

LONGITUDINAL SECTION Driveway
SCALES: HORIZONTAL 1:200 VERTICAL 1:50

This plan is NOT to be used for construction purposes unless it carries the approval stamp of the local authority.

Issue	Date	Description	App'd
A	13/02/2014	Driveway amendments	APP

Client:

Gai Hart-Hughes

Project:

Proposed Unit Development
Pt. Lot 2 DP1086364
Ballina Road Bangalow

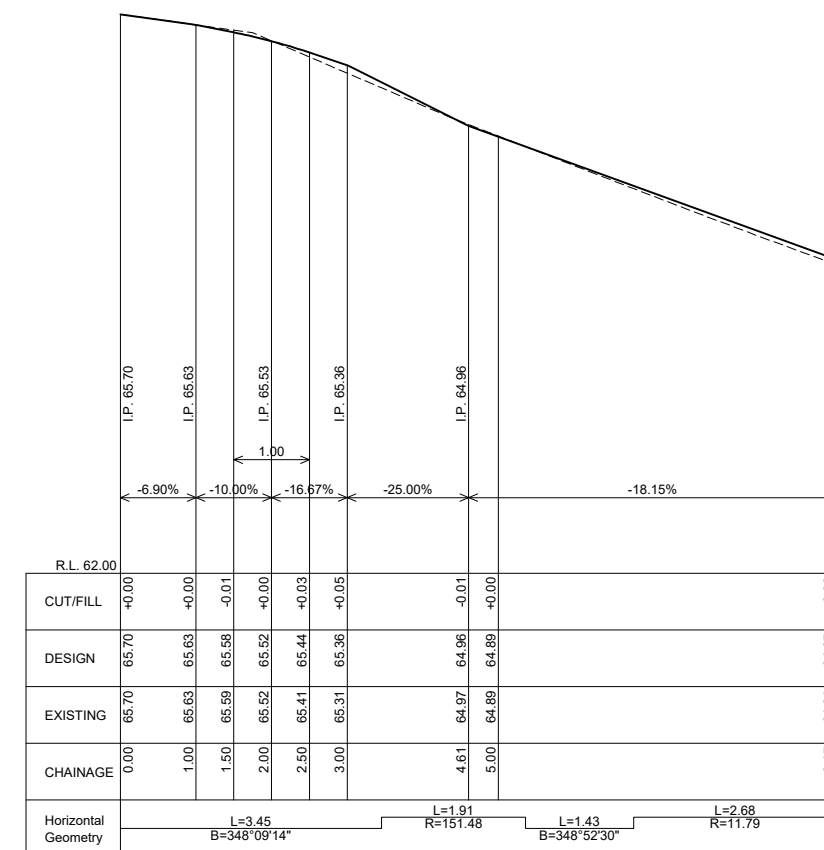
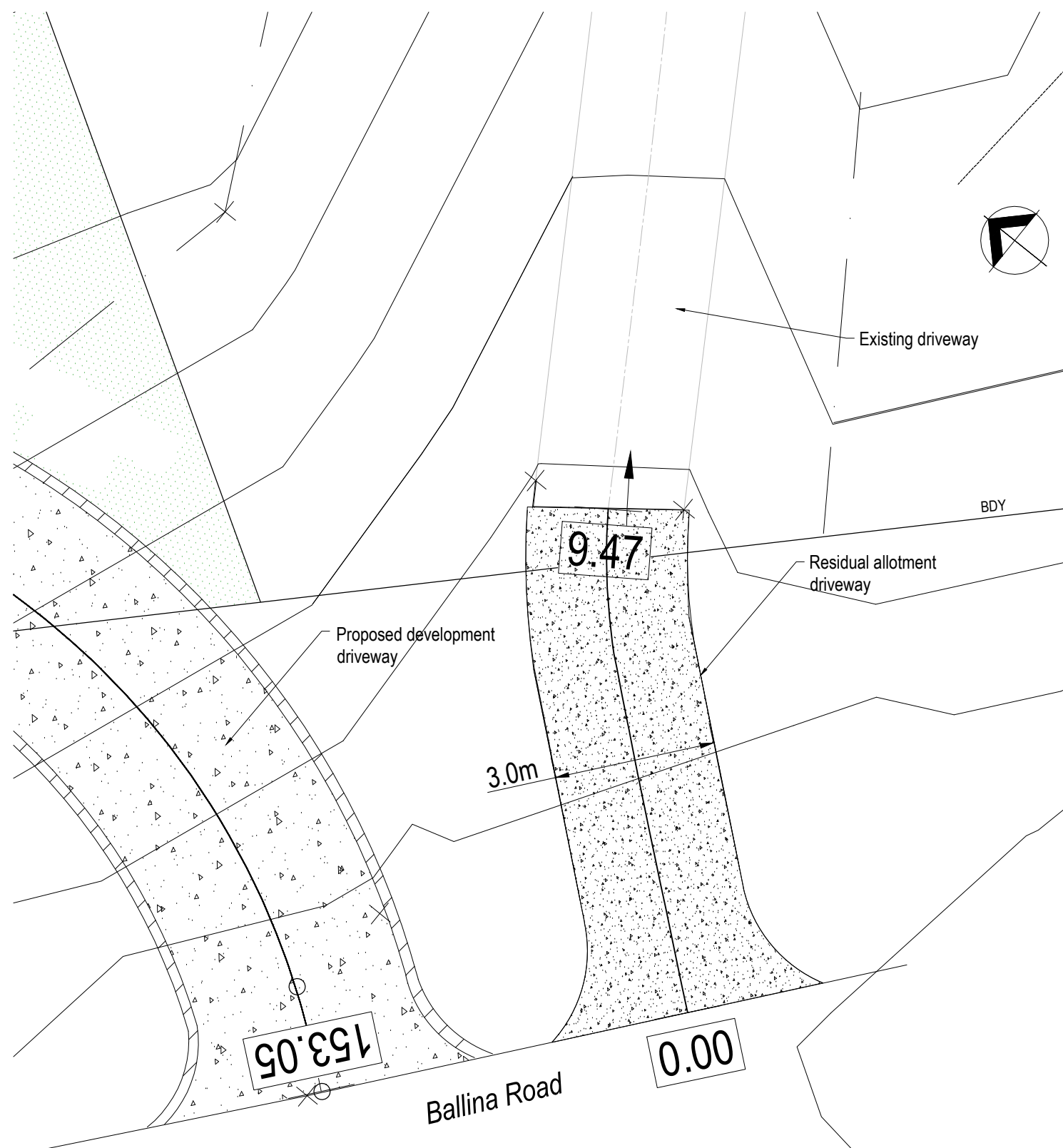
Title:

