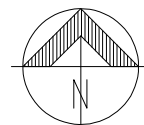
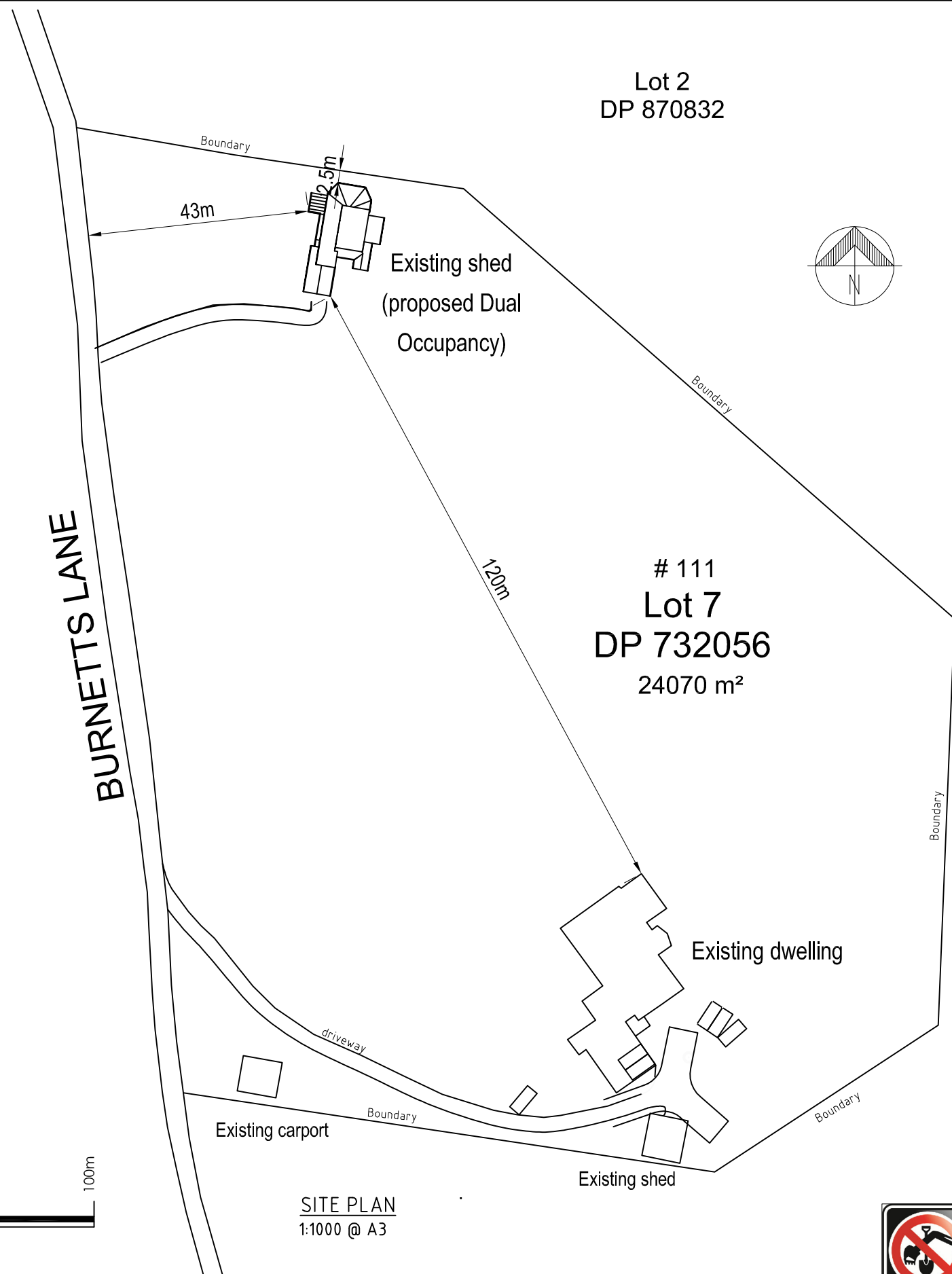
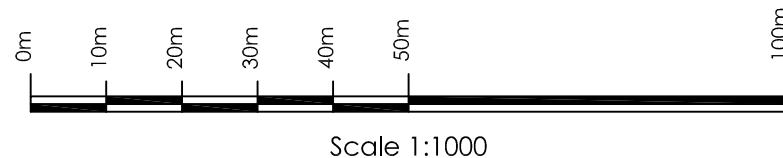


