

MALCOLM SCOTT B.A. & D.U.R.P. (UNE) M.P.I.A.
CONSULTANT TOWN PLANNER

440 Dorrroughby Rd Dorrroughby 2480 NSW (ABN 37 057 633 138)
Ph 0266 895 815 Mobile Ph 0427 202170 Email mscott@spot.com.au

BYRON SHIRE COUNCIL
DOC NO:
REC'D: 10 MAR 2017
FILE NO: A26425
ASSIGNEE: R. Viet

General Manager
Byron Shire Council
PO Box 219
Mullumbimby NSW 2482

Att Mr Clyde Treadwell
Town Planner / Development Assessment Officer

8 March 2017

PN: 267279

Dear Mr Treadwell

Re DA No. 2016.663.1
Dual occupancy & tree removal
Lot 233 DP 1194657 Granuaille Cres Bangalow NSW
Additional information & amendment to proposal & response to issues in submissions

I act on behalf of the Applicant, Mr Michael Franck, of Keyturn Projects Pty Ltd, PO Box 215, Brunswick Heads, NSW, 2483.

The purpose of this letter is to make an amendment to the proposal.

1 Amendment to plans

The amendments in general comprise; making Unit B single storey and alterations to its size and design.

The following schedule lists the plans lodged with and provided on 8 Nov. 2016 for the DA and those proposed to be amended (shown in *italics*).

Number	Date	Drawing title	Scale
AB02-Rev2	15.02.17	<i>Site plan</i>	1 : 200 @ A3
AB03		Shadow diagrams	1 : 200 @ A3
AB04-Rev2	15.02.17	<i>Preliminary strata plan</i>	1 : 200 @ A3
AB05	10.08.16	Parking & traffic	1 : 100 @ A3
AB06-Rev2	15.02.17	<i>Landscape plan</i>	1 : 200 @ A3
AB07	10.08.16	Site drainage and stormwater	as shown
AB08.1	10.08.16	SWMMP - construct	1 : 200 @ A3
AB08.2	10.08.16	SWMMP - on-going	1 : 200 @ A3
A06	10.08.16	Unit A - ground floor plan	1 : 100 @ A3
A07	10.08.16	Unit A - first floor plan	1 : 100 @ A3
A08	10.08.16	Unit A - roof plan	1 : 100 @ A3
A09	10.08.16	Unit A - north & south elevations	1 : 100 @ A3
A10	10.08.16	Unit A - east & west elevations	1 : 100 @ A3
A11	10.08.16	Unit A - sections	1 : 100 @ A3
A12	10.08.16	Unit A - sections	1 : 100 @ A3
A13	10.08.16	Unit A - sections	1 : 100 @ A3
B14	15.02.17	<i>Unit B - ground floor plan</i>	1 : 100 @ A3
B15	15.02.17	<i>Unit B - roof plan</i>	1 : 100 @ A3

B16	15.02.17	Unit B – elevations	1 : 100 @ A3
B17	15.02.17	Unit B – sections	1 : 100 @ A3
B18-Rev1	10.08.16	Unit B – north & south elevations	1 : 100 @ A3
B19-Rev1	10.08.16	Unit B – east & west elevations	1 : 100 @ A3
B20	10.08.16	Unit B – sections	1 : 100 @ A3

Please note the BASIX stamped plan which shows the panels on the roof of Unit B is the proposed amended plan No. 15

The following table describes the use and approx. land coverage of the proposed amended development.

Amended development land use and cover

Land use	Land area (m ²)	% age of site
Land	1,048	100.0%
Strata plan Unit A	534	51%
Strata plan Unit B	408	39%
Strata plan Common area	106	10%
Unit A building footprint	187	18%
Unit A imperious paving & swimming pool	131	12%
Unit A landscape area	216	20%
Unit A driveway	53	5%
Unit B building footprint	98	9%
Unit B imperious paving	50	5%
Unit B permeable paving	17	2%
Unit B landscape area	243	23%
Unit B driveway	53	5%

The floor plan area of Unit A remains 215m² and the modified floor plan area of Unit B is 98m². I enclose 3 copies of the amended BASIX Certificate for Unit B.

The floor space ratio, i.e. the total floor plan area of the proposed dwellings (285m²) to the land area (1,048m²) is, 0.3 : 1.

The maximum ground floor and uppermost roof levels and heights above existing ground level for each of the Units changes slightly and is:

Unit A

- existing design ground level 103.5m(AHD)
- ground floor level 102.5m(AHD) – 1m below existing ground level
- roof level 107.6m(AHD) – 4.1m above existing ground level

Unit B

- existing design ground level 103.5m(AHD)
- ground floor level 104.3m(AHD) – 0.8m above existing ground level
- roof level 109.0m(AHD) – 5.7m above existing ground level

The external building materials and colours of the proposed amended development are unchanged.

The amendments are submitted to Council pursuant to Clause 55 of the *Environmental Planning and Assessment Regulation 2000* and 3 hard copies of the amended plans together with a CD soft copy is enclosed.

Should council have any queries please do not hesitate to contact Mr Franck in the first instance or me.

Yours faithfully

A handwritten signature in black ink, appearing to read 'M Scott', with a stylized flourish at the end.

Malcolm Scott M.P.I.A.