Driveway Layout
Turning Movements
and Longitudinal Section

Do not scale drawing. Use written dimensions only
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ARDILL PAYNE
& PARTNERS
ENGINEERS PLANNERS SURVEYORS
ENVIRONMENTAL PROJECT MANAGEMENT
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SOUTH BRISBANE 89 Grey Street Ph. 07 3123 6675
GUNNDAH 285 Conadilly Street Ph. 02 6742 9955
A.B.N. 51 808 558 977 e-mail: info@ardillpayne.com.au

Designed	LH	Scale	1:200 @ A1, 1:400 @ A3
Drawn	LH		
Checked	ME	File Name	7926 Driveway.dwg
Approved	APP	Date	13/02/2017
Job No.	7926	Dwg No.	C01
		Issue	A



This plan is NOT to be used for construction purposes unless it carries the approval stamp of the local authority.

[illegible]

Approved Form 8	Strata Development Contract	Sheet 1 of 12 sheets
Registered:	Office Use Only	Office Use Only

Description of Development

The development scheme as provided for in this Strata Development Contract will be completed over several stages. Stage 1 of the development:

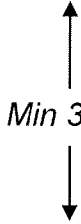
- is illustrated in the accompanying strata plan;
- will be completed upon registration of the plan;
- contains lots 1 to 4;
- upon registration of Stage 1 it is intended to create development lots 5,6,7 and 8.

The development scheme as provided for in this Strata Development Contract will conclude on the date specified being 10 years after registration of this contract.

It is intended that each stage will contain authorised proposals which the developer may not be compelled to carry out, as described in this Strata Development Contract.

The Developer has the right to occupy those parts of the common property reasonably necessary to carry out the proposed development such parts being all common property driveways and parking areas.

The provisions of this Strata Development Contract incorporate and are subject to the covenants implied by section 81(1) and Schedule 3 *Strata Schemes Development Act 2015*.

	Strata Development Contract	Sheet 2 of 12 sheets
Registered:	Office Use Only	Office Use Only
		

Warranted Development – proposed development subject to a warranty

Development that the developer is permitted to carry out and may be compelled to carry out.

Nil

Authorised Development – proposed development not subject to a warranty.

(a) Description of Development

Stage 2

Construction on development lot 5 of a double story building in accordance with the **Concept Plan** containing 4 x 2 bedroom dwellings. Strata subdivision into 4 separate lots.

Stage 3

Construction on development lot 6 of a double story building in accordance with the **Concept Plan** containing 4 x 2 bedroom dwellings. Strata subdivision into 4 separate lots.

Stage 4

Construction on development lot 7 of a double story building in accordance with the **Concept Plan** containing 4 x 2 bedroom dwellings. Strata subdivision into 4 separate lots.

Stage 5

Construction on development lot 8 of a double story building in accordance with the **Concept Plan** containing 4 x 2 bedroom dwellings. Strata subdivision into 4 separate lots.

(b) Common Property Amenities

Nil other than access ways and visitor car parking spaces (5 to be provided on completion of the final stage).

(c) Schedule of Commencement and Completion

The final stage (stage 5) will be completed by the date which is 10 years after the date on which this contract is registered.

(d) Schedule of Lots

Stage 2

4 lots

Stage 3

4 lots

Stage 4

4 lots

Stage 5

4 lots

(e) Arrangements for Entry, Exit, Movement and Parking of Vehicles to, from and on the parcel during development and Permitted Uses of Common Property and Development Lots during development

The Developer will require unimpeded access to all common property driveways and visitor parking spaces during the development of stages 2,3,4 and 5 during the hours of construction permitted under the relevant development consent.

	Strata Development Contract	Sheet 3 of 12 sheets
Registered:	Office Use Only	Office Use Only
		<i>Min 30mm</i>

(f) Landscaping

A landscaping plan is annexed to this contract as part of the Concept Plan.

(g) Schedule of Materials and Finishes

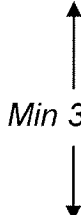
The building is to be constructed of a mixture of fibre cement cladding, metal wall sheeting and rendered brickwork with a metal roof.

(h) Contribution to Common Property Expenses

Despite the schedule of unit entitlements, until completion of each stage the Developer is not obliged to contribute to common property expenses in respect of any development lots until such time as an occupation certificate has issued for the dwellings within that development lot.

(i) Proposed By-Laws, Management Agreements, Covenants, Easements or Dedications

Nil.

