

Project:
Proposed Subdivision
8 Coomburra Cres, Ocean Shores Lot 1577 DP 243995

Client: **Adam Mangleson**

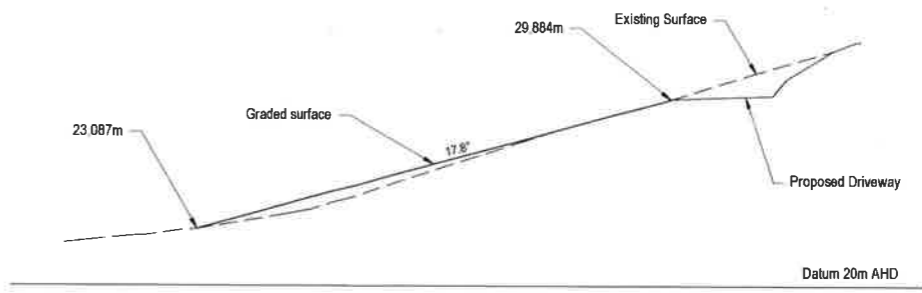
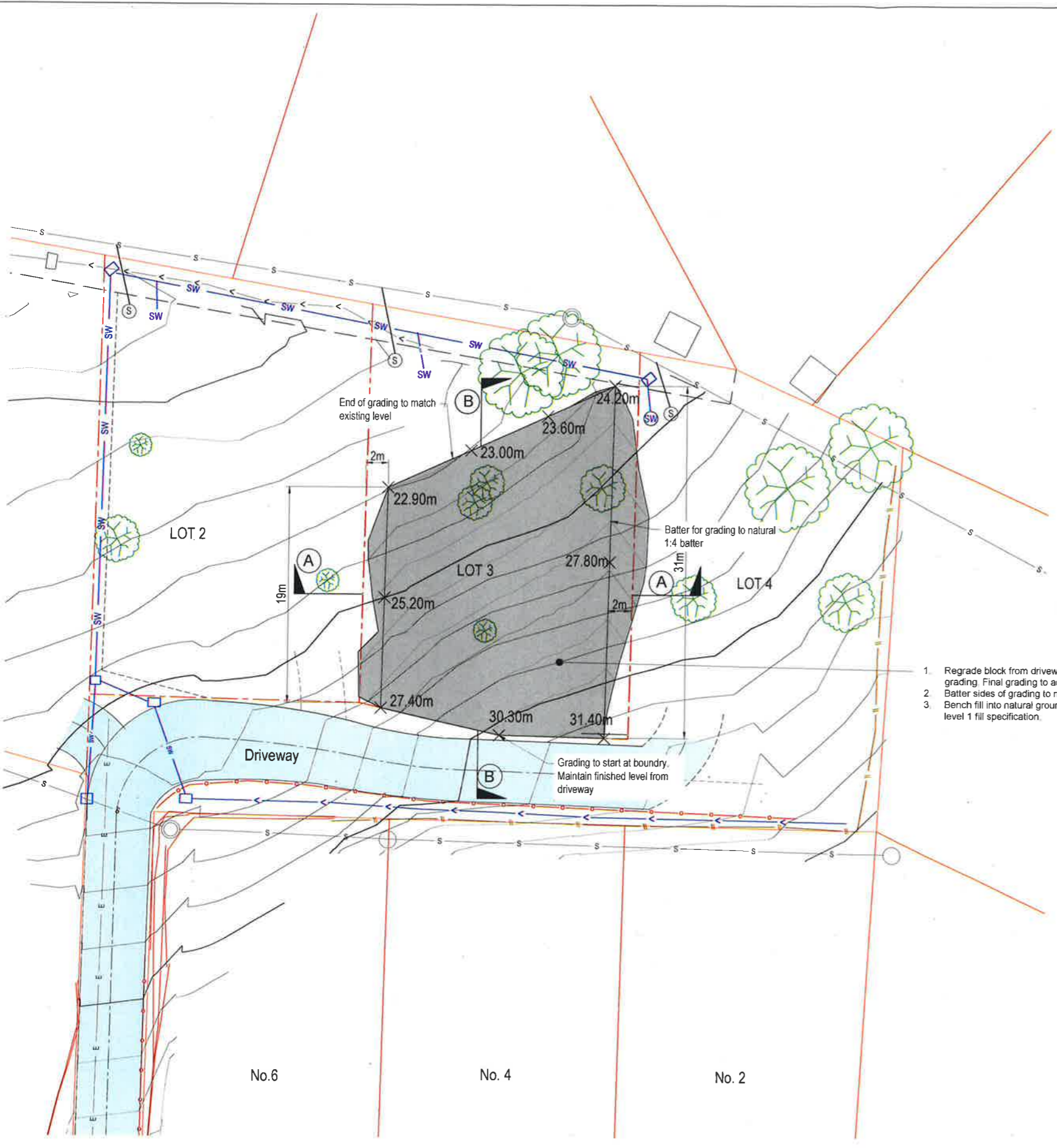
Title: **Plan of Proposed Subdivision**

