION OF SECURE HOUSING FOR THE AUTOMATIC IRRIGATION CONTROLLER TO BE LOCATED IN ASSOCIATION WITH THE LANDSCAPE CONTRACTOR AND LOCATION CONFIRMED BY THE SUPERINTENDENT. WIRING TO CONNECT REMOTE SOLENOID LOCATIONS IS TO BE PROVIDED. THE CONTROLLER SHALL BE LOCATED IN A DRY PLACE, PROTECTED FROM THE WEATHER, AND ALL CABLE CONNECTIONS SHALL BE MADE WITH WATERPROOF CONNECTORS.

WATER SUPPLY POINTS TO BE SUPPLIED BY BUILDER.

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE AND GUARANTEE SATISFACTORY OPERATION OF THE IRRIGATION SYSTEM.

AFTER THE SYSTEM HAS BEEN INSTALLED TO THE SATISFACTION OF THE SUPERINTENDENT, THE INSTALLATION SHALL BE TESTED UNDER KNOWN WORKING CONDITIONS. ACCEPTANCE OF THE INSTALLED PLANT AND EQUIPMENT SHALL BE SUBJECT TO THESE BEING SATISFACTORY.

TREATED PINE TIMBER EDGING

TIMBER EDGE: 100 X 25MM CCA TREATED RADIATA PINE TIMBER STAKES: 50 X 50 X 500MM CCA TREATED RADIATA PINE-SHARPENED AT ONE END. INSTALL IN LOCATIONS SHOWN ON THE DRAWINGS FLUSH TO FINISHED SURFACE LEVELS.

TURF

TURF ALL LANDSCAPE AREAS AS SHOWN ON THE LANDSCAPE DRAWINGS. TURF IS TO HAVE AN EVEN THICKNESS OF NOT LESS THAN 25MM. OBTAIN TURF FROM AN APPROVED GROWER. FURNISH A WARRANTY FROM THE GROWER THAT THE TURF IS FREE FROM WEEDS AND OTHER FOREIGN MATTER. DELIVER TURF TO THE SITE WITHIN 24 HOURS OF BEING CUT, AND LAY IT WITHIN 24 HOURS OF BEING DELIVERED.

TO PREPARE GRADED AREAS TO RECEIVE TURF, EXCAVATE THE AREA AND CULTIVATE SO AS TO ALLOW FOR IMPORTING OF SOIL MIX A.B.S TO A DEPTH OF 100MM AND GRADE TO APPROPRIATE LEVELS TO ACHIEVE GENERAL EVEN GRADES TO DRAINAGE OUTLETS INSTALLED BY OTHERS.

LAY THE TURF ALONG THE LAND CONTOURS WITH STAGGERED, CLOSE BUTTED JOINTS, SO THAT THE FINISHED TURF SURFACE IS FLUSH WITH ADJACENT FINISHED SURFACES OF PAVING AND THE LIKE. AS SOON AS PRACTICABLE AFTER LAYING, ROLL THE TURF WITH A ROLLER WEIGHING NOT MORE THAN 90KG PER METRE OF WIDTH FOR SANDY OR LIGHT SOILS.

WATER AS NECESSARY TO KEEP THE SOIL MOIST TO A DEPTH OF 100MM. PROTECT NEWLY TURFED AREAS AGAINST TRAFFIC UNTIL GRASS IS ESTABLISHED. FERTILISE TWO WEEKS AFTER LAYING FERTILISE A.B.S

'TOP DRESS' THE TURF WHEN IT IS ESTABLISHED TO A DEPTH OF 10MM WITH COARSE WASHED RIVER SAND. RUB THE DRESSING WELL INTO THE JOINTS AND CORRECT ANY UNEVENNESS IN THE TURF SURFACES.