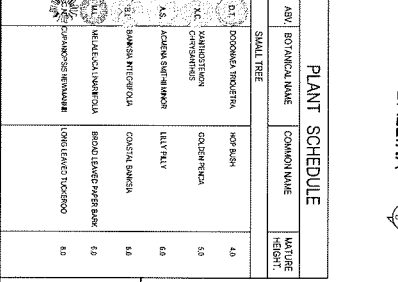
	Strata Development Contract	Sheet 4 of 12 sheets
Registered:	Office Use Only	Office Use Only
		


Concept Plan for Stages 2,3,4 and 5 subdivision of developments lot(s) 5,6,7 and 8

Provide plans and drawings on the concept plan sheet(s) illustrating separately the sites proposed for, and the nature of, the buildings and works that would result from the carrying out of all permitted development, and identifying which is warranted development, including:

- (a) the location of buildings proposed to be erected or retained on the parcel*
- (b) elevations and sections of those buildings and their external finishes and heights*
- (c) perspectives of those buildings*
- (d) the proposed finished levels of the land in relation to roads and those buildings*
- (e) any additional land that may be added to the scheme*
- (f) any vertical staging*

Add as many sheets as required for the description of the development

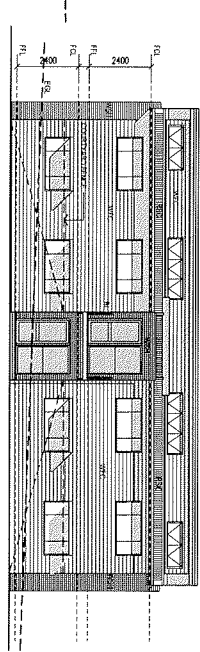


<h1 style="text-align: center;">PART SITE PLAN</h1> <p style="text-align: center;">SCALE 1:20000</p>	
<p>The dimensions and areas indicated on this development application drawing are to be used for all planning and compliance with Council requirements, including drawings and engineering details.</p>	

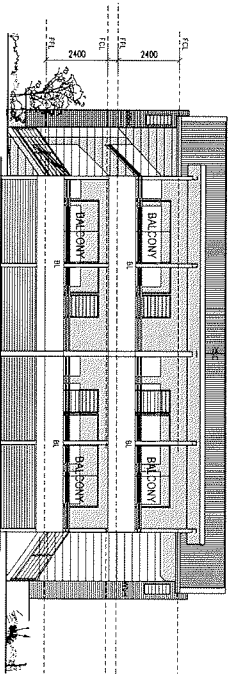
2	<p>PRODUCT: UNIT DEVELOPMENT P4, LOT 2 DP1086364 BALLINA ROAD BANGALOW</p>
1	
1	
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INDIVIDUAL UNIT FLOOR AREA CALCULATIONS			
UNIT No. 1 - 1 Bed	94.79 sq ft	94.79 sq ft	
BALCONIES	16.70 sq ft	16.70 sq ft	
GARAGES 1 & 2	22.21 sq ft	22.21 sq ft	
TOTAL FLOOR AREA UNITS 1-4	153.71 sq ft	153.71 sq ft	
UNIT No. 5 - 20 Unit	89.00 sq ft	89.00 sq ft	
BALCONIES	16.70 sq ft	16.70 sq ft	
GARAGES 3 - 20 Unit	22.21 sq ft	22.21 sq ft	
TOTAL FLOOR AREA UNITS 20	127.91 sq ft	127.91 sq ft	

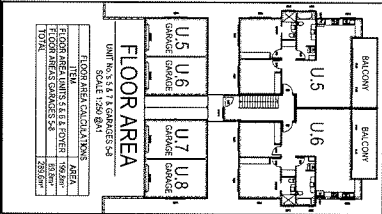
STREETSCAPE
UNITS 5-8
SCALE 1:100000



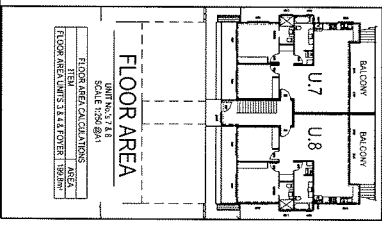
SECTIONAL VIEW
UNITS 5-8
SCALE 1:100000
A