Enc

Plans

AB02-Rev2

AB04-Rev2

AB06-Rev2

B14

B15

B16

B17

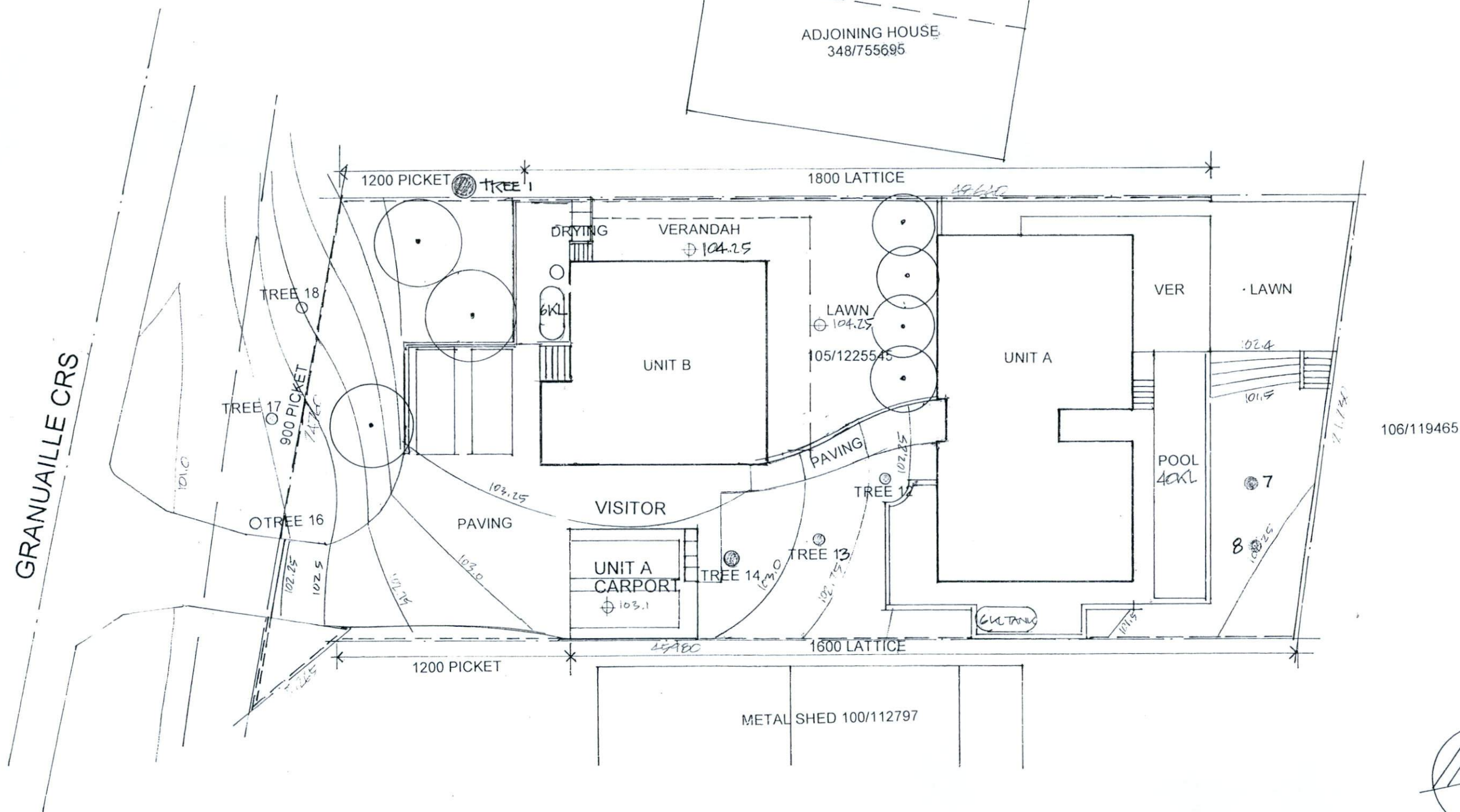
Amended BASIX Certificate for Unit B

Cc Mr Franck

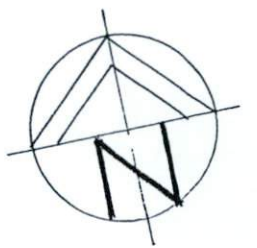
DUAL OCCUPANCY DEVELOPMENT AT LOT 105 DP1225545
GRANUAILLE CRS BANGALOW

DRAWING SCHEDULE

AB01	SURVEY	B14	GROUND FLOOR PLAN
AB02	SITE PLAN	B15	ROOF PLAN
AB03	SHADOW DIAGRAMS	B16	ELEVATIONS
AB04	PRELIM. STRATA PLAN	B17	SECTIONS
AB05	PARKING+TRAFFIC		
AB06	LANDSCAPE PLAN		
AB07	STORMWATER MANAGEMENT		
AB08.1+2	WASTE MANAGEMENT		
A06	GROUND FLOOR PLAN		
A07	FIRST FLOOR PLAN		
A08	ROOF PLAN		
A09	N+S ELEVATIONS		
A10	E+W ELEVATIONS		
A11	SECTION/ELEVATIONS		
A12	SECTIONS		
A13	SECTIONS		