LANDSCAPE MAINTENANCE PROGRAM

MAINTENANCE SHALL MEAN THE CARE AND MAINTENANCE OF THE LANDSCAPE WORKS BY ACCEPTED HORTICULTURAL PRACTICE AS RECTIFYING ANY DEFECTS THAT BECOME APPARENT IN THE LANDSCAPE WORKS UNDER NORMAL USE. THIS SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO, WATERING, MOWING, FERTILISING, RESEEDING, RETURFING, WEEDING, PEST AND DISEASE CONTROL, STAKING AND TYING, REPLANTING, CULTIVATION, PRUNING, AERATING, RENOVATING, TOP DRESSING, MAINTAINING THE SITE IN A NEAT AND TIDY CONDITION AS FOLLOWS:-

GENERAL

THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE WORKS FOR THE TERM OF THE MAINTENANCE (OR PLANT ESTABLISHMENT) PERIOD TO THE SATISFACTION OF THE COUNCIL. THE LANDSCAPE CONTRACTOR SHALL ATTEND TO THE SITE ON A WEEKLY BASIS. THE MAINTENANCE PERIOD SHALL COMMENCE AT PRACTICAL COMPLETION AND CONTINUE FOR A PERIOD OF TWENTY SIX (26) WEEKS.

WATERING

GRASS, TREES AND GARDEN AREAS SHALL BE WATERED REGULARLY SO AS TO ENSURE CONTINUOUS HEALTHY GROWTH.

RUBBISH REMOVAL

DURING THE TERM OF THE MAINTENANCE PERIOD THE LANDSCAPE CONTRACTOR SHALL REMOVE RUBBISH THAT MAY OCCUR AND REOCCUR THROUGHOUT THE MAINTENANCE PERIOD. THIS WORK SHALL BE CARRIED OUT REGULARLY SO THAT AT WEEKLY INTERVALS THE AREA MAY BE OBSERVED IN A COMPLETELY CLEAN AND TIDY CONDITION.

REPLACEMENTS

THE LANDSCAPE CONTRACTOR SHALL REPLACE ALL PLANTS THAT ARE MISSING, UNHEALTHY OR DEAD AT THE LANDSCAPE CONTRACTOR'S COST. REPLACEMENTS SHALL BE OF THE SAME SIZE, QUALITY AND SPECIES AS THE PLANT THAT HAS FAILED UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT. REPLACEMENTS SHALL BE MADE ON A CONTINUING BASIS NOT EXCEEDING TWO (2) WEEKS AFTER THE PLANT HAS DIED OR IS SEEN TO BE MISSING.

STAKES AND TIES

THE LANDSCAPE CONTRACTOR SHALL REPLACE OR ADJUST PLANT STAKES, AND TREE GUARDS AS NECESSARY OR AS DIRECTED BY THE LANDSCAPE ARCHITECT. REMOVE STAKES AND TIES AT THE END OF THE MAINTENANCE PERIOD IF SO DIRECTED.

PRUNING

TREES AND SHRUBS SHALL BE PRUNED AS DIRECTED BY THE LANDSCAPE ARCHITECT. PRUNING WILL BE DIRECTED AT THE MAINTENANCE OF THE DENSE FOLIAGE OR MISCELLANEOUS PRUNING AND BENEFICIAL TO THE CONDITION OF THE PLANTS. ANY DAMAGED GROWTH SHALL BE PRUNED. ALL PRUNED MATERIAL SHALL BE REMOVED FROM THE SITE.

MULCHED SURFACES

ALL MULCHED SURFACES SHALL BE MAINTAINED IN A CLEAN AND TIDY CONDITION AND BE REINSTATED IF NECESSARY TO ENSURE THAT A DEPTH OF 75MM IS MAINTAINED. ENSURE MULCH IS KEPT CLEAR OF PLANT STEMS AT ALL TIMES.

PEST AND DISEASED CONTROL

THE LANDSCAPE CONTRACTOR SHALL SPRAY AGAINST INSECT AND FUNGUS INFESTATION WITH ALL SPRAYING TO BE CARRIED OUT IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS. REPORT ALL INSTANCES OF PESTS AND DISEASES (IMMEDIATELY THAT THEY ARE DETECTED) TO THE LANDSCAPE ARCHITECT.

