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7000 -- 7000

HAEL SPITERI Architect  
www.michaelspiteriarchitecture.com  
michaelspiteri66@gmail.com  
0417 713033  
2040

EXISTING  
VERANDAH

EXISTING

( 4 BEDROOMS )  
5

EXISTING  
VERANDAH

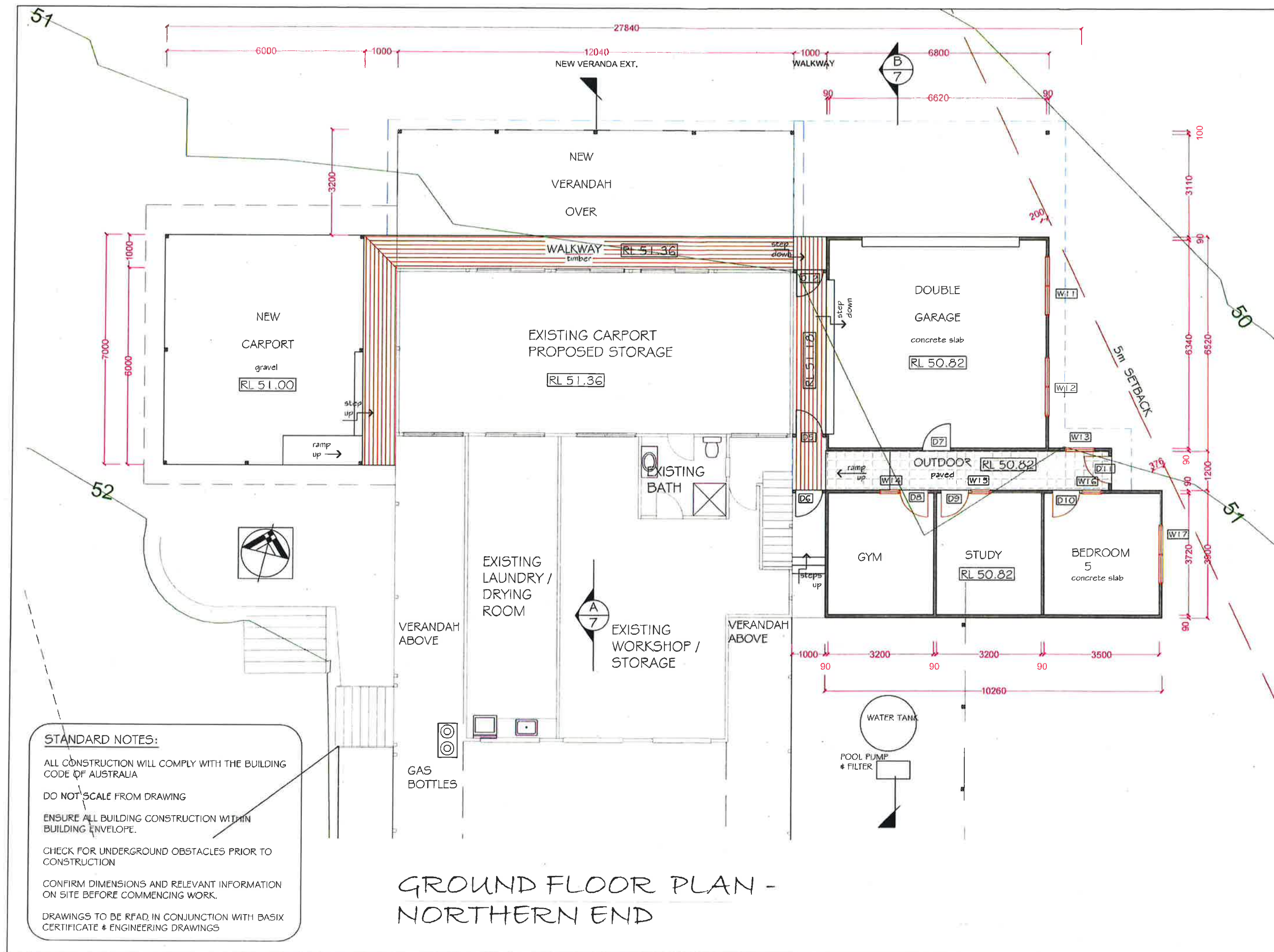
REMOVE EXISTING POSTS

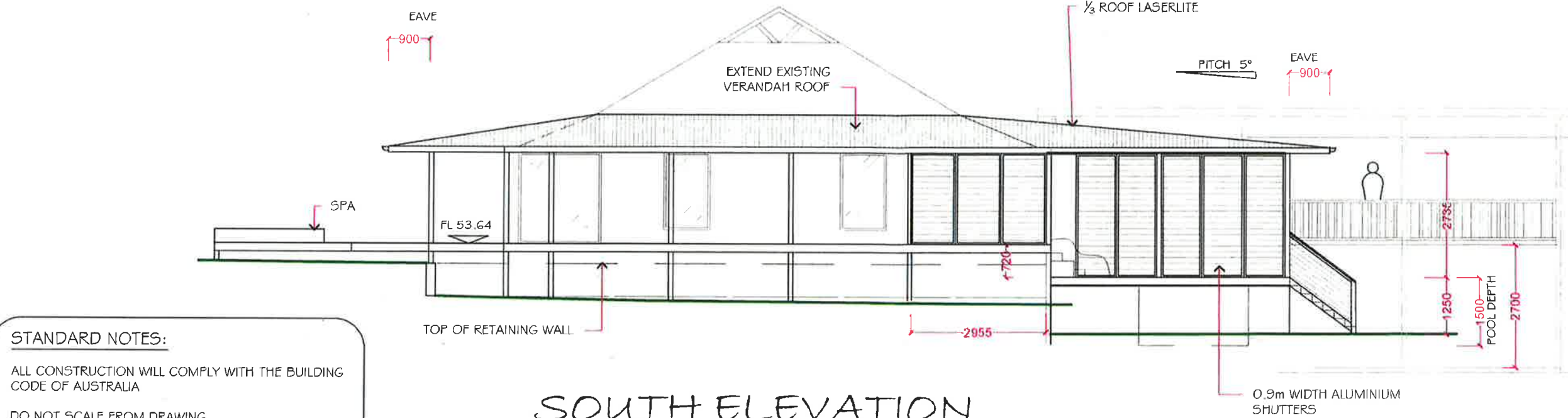
SPA

DECK  
(no roof over)

REPLACE EXISTING  
WINDOW WITH NEW  
DOOR

5m FRONT  
SET BACK





**SOUTH ELEVATION**  
SCALE 1:100

**STANDARD NOTES:**

ALL CONSTRUCTION WILL COMPLY WITH THE BUILDING CODE OF AUSTRALIA

DO NOT SCALE FROM DRAWING

ENSURE ALL BUILDING CONSTRUCTION WITHIN BUILDING ENVELOPE.

CHECK FOR UNDERGROUND OBSTACLES PRIOR TO CONSTRUCTION

CONFIRM DIMENSIONS AND RELEVANT INFORMATION ON SITE BEFORE COMMENCING WORK.

DRAWINGS TO BE READ IN CONJUNCTION WITH BASIX CERTIFICATE & ENGINEERING DRAWINGS



**EAST ELEVATION**  
SCALE 1:100





**NORTH ELEVATION**  
SCALE 1:100

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- CONFIRM DIMENSIONS AND RELEVANT INFORMATION ON SITE BEFORE COMMENCING WORK.
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**WEST ELEVATION**  
SCALE 1:100

## ROOF

TIMBER ROOF STRUCTURE THRU OUT-MEMBER SIZES TO ENGRS SPECS.