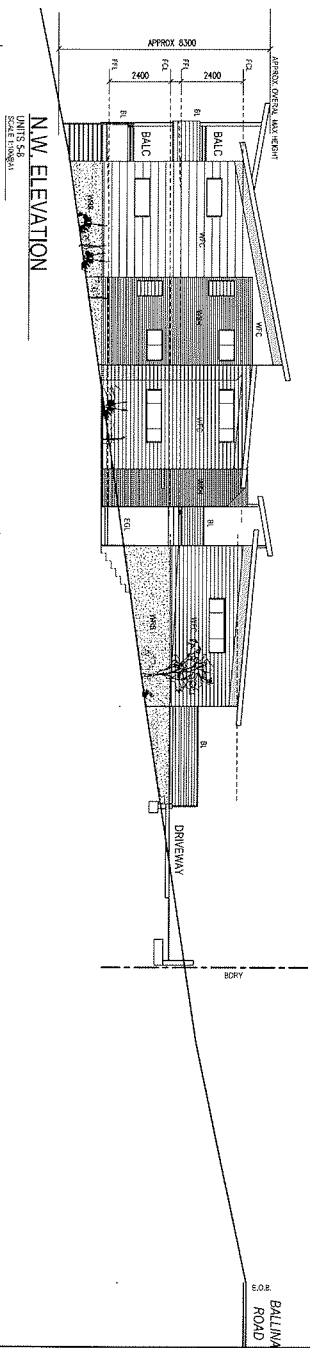
UNITS 5-8
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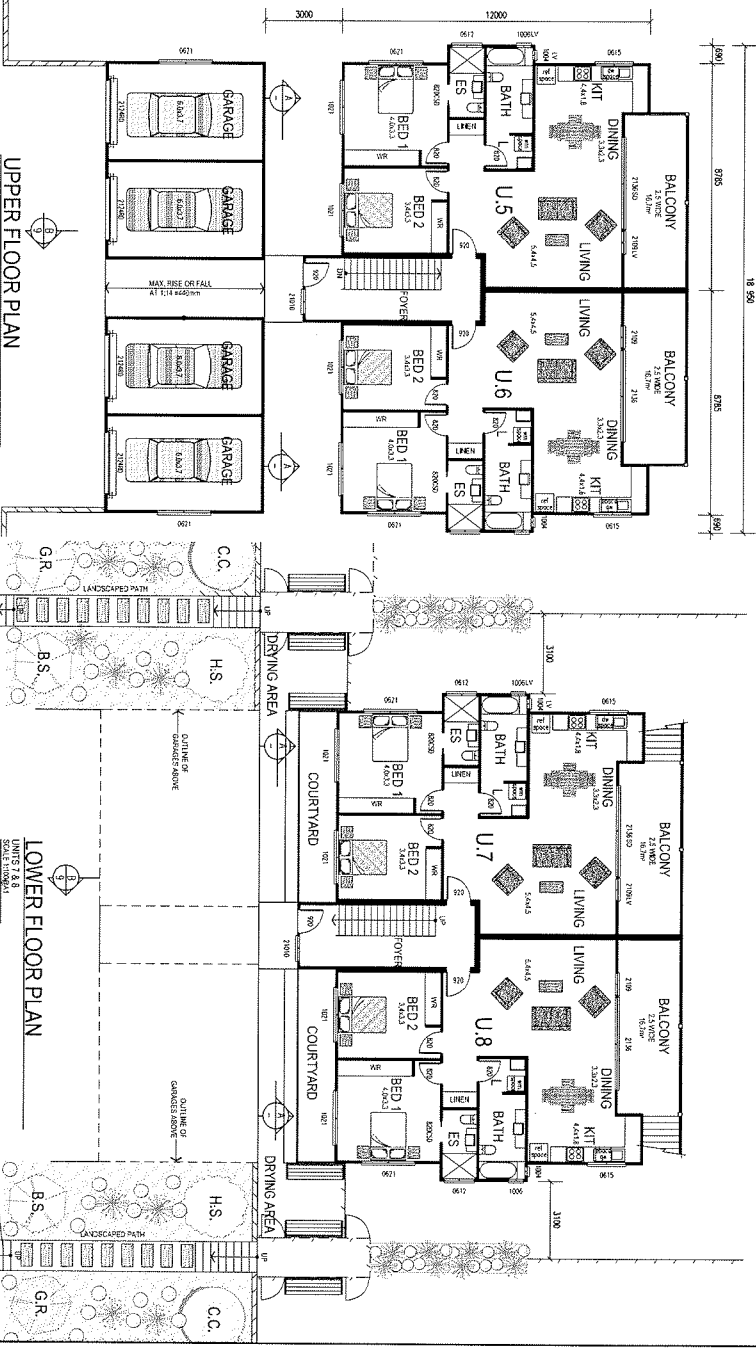
UNIT NO.'S 5, 6, 7 & GARAGES 5-8
SCALE 1:250 @A1
FLOOR AREA CALCULATIONS