GRASS AND TURF AREAS

THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL GRASS AND TURF AREAS BY WATERING, WEEDING, DRESSING, ROLLING, MOWING, TRIMMING OR OTHER OPERATIONS AS NECESSARY. SEED AND TURF SPECIES SHALL BE THE SAME AS THE ORIGINAL SPECIFIED MIXTURE. GRASS AND TURF AREAS SHALL BE SPRAYED WITH APPROVED SELECTIVE HERBICIDE AGAINST BROAD LEAFED WEEDS AS REQUIRED BY THE LANDSCAPE ARCHITECT AND IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS. GRASS AND TURF AREAS SHALL BE FERTILISED ONCE A YEAR IN AUTUMN WITH 'DYNAMIC LIFTER' FOR LAWNS AT A RATE OF 20KG PER 100M2. FERTILISER SHALL BE WATERED IN IMMEDIATELY AFTER APPLICATION. IRREGULARITIES IN THE GRASS AND TURF SHALL BE WATERED IN IMMEDIATELY AFTER APPLICATION. GRASS AND TURF AREAS SHALL BE KEPT MOWN TO MAINTAIN A HEALTHY AND VIGOROUS SWARD. MOWING HEIGHT: 30-50MM.

WEED ERADICATION

ERADICATE WEEDS BY ENVIRONMENTALLY ACCEPTABLE METHODS USING A NON-RESIDUAL GLYPHOSATE HERBICIDE (EG 'ROUNDUP') IN ANY OF ITS REGISTERED FORMULAE, AT THE RECOMMENDED MAXIMUM RATE. REGULARLY REMOVE BY HAND, WEED GROWTH THAT MAY OCCUR OR RECUR THROUGHOUT GRASSED, PLANTED AND MULCHED AREAS. REMOVE WEED GROWTH FROM AN AREA 750MM DIAMETER AROUND THE BASE OF TREES IN GRASSED AREAS. CONTINUE ERADICATION THROUGHOUT THE COURSE OF THE WORKS AND DURING THE MAINTENANCE PERIOD.

SOIL SUBSIDENCE

ANY SOIL SUBSIDENCE OR EROSION WHICH MAY OCCUR AFTER THE SOIL FILLING AND PREPARATION OPERATIONS SHALL BE MADE GOOD BY THE LANDSCAPE CONTRACTOR AT NO COST TO THE CLIENT.

NOTE

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- REFER SEE PREPARED BY ARDILL PAYNE & PARTNERS

REVISION

A	FOR INFORMATION	LH/EM	6/11/17
B	FOR DEVELOPMENT APPLICATION	EM/SA	22/11/17

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PROJECT.  
PROJECT NO.  
OWNER.  
ADDRESS.

CARLYLE STREET HOUSES  
17011  
DROMORE PTY LTD  
57 CARLYLE STREET, BYRON BAY 2481

DRAWING TITLE.  
SCALE.  
DRAWN / CHECKED.  
ISSUED.