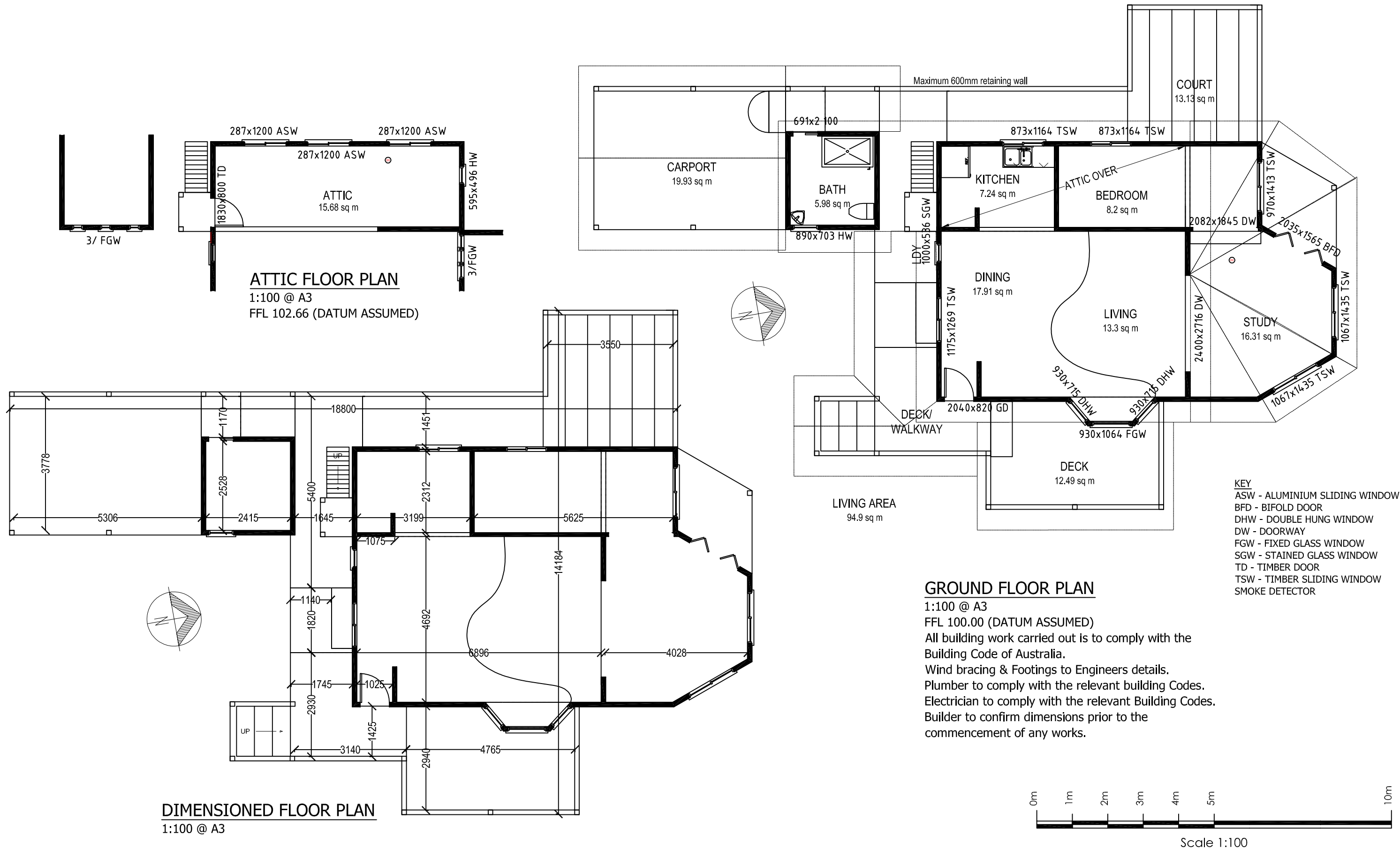
1. All excavations and fill must comply with Part 3.1.1 EARTHWORKS.
2. Drainage must comply with Part 3.1.2 DRAINAGE
3. TERMITE RISK MANAGEMENT must comply with Part 3.1.3
 - a) A termite barrier or combination of barriers is installed in accordance with-
 - 1) AS3660.1 or
 - 2) 3.1.3.3 for concrete slabs on ground
 - b) A durable notice must be permanently fixed to the building in a prominent location, such as a meter box or the like, indicating-
 - 1) the method of protection; and
 - 2) the date of installation of the system; and
 - 3) where a chemical barrier is used, its life expectancy as listed on the National registration Authority label; and
 - 4) the installer's or manufacturer's recommendations for the scope and frequency of future inspections for termite activity.
- 4) Filling under slabs must comply with Part 3.2.2 and clause 3.2.2.2
- 5) Vapour barriers must comply with clause 3.2.2.6
- 6) Concrete and reinforcing must comply with clauses 3.2.3.1 & 3.2.3.3 inclusive.
- 7) Footing and slab CLIENT REVIEW must comply with Part 3.2.5 Clause 3.2.5.1, or AS 2870 - Refer to Engineer's detail.
- 8) Timber frame is manufactured to comply with AS 1684.2-1999 National Timber Framing Code and certificate will be provided by Truss and Frame manufacturer when selected.
- 9) Roof cladding must comply with Part 3.5.1.
- 10) Gutters and downpipes must comply with Part 3.5.2
- 11) Timber wall cladding to comply with Part 3.5.3 & Clause 3.5.3.2
- 12) Glazing to windows must comply with Part 3.6.
- 13) Smoke alarms must comply with Part 3.7.2.
- 14) Wet areas must comply with Part 3.8.1.
- 15) Ceiling heights to rooms must comply with Part 3.8.2.
- 16) Lighting must comply with Part 3.8.4
- 17) All tie-downs to comply with Engineer's detail.
- 18) Soil classification to site to comply with Part 3.2.4 - Refer to Engineer's details.
- 19) Roof trusses to be designed to Engineer supplied Wind loading. Certification to be provided by Truss manufacturer.
- 20) Masonry Wall Ties to comply with Part 3.3.2
- 21) Lintels to comply with Part 3.3.3.4
- 22) Wall bracing to comply with AS 1684.2-1999 and as per Engineer's detail.
- 23) Sub-Floor Ventilation to comply with Part 3.4.1
- 24) Stair CLIENT REVIEW to comply with Part 3.9.1
- 25) Balustrades/Railings to comply with Part 3.9.2
- 26) All work to comply with Council Standards.