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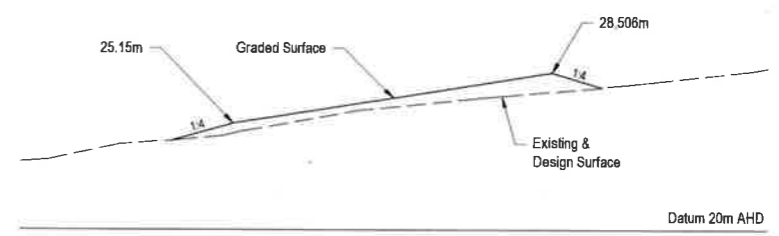
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Designed	DR	Scale	1:500 @ A3	
Drawn	SN			
Checked	DR	File Name	8348 PoPS_Issue C.dwg	
Approved	APP	Date	13/04/2018	Datum -
Job No.	8348	Dwg No.	TP01	Issue C



Section B Cross Section
Scale 1:200 @ A1



Section A Cross Section
Scale 1:200 @ A1

1. Regrade block from driveway to rear extent of grading. Final grading to achieve <math>< 17.8^\circ</math>
2. Batter sides of grading to natural at 1:4 slope.
3. Bench fill into natural ground and compact to level 1 fill specification.

General Site Preparation & Filling Specification

1. Remove existing concrete structures, vegetation and organic soil for a minimum distance of 1.0m beyond the perimeter of proposed buildings and areas to be filled.
2. Where sub-ground structures, tree roots, etc are removed they shall be replaced with non-reactive CONTROLLED FILL and compacted as noted.
3. Before filling is commenced, the stripped surface shall be compacted for a depth of 250mm to a dry density ratio of more than 95% standard where the compaction test is in accordance with AS1289.
4. Fill platforms shall comprise CONTROLLED FILL as defined in AS 2870 (Residential Slabs and Footings), and placed, compacted and tested in accordance with AS 3798 (Earthworks for Commercial and Residential Developments). Certification by an approved Geotechnical Testing Authority shall be on a LEVEL 1 basis in accordance with AS 3798.
5. Filling shall be carried up in horizontal layers not more than 200mm thick (loose measurement), and each layer shall be compacted to satisfy the following requirements:
 COHESIONLESS SOILS:- Density index more than 65% where compaction test is in accordance with AS 1289.
 COHESIVE SOILS:- Dry density ratio of more than 95% standard where compaction test is in accordance with AS 1289.
6. Imported fill shall be approved by the Geotechnical Testing Authority, and shall be free from rubble, rocks, organic matter, lumps of clay, and other unsuitable materials.
7. The contractor shall engage an approved Geotechnical Testing Authority for testing and certification.

This plan is NOT to be used for construction purposes unless it carries the approval stamp of the local authority.