LANDSCAPE DETAILS  
1:200 AT A3  
LH/EM  
FOR DEVELOPMENT APPLICATION

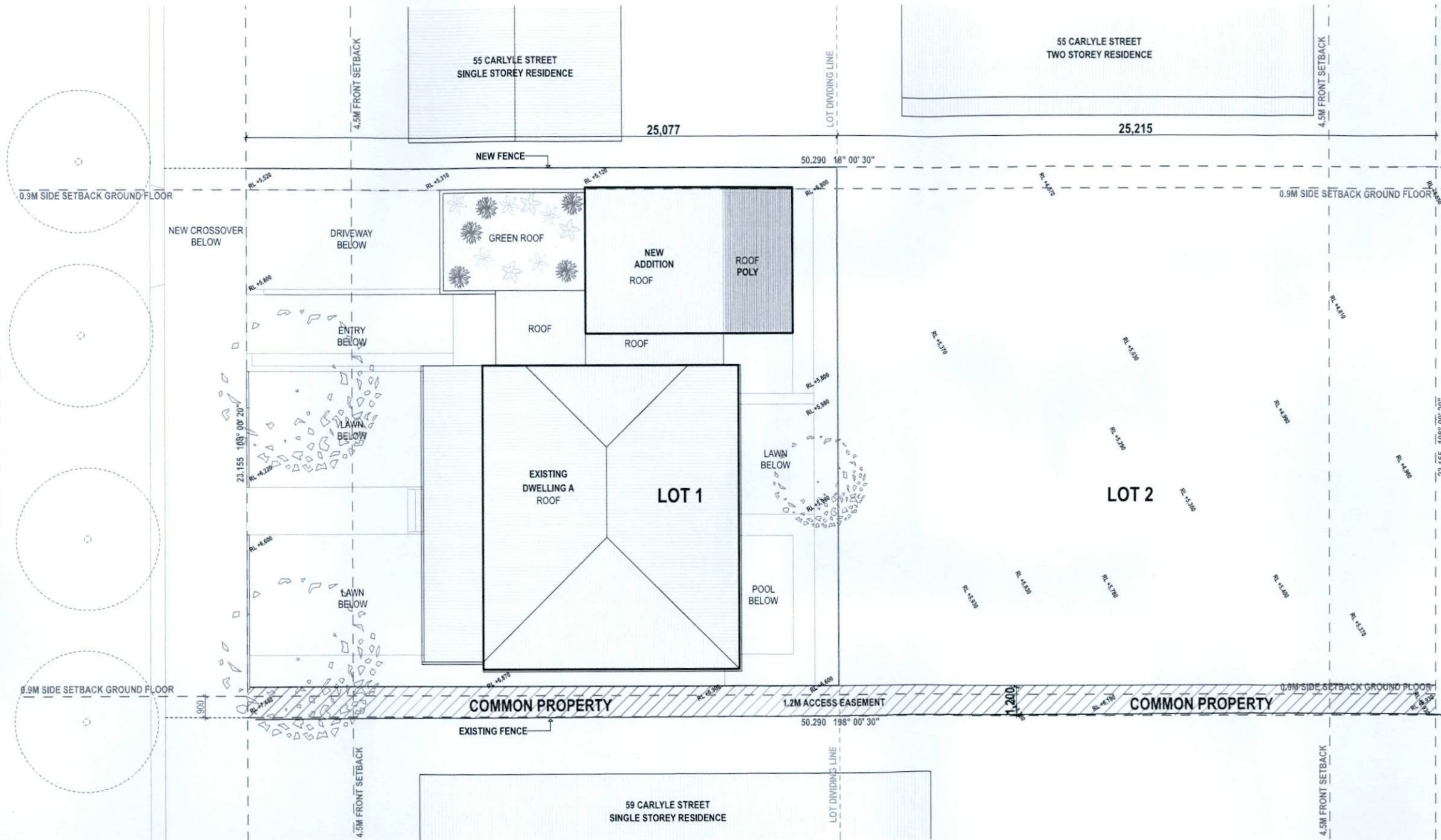
DRAWING  
LP.02

REVISION  
B



CARLYLE STREET

MARVELL LANE



BASIC COMMITMENTS - DWELLINGS B & C New Dwellings	
Water	<ul style="list-style-type: none"><li>-Landscaping: Indigenous or low water use species</li><li>-Pool: Max 18kL outdoor pool</li><li>-Water tank: Dwellings to have an individual tank of at least 1500L collecting rain water from at least 90SQM of roof area and connected to landscape tap, toilet and laundry</li></ul>
Energy	<ul style="list-style-type: none"><li>-Hot water system: Gas instantaneous 5 star</li><li>-Heating and Cooling: Ceiling fans for bedrooms and living room</li><li>-Natural lighting: In at least 1 bathroom/toilet</li><li>-Alternative energy: Dwelling B to install a 1kW photovoltaic system</li></ul>
Thermal Comfort	<ul style="list-style-type: none"><li>-In-slab heating/cooling system: Floor insulation of at least R1.0 around the vertical edges of the slab (if concrete), or insulation R1.0 under the slab and around the vertical edges (if suspended floor)</li><li>-Floors: Concrete slab on ground with no minimum R value insulation</li><li>-Walls: External Walls: Cavity panel, minimum total system R value of R2.0 (bulk value)</li><li>-Ceilings: Plasterboard ceiling, minimum total system R value of R3.0 (bulk value)</li><li>-Roof: Sheet metal roofing - Reflective airgap required</li><li>-Windows &amp; glazed doors: Given values are AFRC, total window system values (glass and frame) U-Value: 5.40 (equal to or lower than) SHGC: 0.58 (±5%) Clear Low-e glass in AL, Frame</li><li>-Skylights: Double glazed OPAL U-Value: 2.60 (equal to or lower than) SHGC: 0.24</li></ul>