1. The contractor/s to inspect site and verify all levels and dimensions on site prior to commencing any work.
2. Figured dimensions take precedence over scaled dimensions.
3. Contractor/s to use architectural drawings for set out.
4. All discrepancies are to be referred to the client immediately.
5. All work to be in accordance with BCA, relevant standards & local authority requirements.
6. Verify location of existing services prior to construction & relocate as required in conjunction with the relevant authority.
7. Discharge stormwater in accordance with local authority requirements and relevant standards.
8. Discharge wastewater in accordance with local authority requirements and relevant standards.
9. Slabs, footings, steelwork, bracing, tie down, retaining walls & articulation joints to be in accordance with engineers details.
10. Roof and floor framing to be in accordance with the manufacturers specification and to be co-ordinated with the engineering design with regard to slab thickenings and floor support locations.
11. All timber work is to comply with AS 1684.1999 National Timber Framing Code.
12. Make good all damaged surfaces on completion of work.

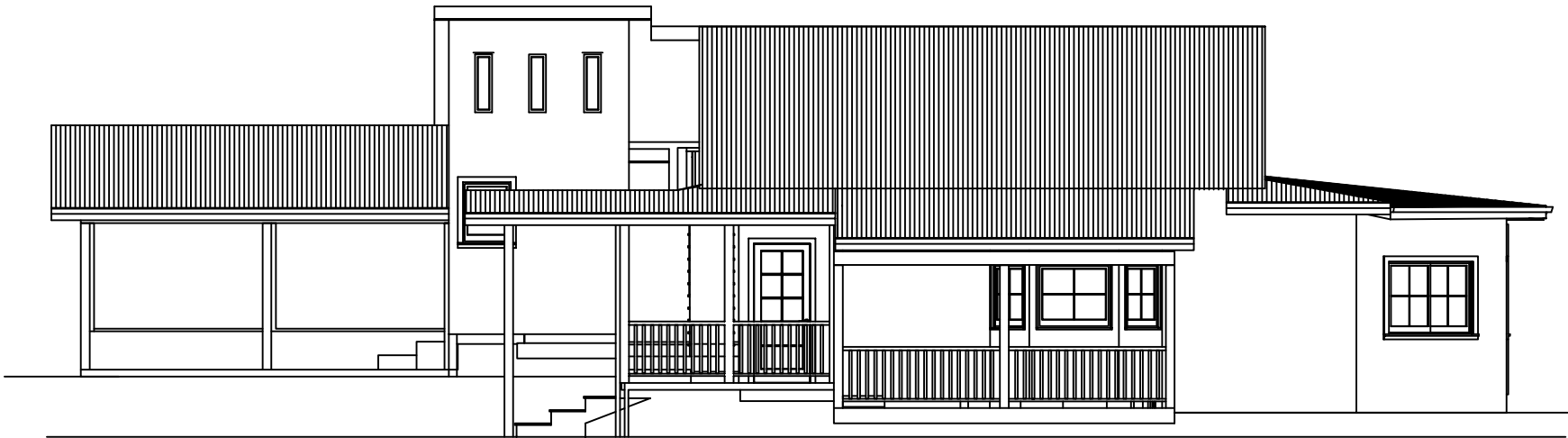
Site area	24070 m ²
Existing floor area	94.9m ²
Proposed floor area	94.9m ²