FLOOR AREA CALCULATIONS



N.W. E
UNITS 5-8
SCALE 1:100,000

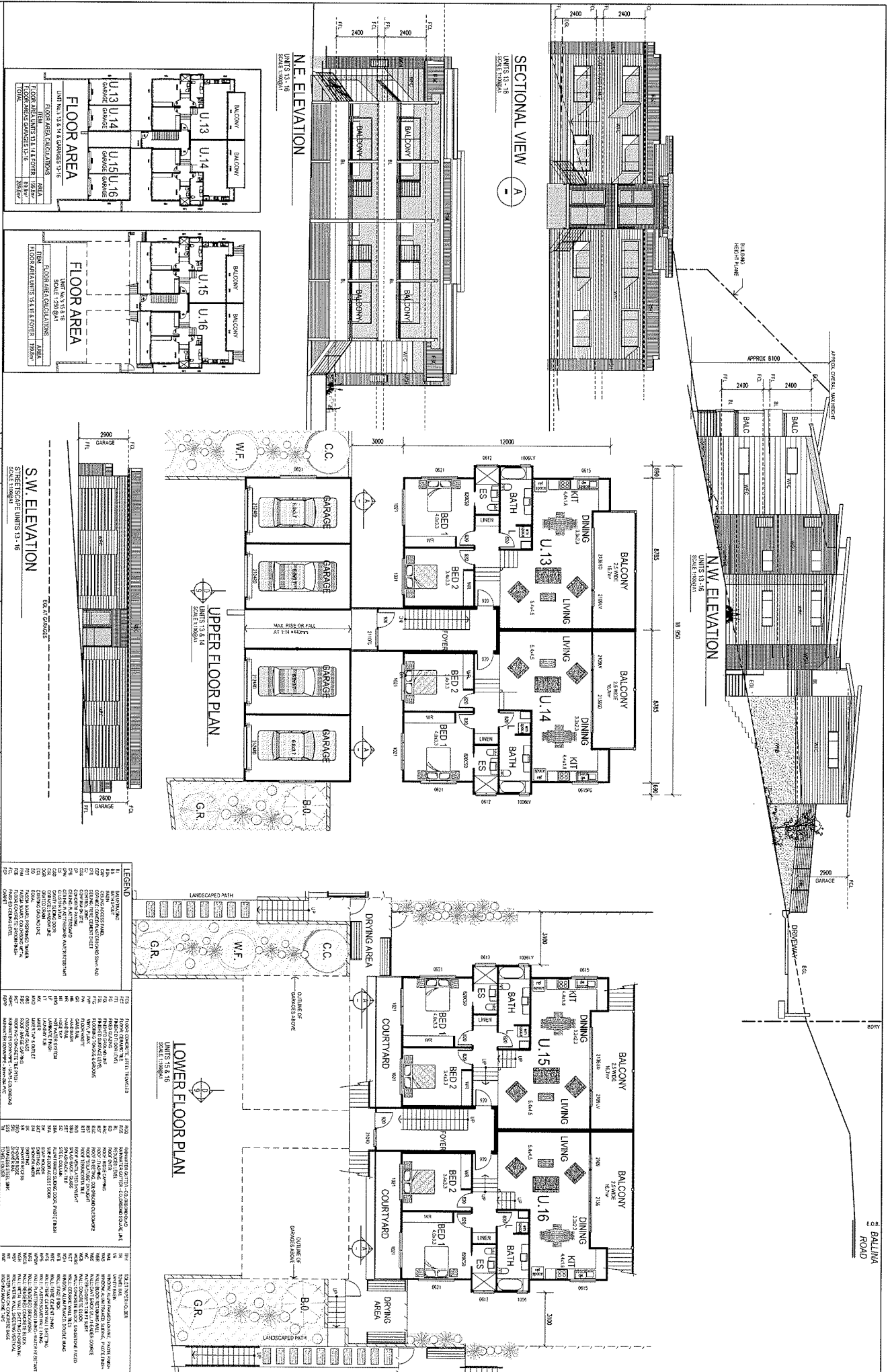


UPPER
UNITS 5 & 6
SCALE 1:1000

UNITS 7 & 8
SCALE 1:100000

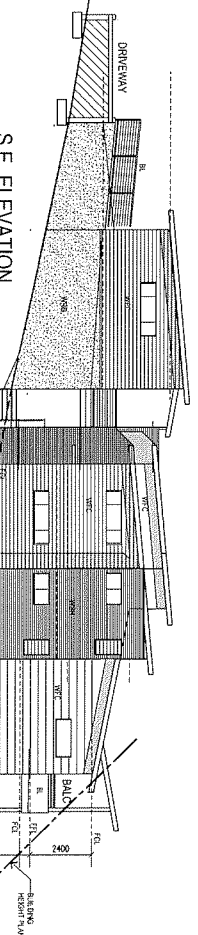
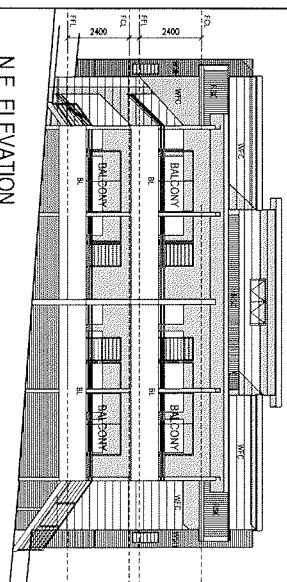
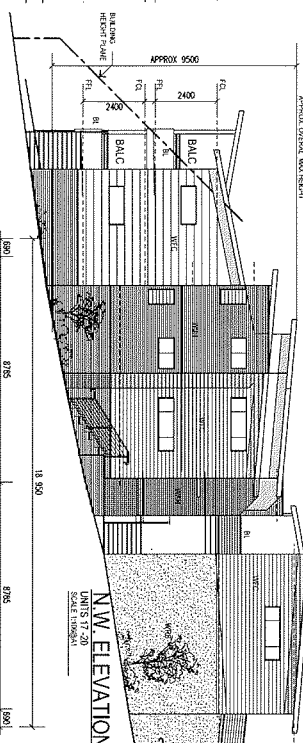
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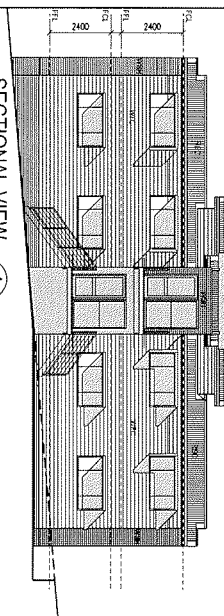
STREETSCAPE UNITS 17-20
SCALE 1:100 @ A1

EGL AT GARAGES

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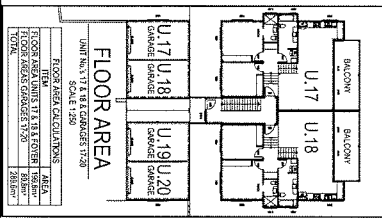
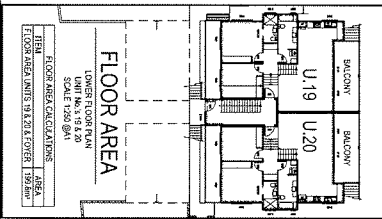
UNITS 17-20
SCALE 1:100000

UNITS 17-20
SCALE 1:100000



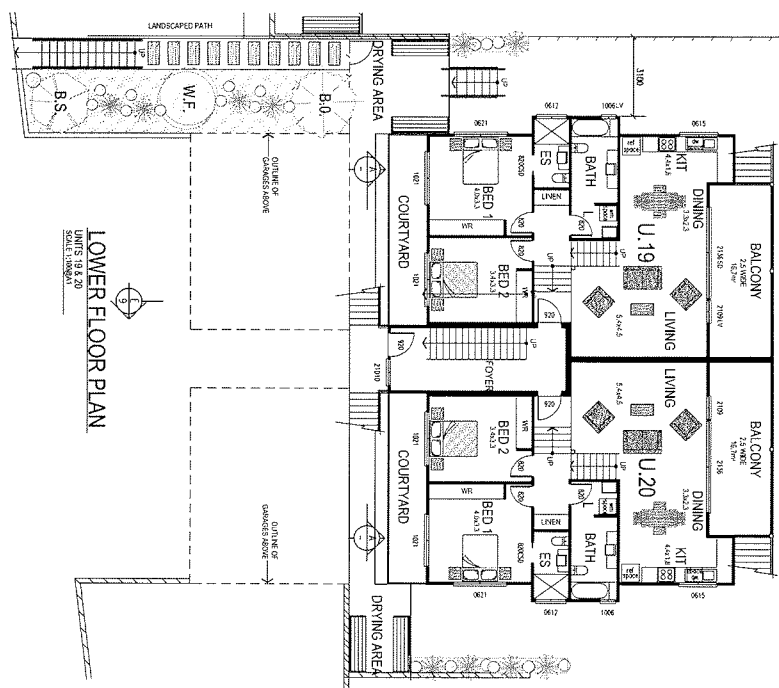
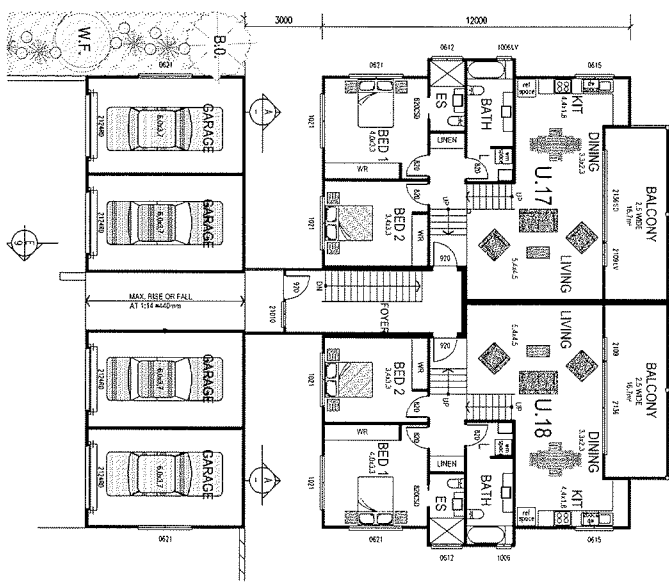
UNITS 17-20
SCALE 1:1008A1