BASIC COMMITMENTS - DWELLING A Alterations & Additions	
Pool	Max 21kL outdoor pool
Insulation Requirements	<ul style="list-style-type: none"><li>-Floors: Concrete slab on ground with no minimum R value insulation</li><li>Framed suspended floor with open subfloor with R0.7 insulation (insulation value only)</li><li>Framed suspended floor with enclosed subfloor with R0.7 insulation (insulation value only)</li><li>-Walls: External Walls: Framed, minimum total system R value of R2.0 (insulation value only) (RL40 including construction)</li><li>Internal walls shared with garage: Single skin masonry R0.8</li><li>-Ceilings: Plasterboard ceiling</li><li>-Roof: Metal roof with foil backed blanket (R3 down) External colour: Medium (SA 0.475-0.7)</li></ul>
Glazing requirements	<ul style="list-style-type: none"><li>-Windows &amp; glazed doors: Given values are AFRC, total window system values (glass and frame) Timber or uPVC single clear performance glazing to all windows/glazed doors U-Value: 5.71 (equal to or lower than) SHGC: 0.68 (±10%)</li><li>-External shade: Shading as drawings</li></ul>
LEGEND-CODES	
AHD AUSTRALIAN HEIGHT DATUM	HWS HOT WATER SYSTEM
B- BATTEN TYPE -	LG LOUVRE GLASS
C- COLUMN TYPE -	MR METAL ROOF
CL CENTER LINE	PAV PAVEMENT
CONC CONCRETE	PCONC PAINTED CLADDING TYPE -
CPT CARPET	POLY POLYCARBONATE
D DOOR	PR PAINTED RENDER
DP DOWN PIPE	PT POOL TILE
EG EAVES GUTTER	RWT RAIN WATER TANK
F- FENCE TYPE -	SG SLIDING GLASS
FC FIBRE CEMENT	TD TIMBER DECK
FCL FINISHED CEILING HEIGHT	TF TIMBER FLOORING
FFL FINISH FLOOR LEVEL	TOP TOP OF FENCE
FG FIXED GLASS	TOW TOP OF WALL
FT FLOOR TILE	W WINDOW
G GATE	
HR HAND RAIL	