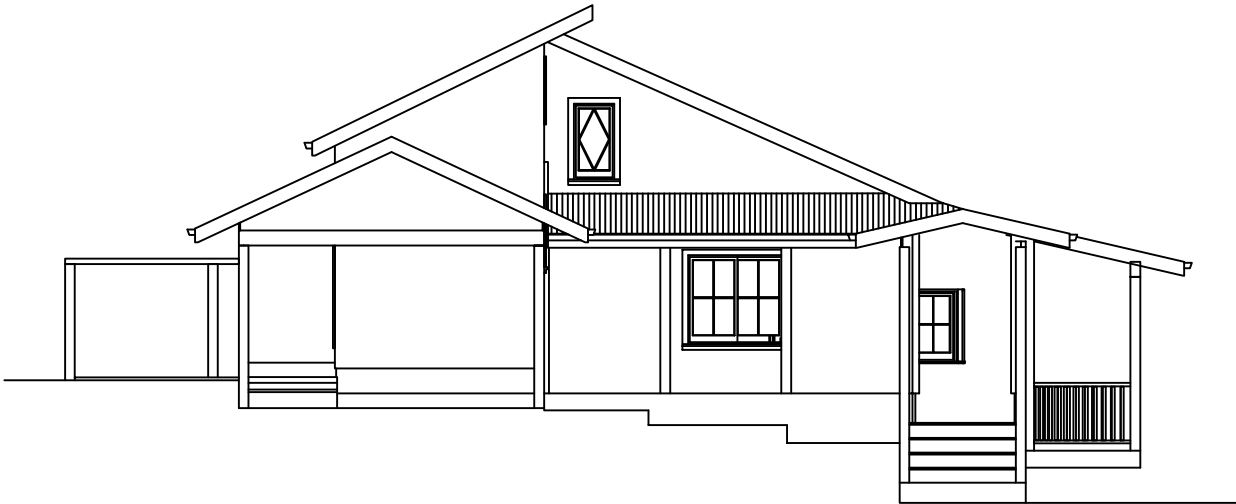
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0	ISSUED FOR CLIENT REVIEW	SN	21/12/17					Drawn: SN	Scale: As shown at A3	Checked:	Date:	
1	ISSUED FOR DA	SN	01/06/18			Checked: AM	Original Size: A3	No. in set: 01 of 5	Revision: 0			
						Job Number: 16017	Drawing Number: 171220-16017SN01					
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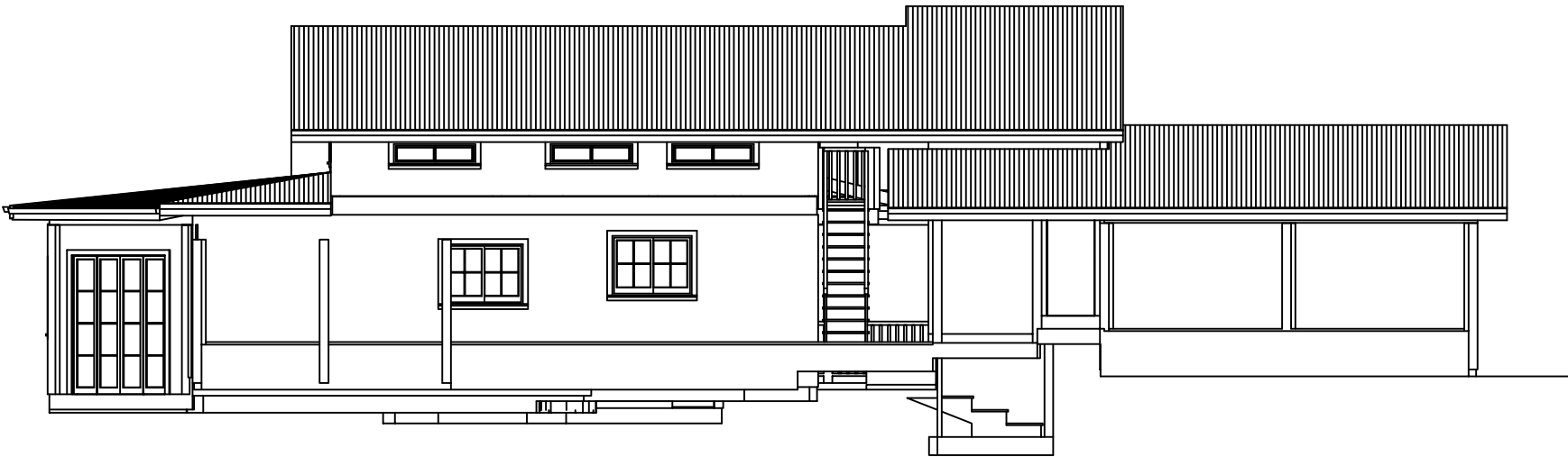
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1	ISSUED FOR DA	SN	01/06/18					Checked: AM	Original Size: A3		No. in set: 02 of 5	Revision: 0
									Job Number: 16017	Drawing Number: 171220-16017SN02		
						DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS	Site address: Lot 7 DP 732056 111 Burnettts Road, NASHUA NSW 2479	Project: PROPOSED CONVERSION OF EXISTING SHED TO DUAL OCCUPANCY DWELLING				
						REFER COVER SHEET FOR NOTES UNLESS NOTED OTHERWISE						
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EAST ELEVATION
1:100 @ A3