COLORBOND CUSTOM ORB ROOF WITH MATCHING CAPPINGS AND FLASHINGS TO MATCH EXISTING ROOF.

LASERLITE OR SIMILAR POLYCARBONATE ROOF SHEET WHERE INDICATED

COLOUR LIGHT TONE TO MATCH EXISTING

150 QUAD ROOF GUTTERING WITH 100 DIA DOWNPIPES

900 EAVES UNLESS OTHERWISE NOTED

## NEW VERANDAHS

EXISTING VERANDAHS TO BE REMOVED TO EXISTING BUILDING EXTERNAL WALL AND REPLACED WITH EXTENDED ROOF WHERE INDICATED

HW RAFTERS TO ENGRS SPECS

900 EAVES UNLESS JOINING EXISTING ROOF AS INDICATED

EAVE LINING FC SHEET

DECK POSTS- 100 X 100 F14

DECK FLOOR- HW DECK TIMBER.

TIMBER TOP RAIL & VERTICAL TIMBER SLAT BALUSTRADING TO NCC REQUIREMENTS

NEW FOOTINGS- GALVANISED HD POSTS SUPPORTS EMBEDDED INTO CONCRETE PAD FOOTING TO ENGINEERS SPECIFICATIONS

## RESIDENCE EXTENSION

PRÉFABRICATED TIMBER TRUSSES @ 900 TO MANUFACTURES SPECIFICATIONS

STUD WALL - 90 x 35 MGP10

EXTERNAL CLADDING - WEATHERBOARD TO MATCH EXISTING

TYPICAL EXTERNAL WALL INSULATION REQUIREMENTS-  
1 LAYER WALL BREATHER SARKING EQUAL TO BRADFORD 'THERMOFOIL' PLUS WALL INSULATION EQUAL TO BRAFORD 75mm GOLD BATTS

PLASTERBOARD INTERNAL WALL LINING

HW TIMBER TIMBER FLOOR

## GARAGE

ROOF STRUCTURE- LVL RAFTERS TO ENGRS SPECS.