1 STAGE 1 PROPOSED STRATA PLAN  
1:200

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REVISION			
A	FOR DEVELOPMENT APPLICATION	EM/SA	28/11/17

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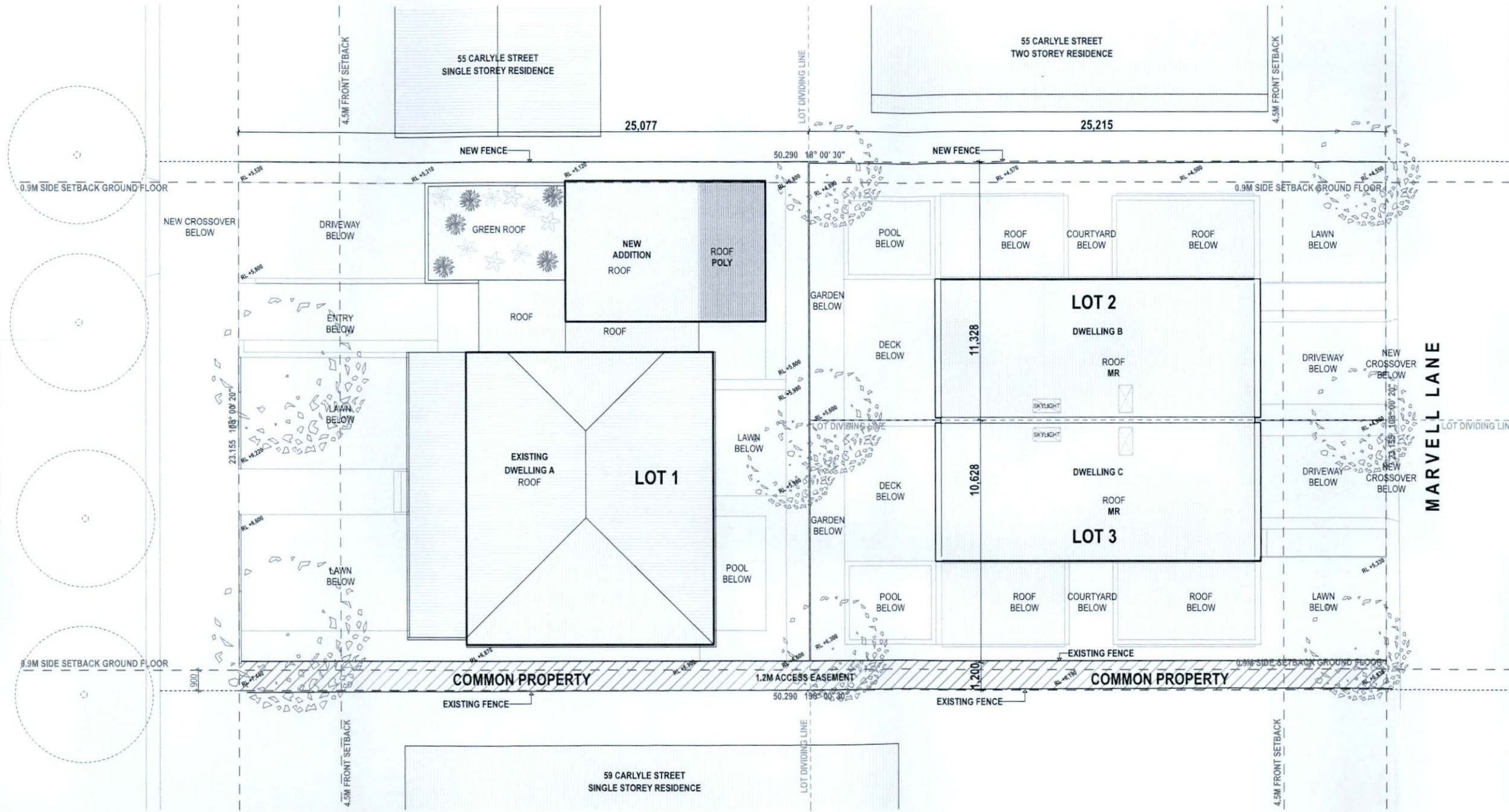
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**PROJECT.**  
**PROJECT NO.**  
**OWNER.**  
**ADDRESS.**  
**DRAWING TITLE.**  
**SCALE.**  
**DRAWN / CHECKED.**  
**ISSUED.**