UNITS 17-20
SCALE 1:1008A1

UNIT NO. 5 17 & 18
SCALEUNIT NO. 5 17 & 18
SCALE

LOWER FLO
UNIT No. 5
COAST

LOWER FLO
UNIT No. 5
COAST



UNITS 19 & 20
SCALE 1:100000

UNITS 19 & 20
SCALE 1:100000

	CLIENT: GAI HART-HUGHES	PROJECT: PROPOSED UNIT DEVELOPMENT P/L LOT 2 DP-1086334 BALLYNA ROAD BANGALOW	 PETER TURNER & ASSOCIATES 10/100/001 Scale: 1:100/001	DEVELOPMENT APPLICATION				The dimensions and areas indicated on this drawing are to be used for the development application. Drawing is to be used in conjunction with Council requirements, working drawings and engineering details.	B 12.06.16 05.02.16 Date: _____ Additional Information: 05.02.16 10/100/001 Description: _____ Name: _____
				SHEET TITLE: DEVELOPMENT APPLICATION UNITS 17-20					

UNIS No. 11-20

UNIS No. 11-20



1

1

Description

The dimensions and areas indicated on this preliminary sketch are approximate only and may be subject to change to comply with Council requirements, working drawings and engineering details.

The building contractor shall verify all dimensions and ground lines on site and physically locate all underground services and their location in relation to the proposed works prior to the commencement of construction. Discrepancies shall be referred to the Building Designer before construction proceeds.

Concept, design, drawings and specification Copyright of
PETER TURNER & ASSOCIATES
Building Designers.