106/119465



KEYTURN PROJECTS P/L
ARCHITECTS. + BUILDERS
PO BOX 215 BRUNSWICK HEADS 2483
0414 660 810 MICHAEL@KEYTURN.COM.AU

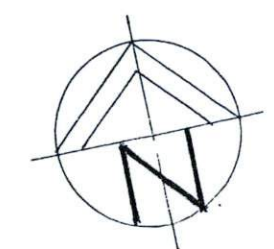
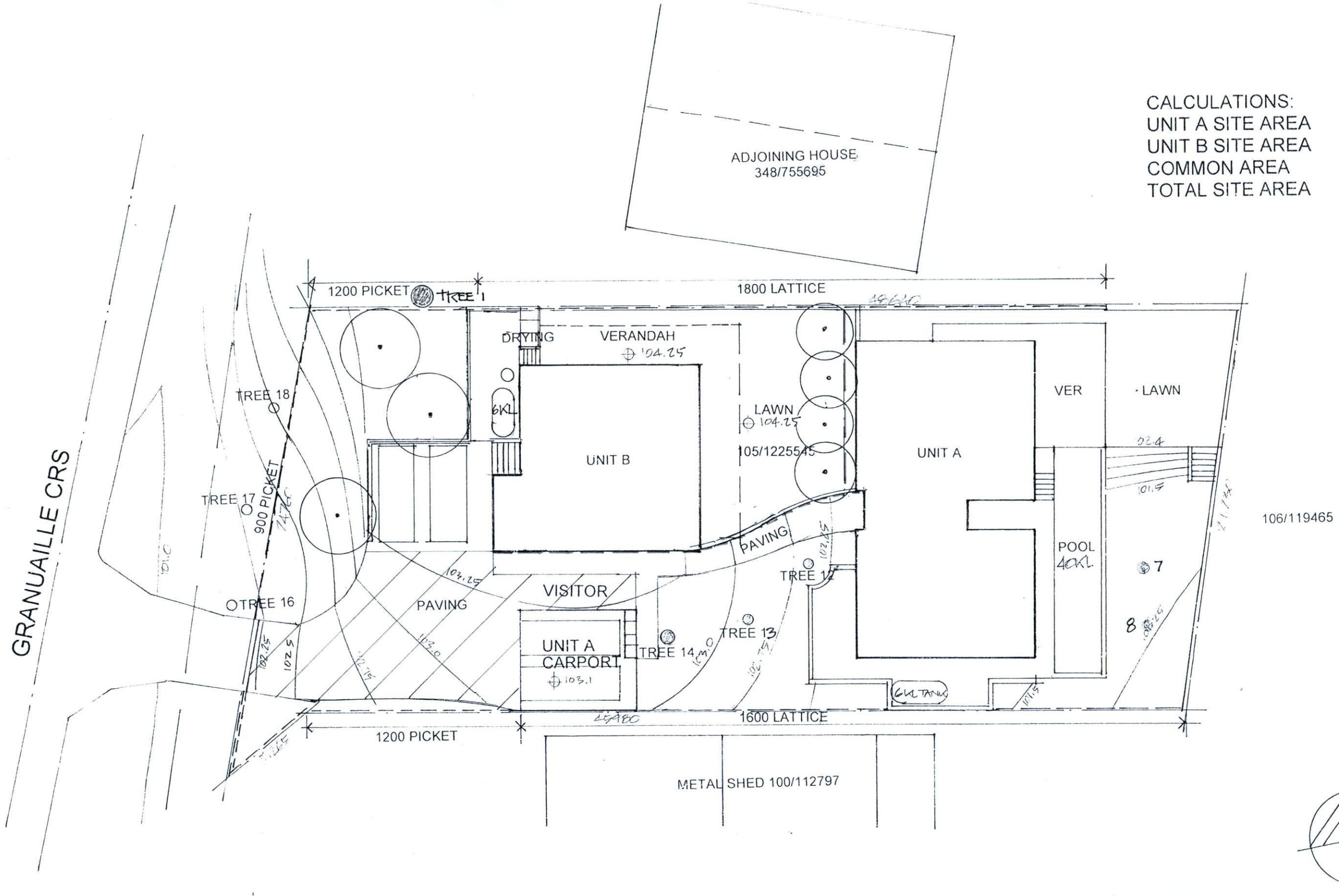
DUAL OCCUPANCY AT LOT 105 DP1225545
GRANUAILE CRS BANGALOW 2479 FOR
H.R.FRANCIS