CARLYLE STREET HOUSES  
17011  
DROMORE PTY LTD  
57 CARLYLE STREET, BYRON BAY 2481  
STAGE 1 PROPOSED STRATA PLAN  
1:100 AT A3  
LH/EM  
FOR DEVELOPMENT APPLICATION

DRAWING  
DA.26REVISION  
A





BASIS COMMITMENTS - DWELLINGS B & C	
New Dwellings	
Water	<ul style="list-style-type: none"><li>-Landscaping Indigenous or low water use species</li><li>-Pool Max 18kL outdoor pool</li><li>-Water tank Dwellings to have an individual tank of at least 1500L collecting rain water from at least 900QM of roof area and connected to landscape tap, toilet and laundry</li></ul>
Energy	<ul style="list-style-type: none"><li>-Hot water system Gas instantaneous 5 star</li><li>-Heating and Cooling Ceiling fans for bedrooms and living room</li><li>-Natural lighting In at least 1 bathroom/toilet</li><li>-Alternative energy Dwelling B to install a 1kW photovoltaic system</li></ul>
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BASIS COMMITMENTS - DWELLING A	
Alterations & Additions	
Pool	Max 21kL outdoor pool
Insulation Requirements	<ul style="list-style-type: none"><li>-Floors Concrete slab on ground with no minimum R value insulation Framed suspended floor with open subfloor with R0.7 insulation (insulation value only) Framed suspended floor with enclosed subfloor with R0.7 insulation (insulation value only)</li><li>-Walls External Walls: Framed, minimum total system R value of R1.0 (insulation value only) (R1.40 including construction) Internal walls shared with garage: Single skin masonry R0.18</li><li>-Ceilings Plasterboard ceiling</li><li>-Roof Metal roof with foil backed blanket (R3 down) External colour: Medium (SA 0.475-0.7)</li></ul>
Glazing requirements	<ul style="list-style-type: none"><li>-Windows &amp; glazed doors Given values are AFRC, total window system values (glass and frame) Timber or uPVC single clear performance glazing to all windows/glazed doors U-Value: 5.71 (equal to or lower than) SHGC: 0.66 (±10%)</li><li>-External shade Shading as drawings</li></ul>

LEGEND-CODES			
AHD	AUSTRALIAN HEIGHT DATUM	HWS	HOT WATER SYSTEM
B-	BATTEN TYPE -	LG	LOUVRE GLASS
C-	COLUMN TYPE -	HR	METAL ROOF
CL	CENTER LINE	PAV	PAVER
CONC	CONCRETE	PC	PAINTED CLADDING TYPE -
CPT	CARPET	PCONC	POLISHED CONCRETE
D	DOOR	POLY	POLYCARBONATE
DP	DOWN PIPE	PR	PAINTED RENDER
EG	EAVES GUTTER	PT	POOL TILE
F-	FENCE TYPE -	RL	REDUCED LEVEL
FC	FIBRE CEMENT	RWT	RAIN WATER TANK
FCL	FINISHED CEILING HEIGHT	SG	SIDING GLASS
FGL	FINISH FLOOR LEVEL	TD	TIMBER DECK
FG	FIXED GLASS	TF	TIMBER FLOORING
FT	FLOOR TILE	TOF	TOP OF FENCE
G	GATE	TOW	TOP OF WALL
HR	HAND RAIL	W	WINDOW

1 STAGE 2 PROPOSED STRATA PLAN  
1:200

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REVISION			
A	FOR DEVELOPMENT APPLICATION	EM/SA	28/11/17

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**PROJECT.** CARLYLE STREET HOUSES  
**PROJECT NO.** 17011  
**OWNER.** DROMORE PTY LTD  
**ADDRESS.** 57 CARLYLE STREET, BYRON BAY 2481

**DRAWING TITLE.** STAGE 2 PROPOSED STRATA PLAN  
**SCALE.** 1:100 AT A3  
**DRAWN / CHECKED.** LH/EM  
**ISSUED.** FOR DEVELOPMENT APPLICATION

DRAWING  
DA.27REVISION  
A