SOUTH ELEVATION
1:100 @ A3



WEST ELEVATION
1:100 @ A3

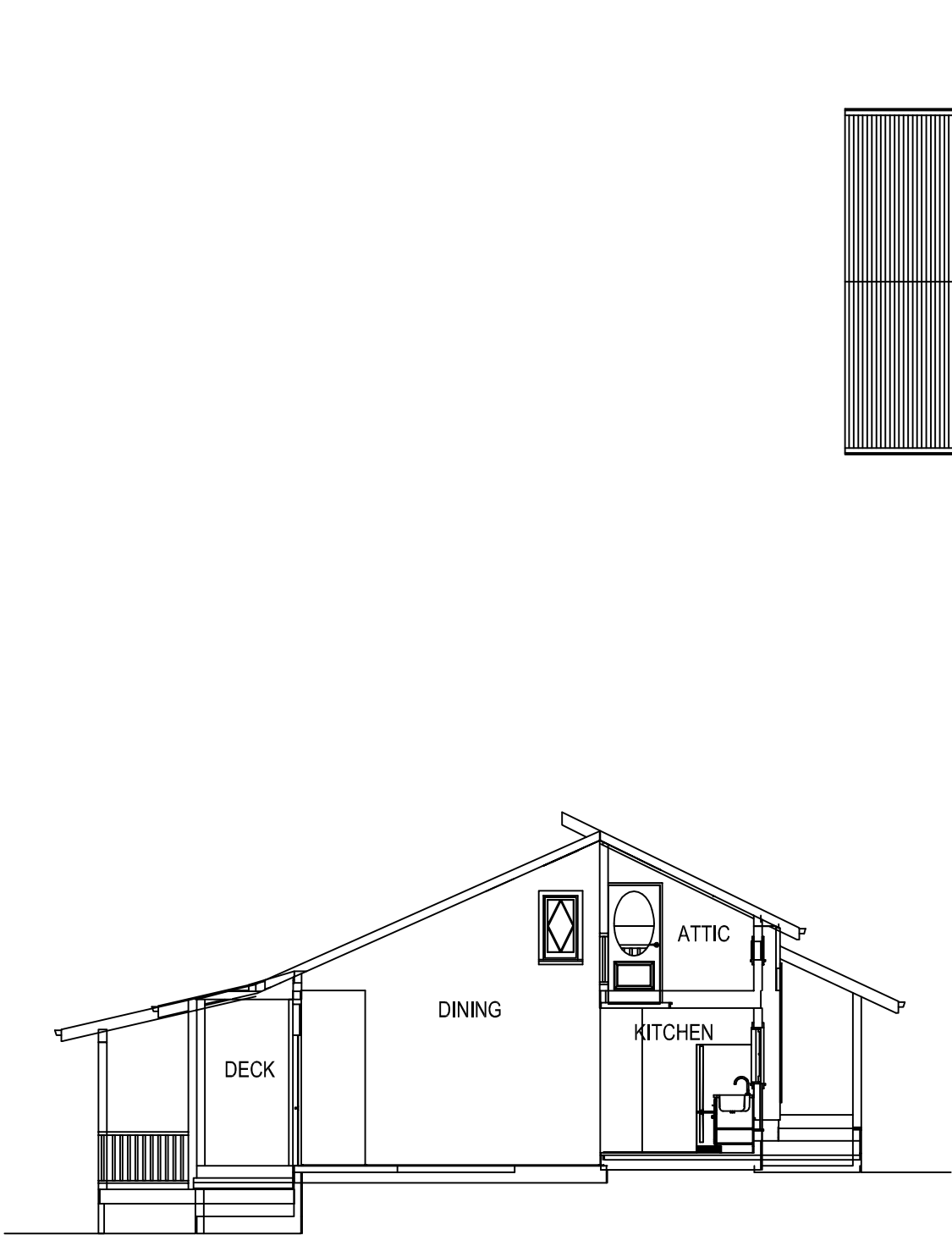


NORTH ELEVATION
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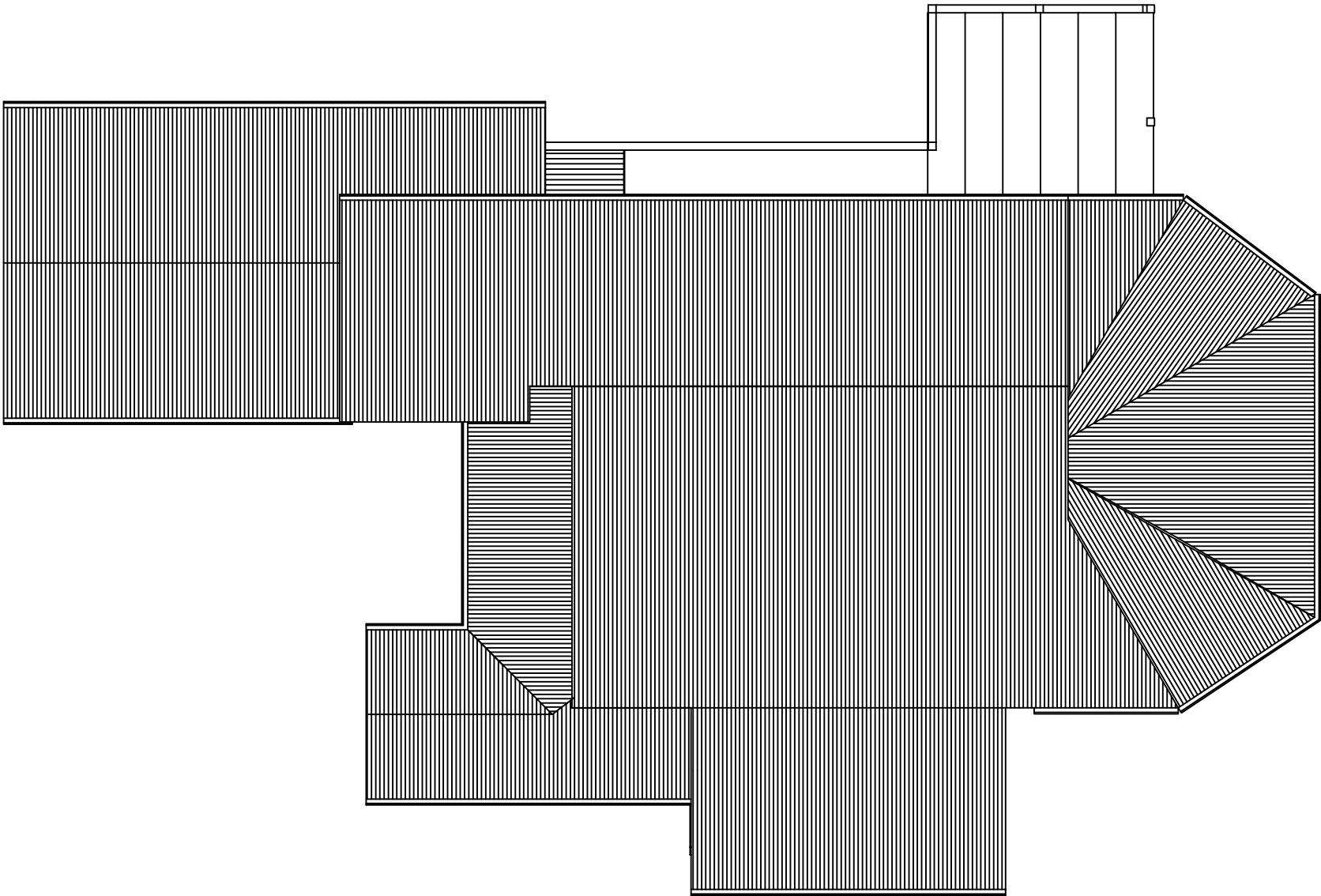


Scale 1:100

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0	ISSUED FOR CLIENT REVIEW	SN	21/12/17					Drawn: SN	Scale: As shown at A3	Checked:	Date:
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						REFER COVER SHEET FOR NOTES UNLESS NOTED OTHERWISE					
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SECTION
1:100 @ A3



ROOF PLAN
1:100 @ A3



Scale 1:100

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0	ISSUED FOR CLIENT REVIEW	SN	21/12/17					Drawn: SN	Scale: As shown at A3	Checked:	Date:		
1	ISSUED FOR DA	SN	01/06/18										
						DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS		Site address: Lot 7 DP 732056 111 Burnettts Road, NASHUA NSW 2479	Project: PROPOSED CONVERSION OF EXISTING SHED TO DUAL OCCUPANCY DWELLING	Checked: AM	Original Size: A3	No. in set: 04 of 5	Revision: 0
						REFER COVER SHEET FOR NOTES UNLESS NOTED OTHERWISE							
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BASIX Certificate number: 922614S

Water Commitments

Fixtures

The applicant must install showerheads with a minimum rating of 3 star (> 7.5 but <= 9 L/min) in all showers in the development.

The applicant must install a waterless toilet for each toilet in the development.

The applicant must install taps with a minimum rating of 3 star in the kitchen in the development.

The applicant must install basin taps with a minimum rating of 3 star in each bathroom in the development.

Alternative water

Rainwater tank

The applicant must install a rainwater tank of at least 10000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

The applicant must configure the rainwater tank to collect rain runoff from at least 100 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).

The applicant must connect the rainwater tank to:

- the cold water tap that supplies each clothes washer in the development
- at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)
- all hot water systems in the development
- all indoor cold water taps (not including taps that supply clothes washers) in the development

Thermal Comfort

General features

The dwelling must be a Class 1 dwelling according to the Building Code of Australia, and must not have more than 2 storeys.

The conditioned floor area of the dwelling must not exceed 300 square metres.

The dwelling must not contain open mezzanine area exceeding 25 square metres.

The dwelling must not contain third level habitable attic room.

Floor, walls and ceiling/roof

The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.