SITE PLAN

SCALE: 1:200 DRAWING NO:
DATE: 15.02.17
DRAWN: MF
REV: 2

AB02

CALCULATIONS:	
UNIT A SITE AREA	534M2
UNIT B SITE AREA	408M2
COMMON AREA	106M2
TOTAL SITE AREA	1048M2

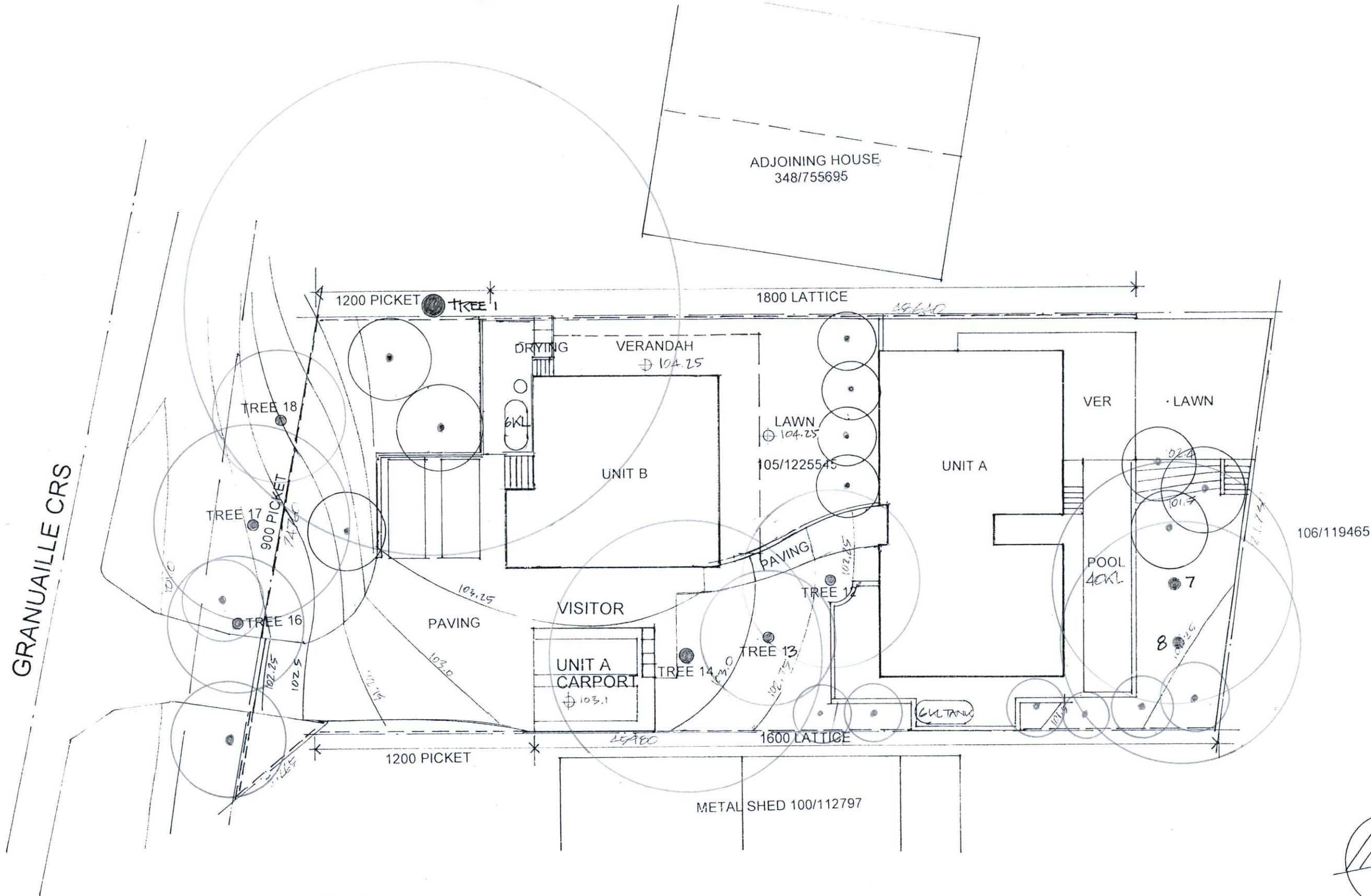


KEYTURN PROJECTS P/L
ARCHITECTS, + BUILDERS
PO BOX 215 BRUNSWICK HEADS 2483
0414 660 810 MICHAEL@KEYTURN.COM.AU

DUAL OCCUPANCY AT LOT 105 DP1225545