STUD WALL - 90 x 35 MGP10

EXTERNAL CLADDING - WEATHERBOARD TO MATCH EXISTING

4.8m WIDE GARAGE DOOR INSTALLED TO MAN. SPECS

CONCRETE SLAB TO ENGRS SPECS

## GYM / STUDY/ BEDROOM

WATERPROOFED BALCONY ROOF FC SHEET WITH FLOOR TILES

LVL RAFTERS TO ENGRS SPECS

STUD WALL - 90 x 35 MGP10

EXTERNAL CLADDING - WEATHERBOARD TO MATCH EXISTING

TYPICAL EXTERNAL WALL INSULATION REQUIREMENTS-  
1 LAYER WALL BREATHER SARKING EQUAL TO BRADFORD 'THERMOFOIL' PLUS WALL INSULATION EQUAL TO BRAFORD 75mm GOLD BATTS

PLASTERBOARD INTERNAL WALL & CEILING LINING

CONCRETE SLAB TO ENGRS SPECS

## CARPORT

ROOF STRUCTURE- HW RAFTERS TO ENGRS SPECS.

POSTS- 100 X 100 F14

GRAVEL GROUND COVER

FOOTINGS- GALVANISED HD POSTS SUPPORTS EMBEDDED INTO CONCRETE PAD FOOTING TO ENGINEERS SPECIFICATIONS

## INDOOR POOL AREA

TIMBER STRUCTURE THRU OUT-MEMBER SIZES TO ENGRS SPECS.

HW RAFTERS TO ENGRS SPECS

900 EAVES UNLESS OTHERWISE NOTED

NO CEILING LINING

DECK POSTS- 100 X 100 F14

DECK FLOOR- HW DECK TIMBER.

LOUVERED WINDOWS & ALUMINIUM SLAT LOUVERS AS INDICATED

FIBERGLASS VORTEX HYDROZONE POOL INSTALLED TO MAN. SPECS.

FOOTINGS- TYPE 1 - GALVANISED HD POSTS SUPPORTS EMBEDDED INTO CONCRETE PAD FOOTING TO ENGINEERS SPECIFICATIONS

FOOTINGS- TYPE 2- CONCRETE BLOCK RETAINING WALL ON STRIP FOOTING TO ENGRS. SPECS. AROUND POOL

GLASS POOL FENCE TO AS 1926 SWIMMING POOL SAFETY

## OTHER

SOLAR PANELS TO BE INSTALLED TO OWNERS SELECTION

SOLAR POOL HEATING SYSTEM INSTALLED ON POOL AREA ROOF.

## NOTES

ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA 2012, BE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND LOCAL COUNCIL REGULATIONS / APPROVALS

- AS 1684 TIMBER FRAMING CODE
- AS 3700 MASONRY IN BUILDINGS
- AS 2870-2011 RESID. SLABS AND FOOTINGS
- AS 3660. 12000 TERMITE PROTECTION
- AS 3500. STORMWATER DISCHARGE
- AS 3740 WATERPROOFING OF WET AREAS
- AS 2047 WINDOWS IN BUILDINGS
- AS 1657 STAIRWAYS
- AS 1926 SWIMMING POOL SAFETY
- PHOTOELECTRIC SMOKE DETECTORS IN ACCORDANCE WITH BCA 2012 CLAUSE 3.7.2
- ALL VERANDAHS AT LEVELS GREATER THAN 1000 MM TO HAVE HANDRAIL ASSEMBLIES IN ACCORDANCE WITH BCA 3.9.1 & 3.9.2
- INSULATION INSTALLED IN ACCORDANCE WITH BCA PART 3.12.1.1

ALL DIMENSIONS TO BE VERIFIED BY BUILDER/ CLIENT PRIOR TO SETOUT, ORDERING OR FABRICATION OF NEW MATERIALS

CHECK FOR UNDERGROUND OBSTACLES PRIOR TO CONSTRUCTION

FOOTINGS AND TIE DOWNS TO ENGINEERS SPECIFICATIONS

DO NOT SCALE FROM DRAWING

ENSURE ALL NEW CONSTRUCTION WITHIN BUILDING ENVELOPE

## BASIX COMMITMENTS:

As per certificate No. A291284

### WATER

- Roof catchment area 240m²
- Fixtures : Showerheads 3 stars  
Toilets 3 stars  
Taps 3 stars
- Water : Min Tank 10,018 L
- Tank connected: to Garden Taps
- Pool: 25KL Max. Solar Heated
- Outdoor Spa: 13.5KL Max with spa cover & timer with gas boosted solar heater

### THERMAL

- Construction : Timber frame, weather board  
Walls R1 (R1.4 incl. construction)  
Floor R1.5  
Ceiling R 1.76 Batts & Foil to roof
- Colours  
Wall- Light tone  
Roof- Dark tone
- Windows: as per schedule

### ENERGY

- Hot Water : Gas Boosted Solar
- Cooling : Ceiling fans through out
- Heating : NA
- Ventilation : NA
- Lighting : 40% min Energy efficient Lighting

## NOTES

Scale : NA @A3  
Dwg No: 17.15.09

Rev

Date: JUL 2017  
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NEW ADDITIONS & ALTERATIONS  
219 SADDLE RD. BRUNSWICK HEADS  
for MATTHEW & VIRGINIE O'REILLY

MICHAEL SPITERI ARCHITECTURAL DRAFTING

www.michaelspiteriarchitecturaldrafting.com.au

michaelspiteri@architecturaldrafting.com.au

ph. 0417 713033