THE MATHS CONNECTION

28 CHERRY STREET
BALINA NSW 2478

SEL

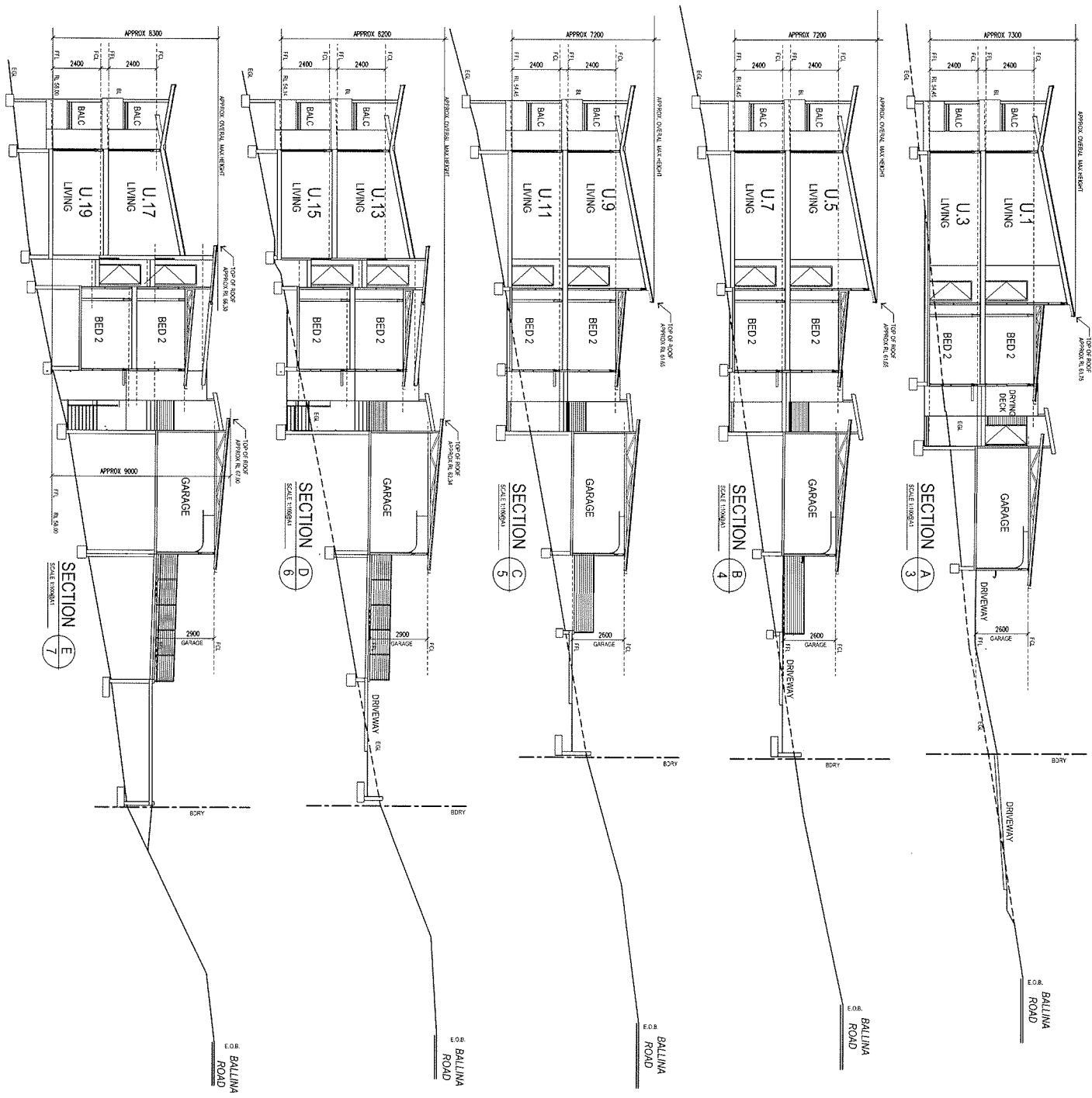
CLIENT:
GAI HART-HUGHES

אברהם ושרה

1:200 All

Only use these tags:

Only use these tags: **Only use these tags:**



No.	Date	Description
A	05.05.16	DEVELOPMENT APPLICATION
B	12.06.16	ADDITIONAL INFORMATION FOR COUNCIL

The dimensions and areas indicated on this preliminary sketch are approximate only and may be subject to change to comply with Council requirements, working drawings and engineering details.

NOTE:
Written dimensions shall be used in preference to scaled dimensions.
The building contractor shall verify all dimensions and levels on site and physically locate all underground services and their location in relation to the proposed works prior to the commencement of construction.
Discrepancies shall be referred to the Building Designer before construction proceeds.
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PETER TURNER & ASSOCIATES

PROPOSED UNIT DEVELOPMENT
P.L. LOT 2 DP1086364
BALLINA ROAD
BANGALOW

CLIENT:
GAI HART-HUGHES

SHEET TITLE:
DEVELOPMENT APPLICATION
SECTIONS

Scale:	1:100 AT A1	Drawn:	AHD
Drawn:	PAT	Project:	4005
Date:	June 16	Proj. File:	04
Checked:	B	Draw. No.:	A0304 09

	Strata Development Contract	Sheet 12 of 12 sheets
Registered:	Office Use Only	Office Use Only

Certificate of Planning Authority

*The Planning Authority (*insert name*) Byron Shire Council

*The Accredited Certifier (*insert name*)..... Accreditation No:.....

certifies that the carrying out of the permitted development described as 'warranted development' and 'authorised proposals' in this Strata Development Contract would not contravene:

- (i) The conditions of any relevant approval issued by a planning authority in respect of the strata parcel; or
- (ii) The provisions of any environmental planning instrument that was in force when the approval was granted except to the following extent (*indicate exception if applicable*)

.....

Date:

Certificate Reference:

Signed by:
 *Authorised Person/*General Manager/ *Accredited Certifier

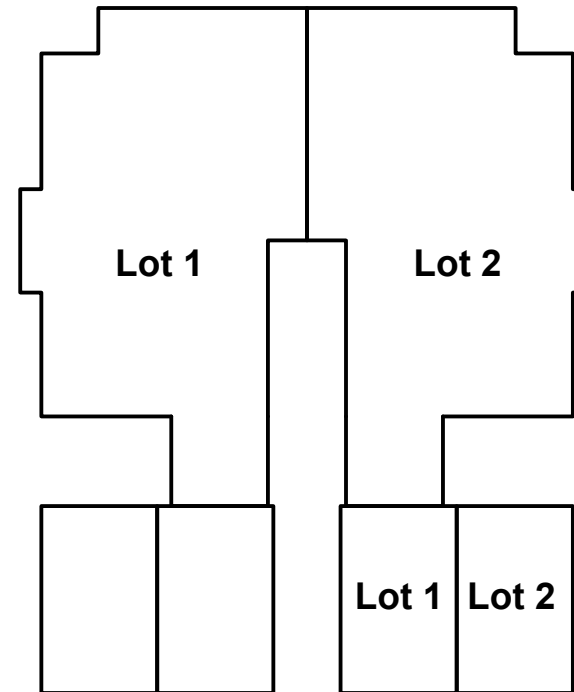
Signature:

This is the certificate referred to in Section 75(2) Strata Schemes Development Act 2015