GRANUAILLE CRS BANGALOW 2479 FOR
H.R.FRANCIS

PRELIMINARY STRATA
PLAN

SCALE: 1:200 DRAWING NO:
DATE: 15.02.17
DRAWN: MF
REV: 2
AB04



KEYTURN PROJECTS P/L
ARCHITECTS. + BUILDERS
PO BOX 215 BRUNSWICK HEADS 2483
0414 660 810 MICHAEL@KEYTURN.COM.AU

DUAL OCCUPANCY AT LOT 105 DP1225545
GRANUAILE CRS BANGALOW 2479 FOR
H.R.FRANCIS

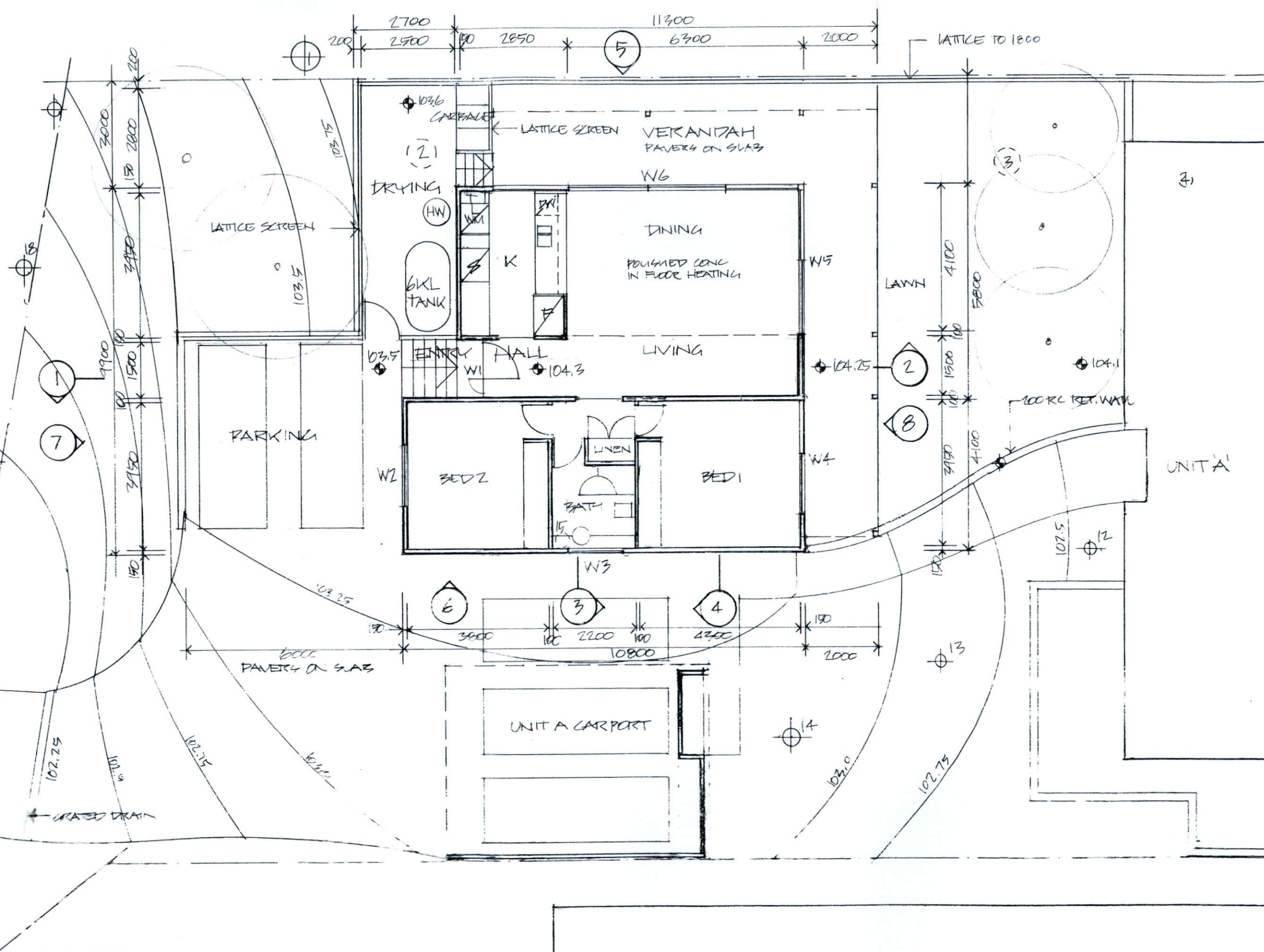