Construction Additional insulation required (R-Value) Other specifications

floor - concrete slab on ground, 20.4 square metres nil

floor - suspended floor above open subfloor, 67 square

metres, framed nil

external wall - framed (weatherboard, fibre cement, metal clad) 1.80 (or 2.20 including construction)

ceiling and roof - raked ceiling / pitched or skillion roof, framed

ceiling: 3.5 (down), roof: foil/sarking framed; medium (solar absorptance 0.475-0.70)

Windows, glazed doors and skylights

Window/glazed door no. Maximum height (mm) Maximum width (mm) Type Shading (Dimension within 10%) Overshadowing

North facing

W01 1067 1435 timber/UPVC/fibreglass, single, clear eave 450 mm, 500 mm above head of window or glazed door not overshadowed

W02 595 496 aluminium, single, clear eave 450 mm, 500 mm above head of window or glazed door not overshadowed

W03 300 900 timber/UPVC/fibreglass, single, clear eave 450 mm, 1100 mm above head of window or glazed door not overshadowed

W20 970 1413 timber/UPVC/fibreglass, single, clear verandah 2500 mm, 2200 mm above base of window or glazed door not overshadowed

North-East facing

W04 1067 1435 timber/UPVC/fibreglass, single, clear eave 450 mm, 500 mm above head of window or glazed door not overshadowed

W05 930 715 timber/UPVC/fibreglass, single, clear eave 450 mm, 500 mm above head of window or glazed door not overshadowed

East facing

W06 930 1064 timber/UPVC/fibreglass, single, clear verandah 2800 mm, 2100 mm above base of window or glazed door not overshadowed

W07 890 703 timber/UPVC/fibreglass, single, clear none not overshadowed

W08 703 200 timber/UPVC/fibreglass, single, clear none not overshadowed

W09 703 200 timber/UPVC/fibreglass, single, clear none not overshadowed

W10 703 200 timber/UPVC/fibreglass, single, clear none not overshadowed

South-East facing

W11 930 715 timber/UPVC/fibreglass, single, clear verandah 3300 mm, 2100 mm above base of window or glazed door not overshadowed

South facing

W12 1175 1269 timber/UPVC/fibreglass, single, clear verandah 2300 mm, 2100 mm above base of window or glazed door not overshadowed

W13 1000 586 timber/UPVC/fibreglass, single, clear eave 450 mm, 700 mm above head of window or glazed door not overshadowed

West facing

W14 873 1164 timber/UPVC/fibreglass, single, clear awning (adjustable) 600 mm, 800 mm above base of window or glazed door 2-4 m high, 2 m away

W15 873 1164 timber/UPVC/fibreglass, single, clear awning (adjustable) 600 mm, 800 mm above base of window or glazed door 2-4 m high, 2 m away

W16 287 1200 aluminium, single, clear eave 450 mm, 250 mm above head of window or glazed door not overshadowed

W17 287 1200 aluminium, single, clear eave 450 mm, 250 mm above head of window or glazed door not overshadowed

W18 287 1200 aluminium, single, clear eave 450 mm, 250 mm above head of window or glazed door not overshadowed

North-West facing

W19 2035 1565 timber/UPVC/fibreglass, single, clear verandah 2500 mm, 2200 mm above base of window or glazed door not overshadowed

Energy Commitments

Hot water

The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5.5 stars.

Cooling system

The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: ceiling fans;

Energy rating: n/a

The bedrooms must not incorporate any cooling system, or any ducting which is designed to accommodate a cooling system.

Heating system

The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: wood heater;

Energy rating: n/a

The bedrooms must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.

The wood heater must have a compliance plate confirming that it complies with the relevant Australian standards, and must be installed in accordance with the requirements of all applicable regulatory authorities.

Ventilation

The applicant must install the following exhaust systems in the development:

At least 1 Bathroom: no mechanical ventilation (ie. natural); Operation control: n/a

Kitchen: no mechanical ventilation (ie. natural); Operation control: n/a

Laundry: natural ventilation only, or no laundry; Operation control: n/a

Artificial lighting

The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:

- at least 2 of the bedrooms / study;
- at least 2 of the living / dining rooms;
- the kitchen;
- all bathrooms/toilets;
- the laundry;
- all hallways;

Natural lighting

The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.

The applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting.

Other

The applicant must install a gas cooktop & gas oven in the kitchen of the dwelling.

The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.

The applicant must install a fixed outdoor clothes drying line as part of the development.

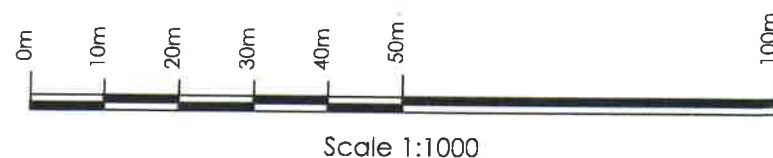
The applicant must install a fixed indoor or sheltered clothes drying line as part of the development.

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0	ISSUED FOR CLIENT REVIEW	SN	21/12/17					Drawn: SN	Scale: As shown at A3	Checked:	Date:	
1	ISSUED FOR DA	SN	01/06/18					Checked: AM	Original Size: A3			No. in set: 05 of 5
								Job Number: 16017	Drawing Number: 171220-16017SN05			Revision: 0
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11. All timber work is to comply with AS 1684.1999 National Timber Framing Code.
12. Make good all damaged surfaces on completion of work.