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Issue	Date	Description	App'd
A	21/09/2017	Development Application Issue	DR

Client:
Adam Mangleson

Project:
8 Coomburra Crescent
Ocean Shores
Lot 1577 DP 243995

Title:
Proposed Lot 3 Slope Adjustment

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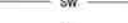
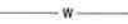







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Designed	Scale	1:200 @ A1, 1:400 @ A3
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Checked DR	File Name	8348 Civil_Issue C.dwg
Approved APP	Date	19/08/2018 Datum AHD
Job No	Dwg No	Issue
8348	SK01	A



Legend

-  Existing tree to remain
 -  Existing tree to be removed
 -  Existing vegetation to be removed
 -  Existing sewer main
 -  Existing stormwater main
 -  Existing water main
 -  Existing underground electricity
 -  Existing communications cable
 -  Existing retaining wall
 -  Existing fence
 -  Existing open drain
 -  Existing top/toe of bank
 -  Existing survey benchmark
 -  Existing easement
- Existing surface contours shown at 0.25m intervals



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Issue	Date	Description	App'd
B	27/02/2018	Amendments - Council RFI Dated 22/01/2018	TC
A	21/09/2017	Development Application Issue	PS

Client:
Adam Mangleson

Project:
8 Coomburra Crescent
Ocean Shores
Lot 1577 DP 243995

Title:
Existing Site Layout Plan

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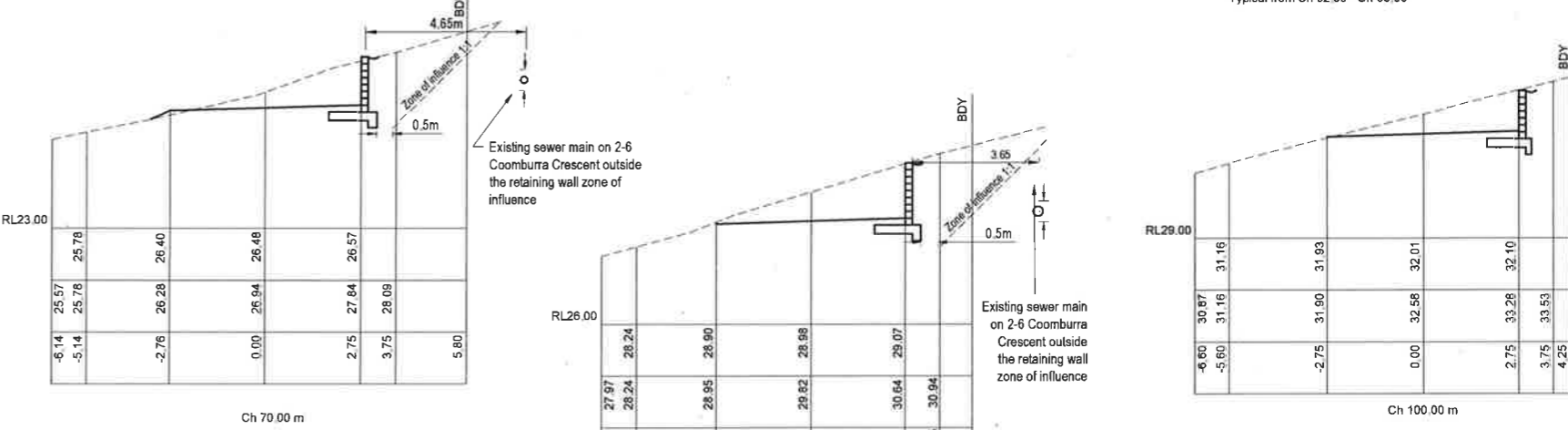
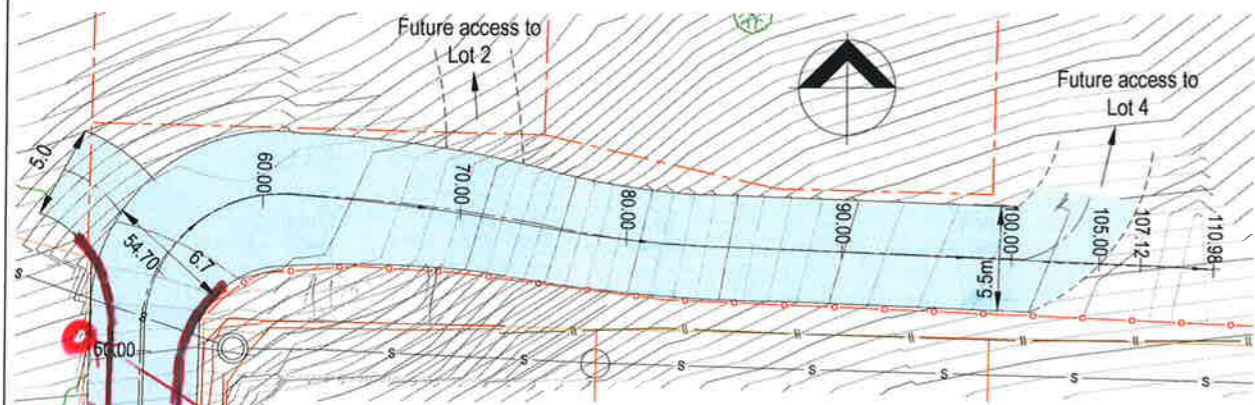
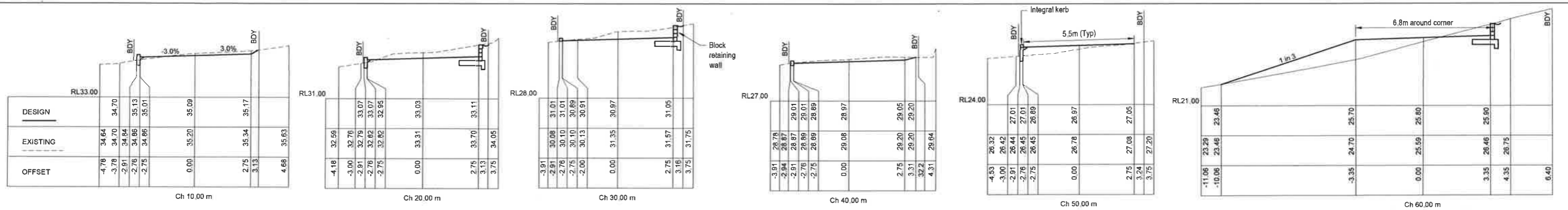
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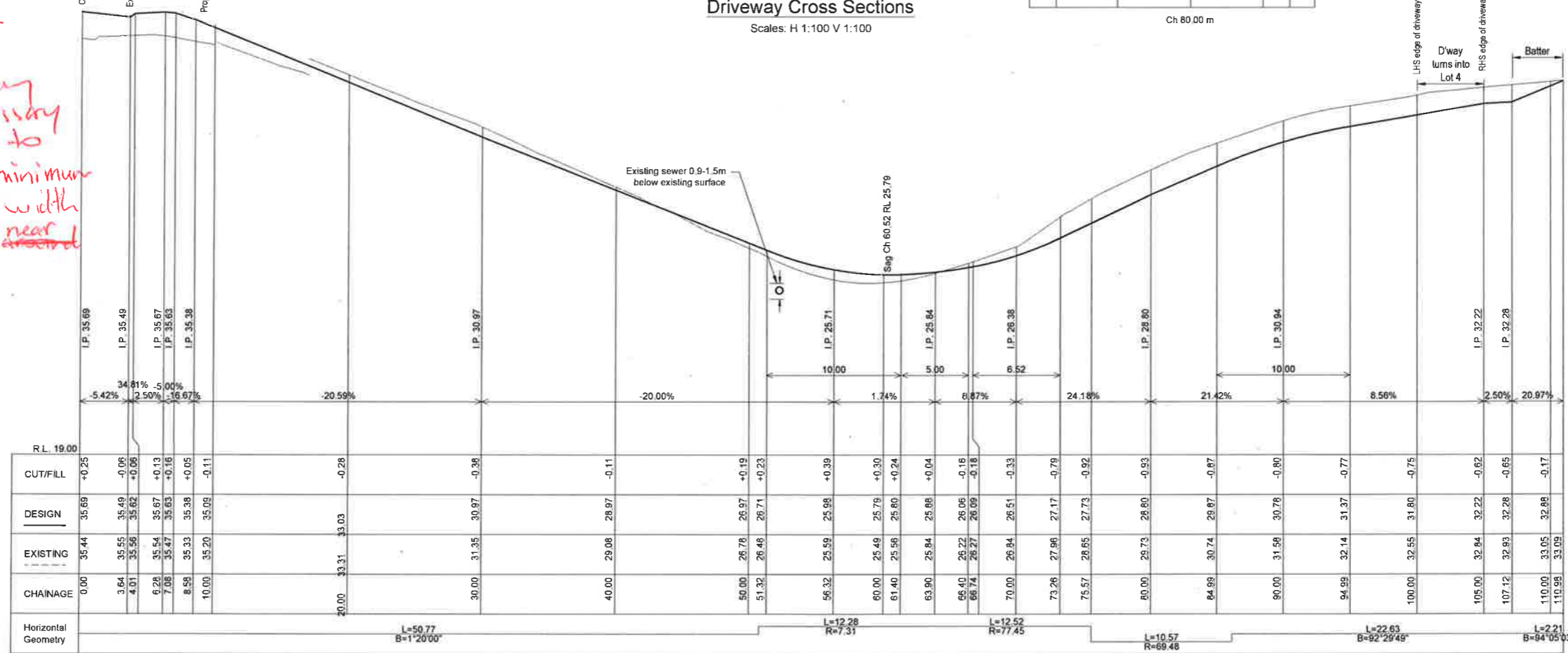
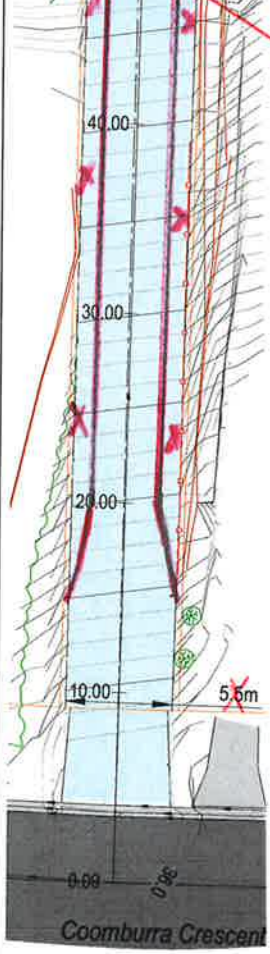