LANDSCAPING PLAN

SCALE: 1:200
DATE: 15.02.17
DRAWN: MF
REV: 2

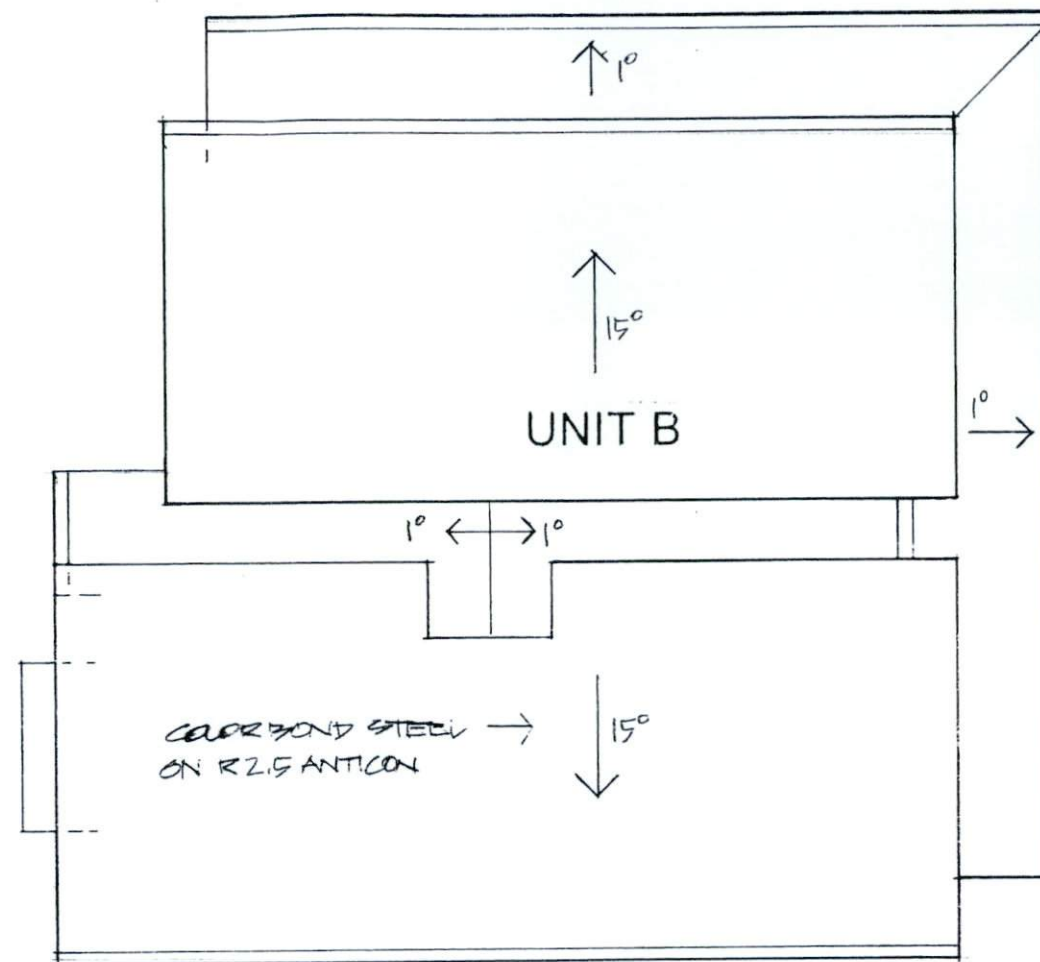
DRAWING NO:
AB06



GRANUAILE CRS

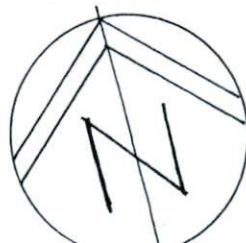


GRANUAILLE CRES

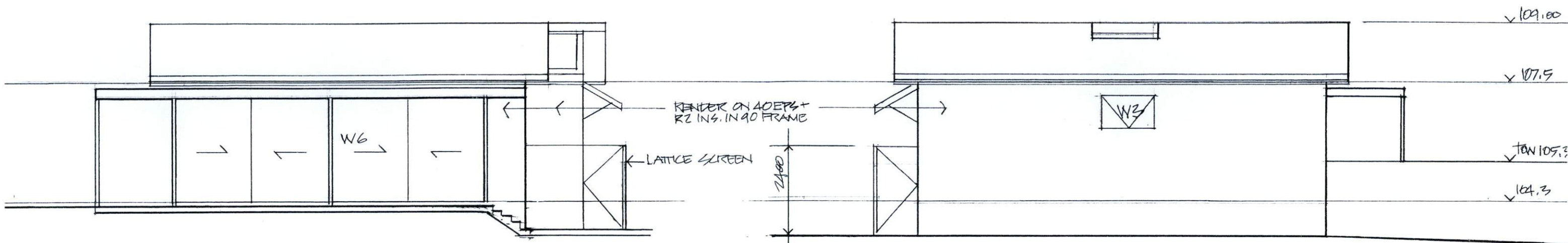


UNIT 'A' CARPORT

METAL SHED

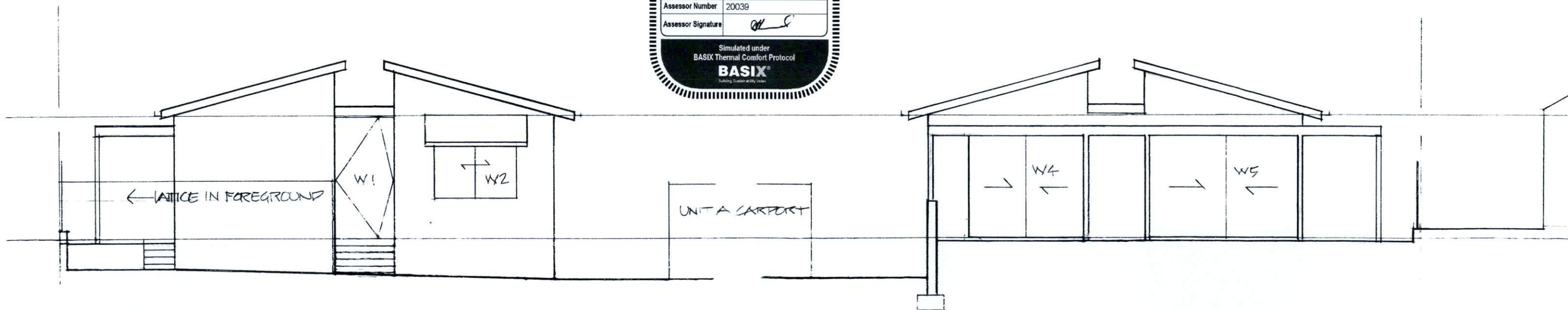
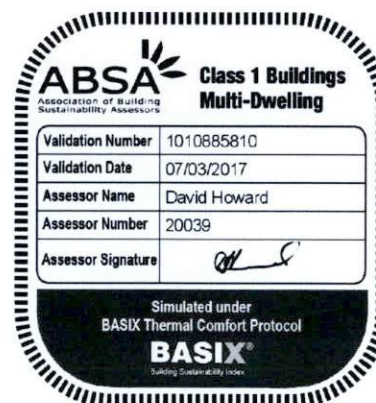