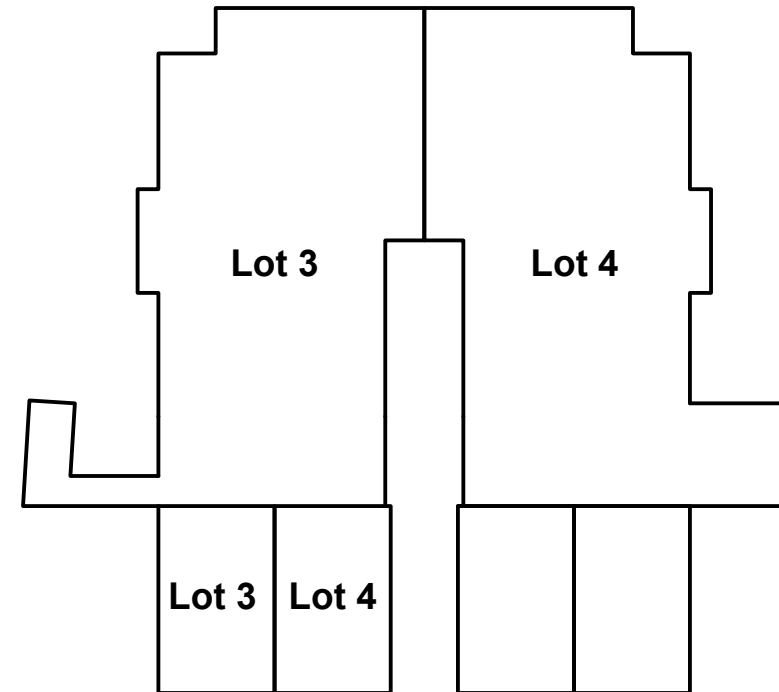
* Strike through inapplicable parts

Signatures, Consents, Approvals

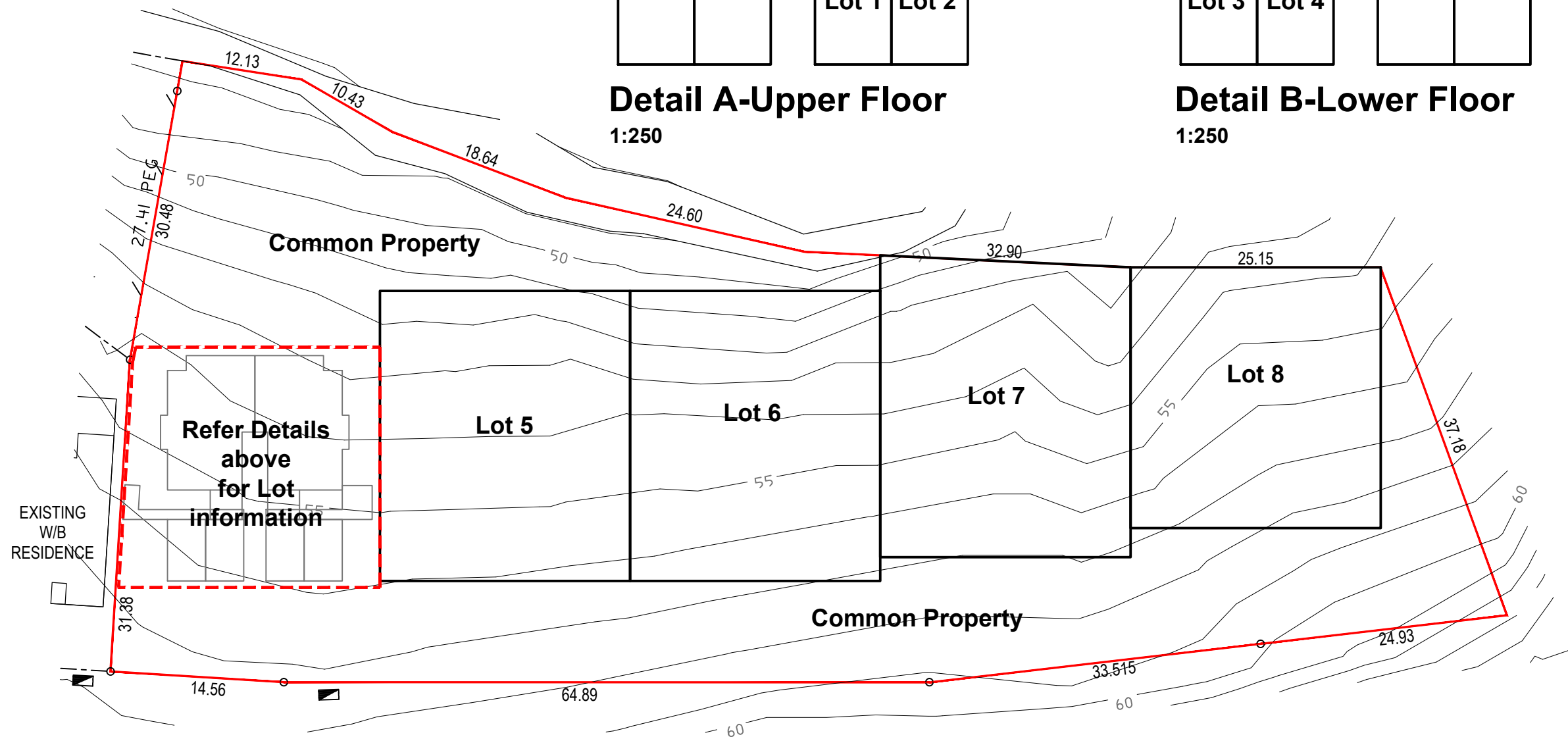
Provided signatures/seals as required by section 79 Strata Schemes Development Act 2016



Detail A-Upper Floor
1:250



Detail B-Lower Floor
1:250



Project:
17 Ballina Road
Bangalow

Client: **Gai Hart-Hughes**

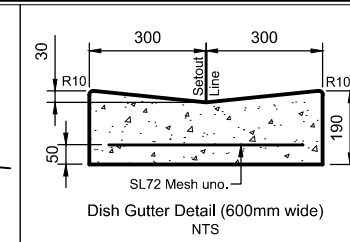
Title: **Proposed Strata Plan**

ARDILL PAYNE
& Partners
ENGINEERS PLANNERS SURVEYORS
ENVIRONMENTAL PROJECT MANAGEMENT
BALLINA 45 River Street Ph. 02 6686 3280
SOUTH BRISBANE 89 Grey Street Ph. 07 3123 6675
GUNNEDAH 285 Conadilly Street Ph. 02 6742 9955
A.B.N. 51 808 558 977 e-mail: info@ardillpayne.com.au

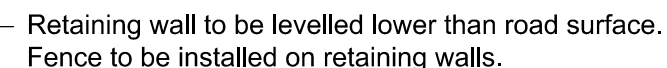



Designed	DR	Scale	1:500 @ A3
Drawn	AW		
Checked	APP	File Name	7926-SP01.dwg
Approved	-	Date	28/04/2016
Job No.	7926	Dwg No.	SP01
		Issue	-

Do not scale drawing. Use written dimensions only
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Type B Bioretention (30m² total filter area)

1. Drawing to be read in conjunction with the associated stormwater management plan report (APP report "Stormwater Management Plan - April 2016). All elements to comply with details contained therein and Council's approval.
2. All pipe discharge outlets to have appropriate scour protection provided.



Designed	PG	Scale	1:500 @ A3	
Drawn	AH			
Checked	PG	File Name	7926_SK1_OPTION2.dwg	
Approved	TC	Date	02/12/16	Datum AHD
Job No.	7926	Dwg No.	SK01	Issue E