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Checked	PS	File Name	8348 Civ.Issue C.dwg
Approved	PS	Date	21/09/2017 Datum AHD
Job No	8348	Dwg No	DA01 Issue A

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retain tree - adjust driveway as necessary subject to absolute minimum driveway width of 3m near tree.



Longitudinal Section - Scales: Horizontal 1:200 Vertical 1:100

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Issue	Date	Description	App'd
C	16/03/2018	Amendments - Council RFI Dated 01-03-2018	TC
B	27/02/2018	Amendments - Council RFI Dated 22-01-2018	TC
A	21/09/2017	Development Application Issue	PS

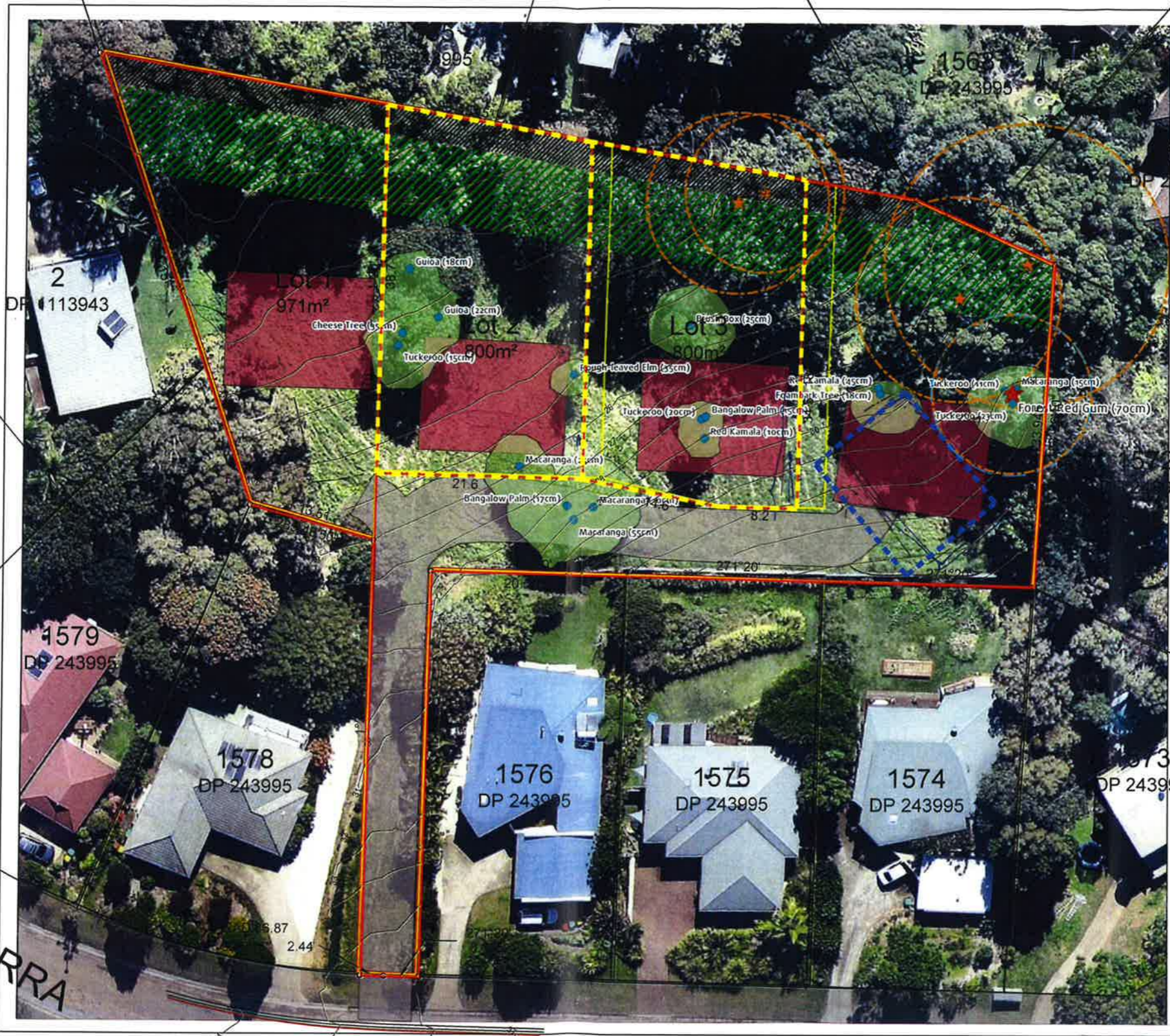
Client: Adam Mangleson

Project: 8 Coomburra Crescent
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Title: Proposed Development
Driveway Plan and Sections

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Designed	ME	Scale	Various - refer plan
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Approved	PS	Date	21/09/2017
Job No	8348	Dwg No	DA03
		Issue	C



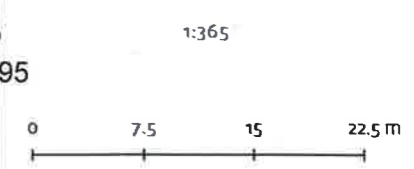
environmental
assessments & solutions

Figure 1.2: Site proposal_V2_08.04.2018



Legend

- 8 Coomburra Cr
- Subdivision plan
- Native trees for removal V2 (DBH)
- ★ Significant trees (to be retained)
- ★ Significant tree (Forest Red Gum)
- Tree Protection Zones
- Building envelope 12m x 15m
- Proposed Easement
- Proposed concrete driveway
- Offset area (indicative only approx 800m²)
- Canopy area removal V2



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COOMBURRA

CRESCENT

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