ROOF PLAN



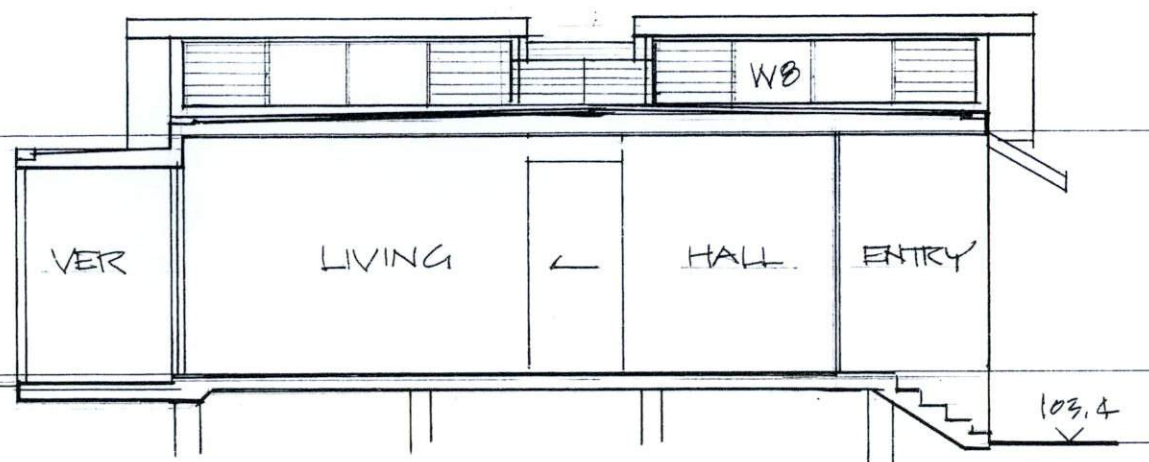
5 NORTH

6 SOUTH

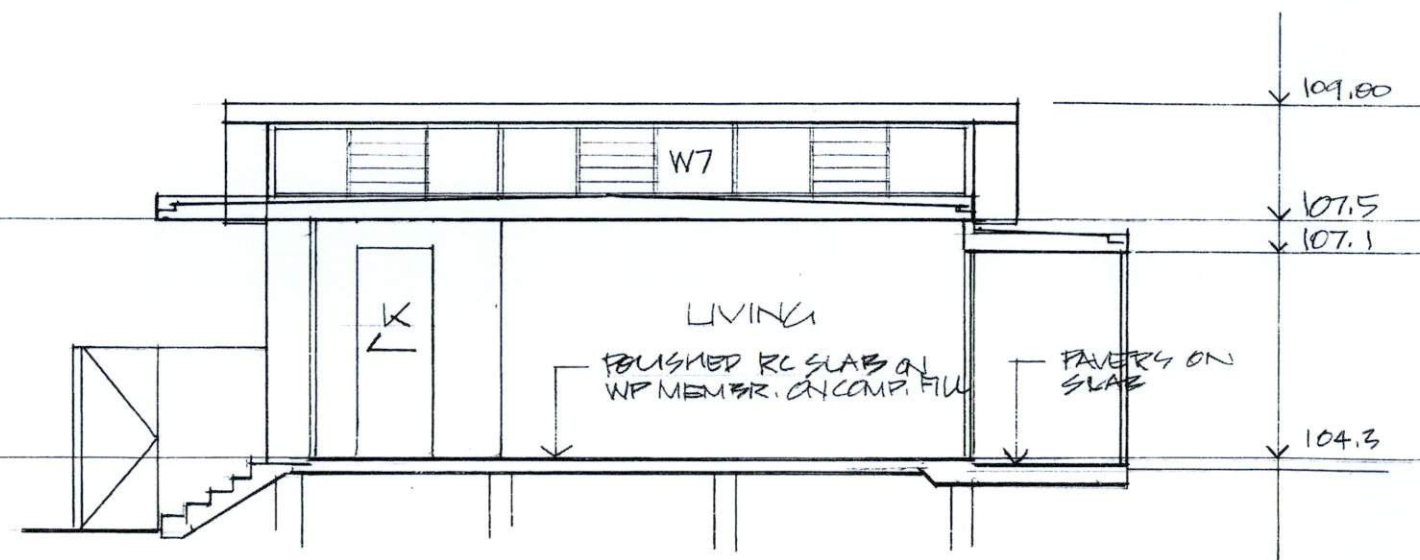


7 WEST

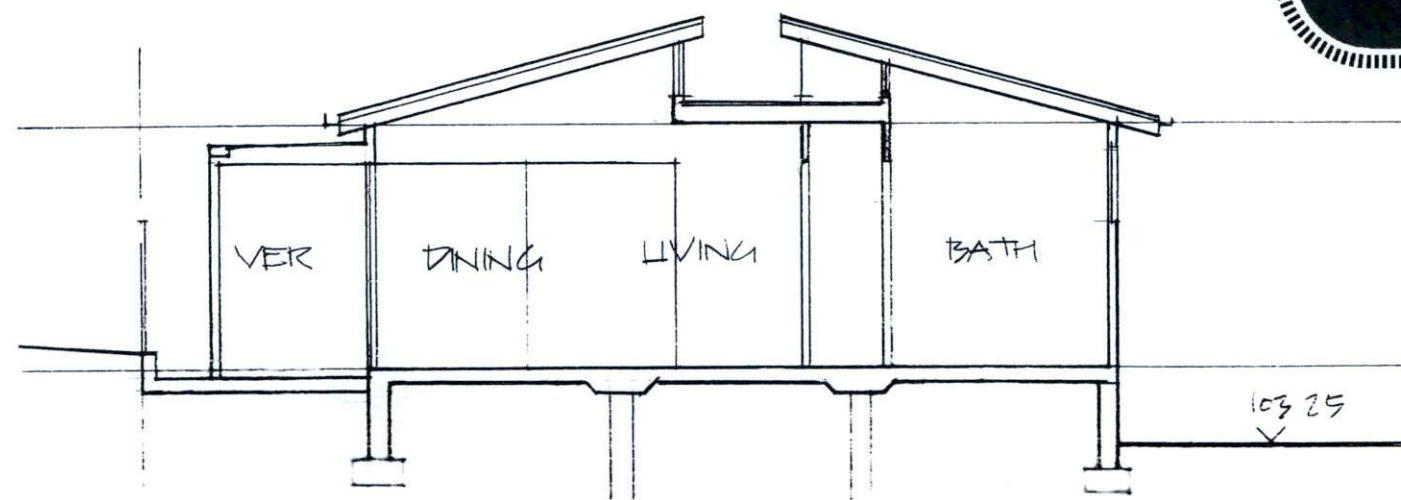
8 EAST



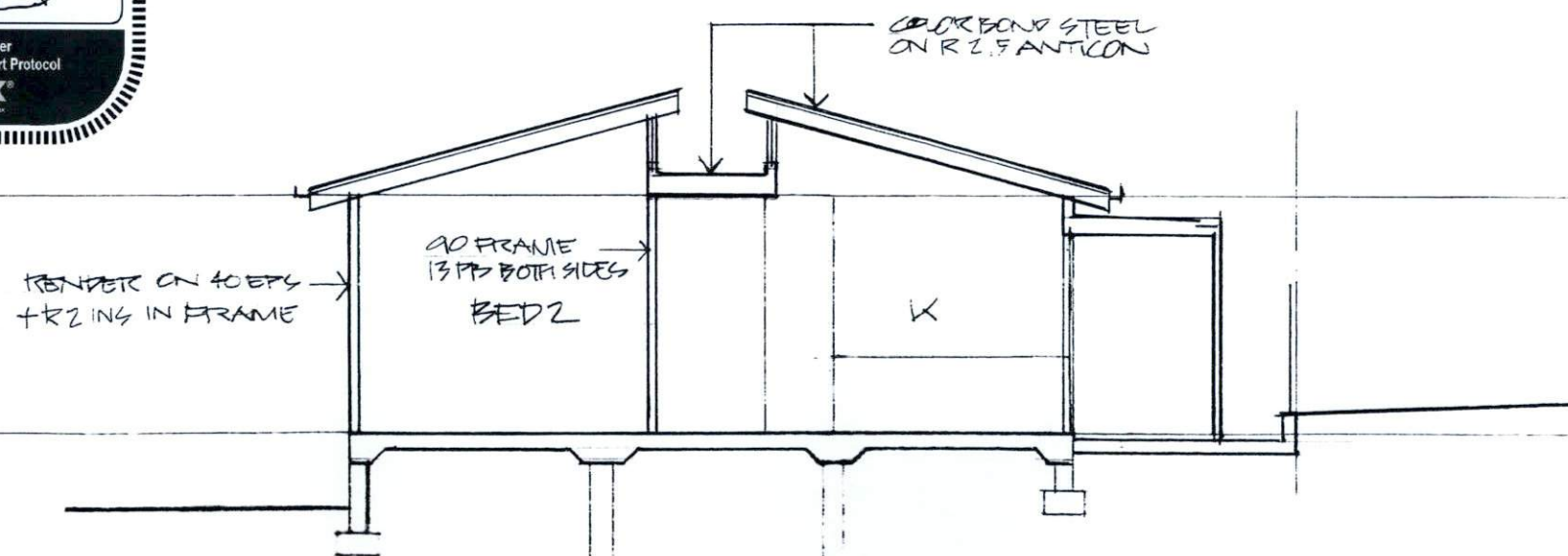
1 SECTION



2 SECTION



3 SECTION



4 SECTION

GRANUAILLE CRES



THERMAL PERFORMANCE SPECIFICATIONS:

The following specifications take precedence over other plan notations for the construction of this building.

NOTE: In addition to BASIX commitments; building compliance is required to comply with the 'New South Wales Additions' in the NCC 2016 - Volume 2.

This includes New South Wales Parts 2.6 and 3.12.

Specific mention is made of the following provisions:

- Building Fabric Thermal Insulation

(NOTE: If steel framing is used a thermal break may be required)

- Building Sealing

- Building Services

WINDOWS (total product specification - glass + frame)

U-value 6.70 (or less than) & SHGC 0.70 (+/-10%)(Default - Plain glass in AL frame)

EXTERNAL WALL (Medium colour)

Reverse 150mm Block - 100mm EPS external insulation

Cavity Panel - R2.0 Bulk insulation in cavity & 40mm EPS on wall

SKYLIGHTS

Velux Double Glazed - Toned

INTERNAL WALL

Cavity Panel - No Insulation

EXTERNAL FLOOR

Concrete Slab on Ground - R1.0 Slab Edge insulation

CEILING SPACE with ROOF ABOVE

Plasterboard - No insulation

ROOF (Medium colour) (Non-ventilated)

Sheet Metal Roofing - 75mm Foli Blanket insulation

RATED either with NO DOWNLIGHTS or with LED downlights which do not penetrate ceiling insulation