Site area	24070 m ²
Existing main dwelling floor area	476.6m ²
Proposed floor area	476.6m ²

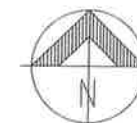


Lot 1
DP 433607

Lot 2
DP 870832

Existing shed (proposed
Dual Occupancy - see
separate plans)

111
Lot 7
DP 732056
24070 m²

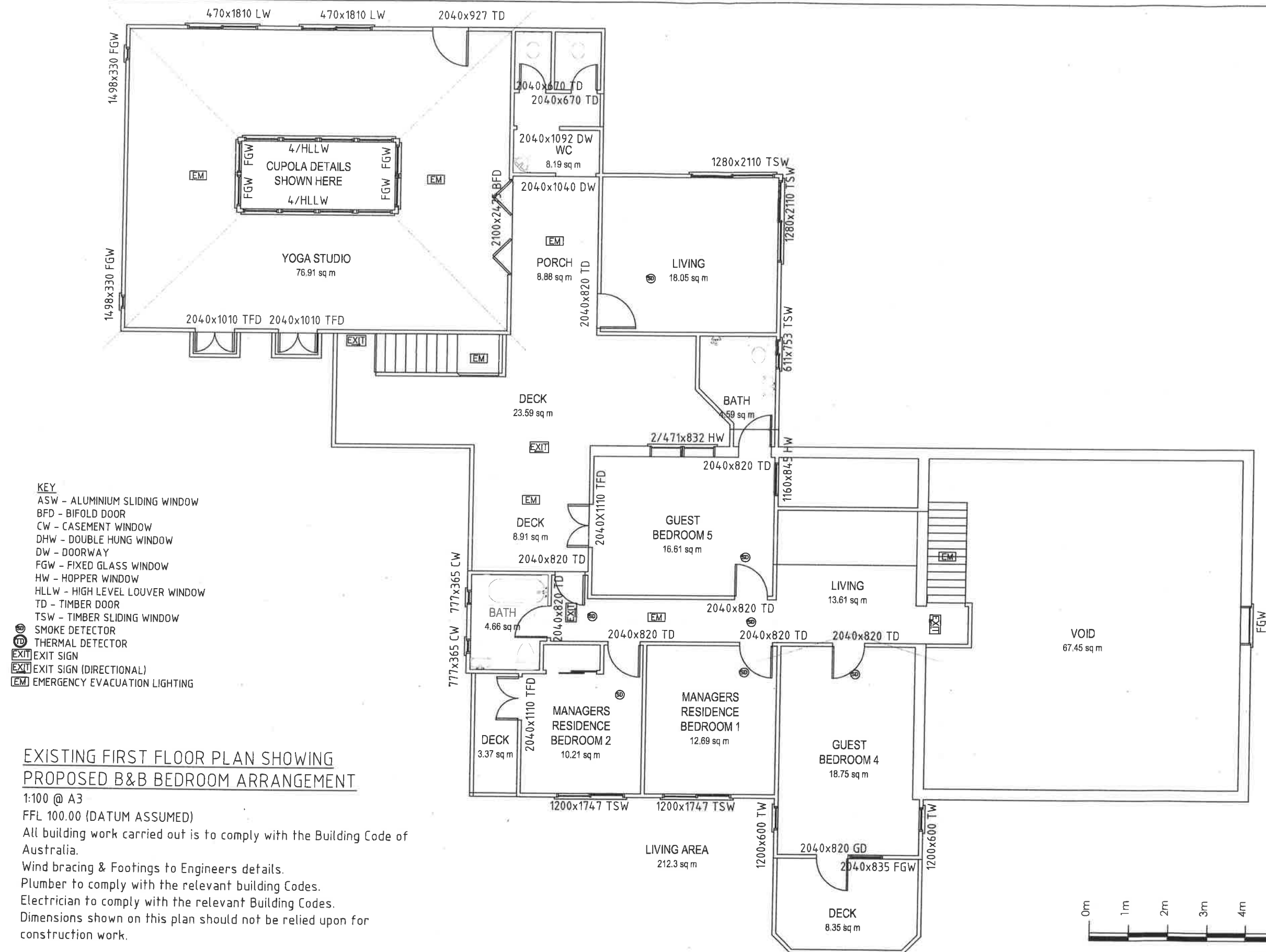


The diagram is a site plan of a residential property. It shows an 'Existing dwelling' with a complex roofline. To its left is an 'Existing double carport' and below it, an 'Existing double carport (under)'. A 'Parking space' is located between the carports and the dwelling. To the right of the dwelling is a 'Gazebo', a 'Pool', and 'Accessible Parking'. Further right is a larger 'Parking' area. At the bottom center is an 'Existing shed'. To the right of the shed is an 'Assembly area' marked with a plus sign. A curved line labeled 'Boundary' runs along the bottom and left sides of the property. A 'driveway' is shown on the left side, leading from the boundary towards the carports.

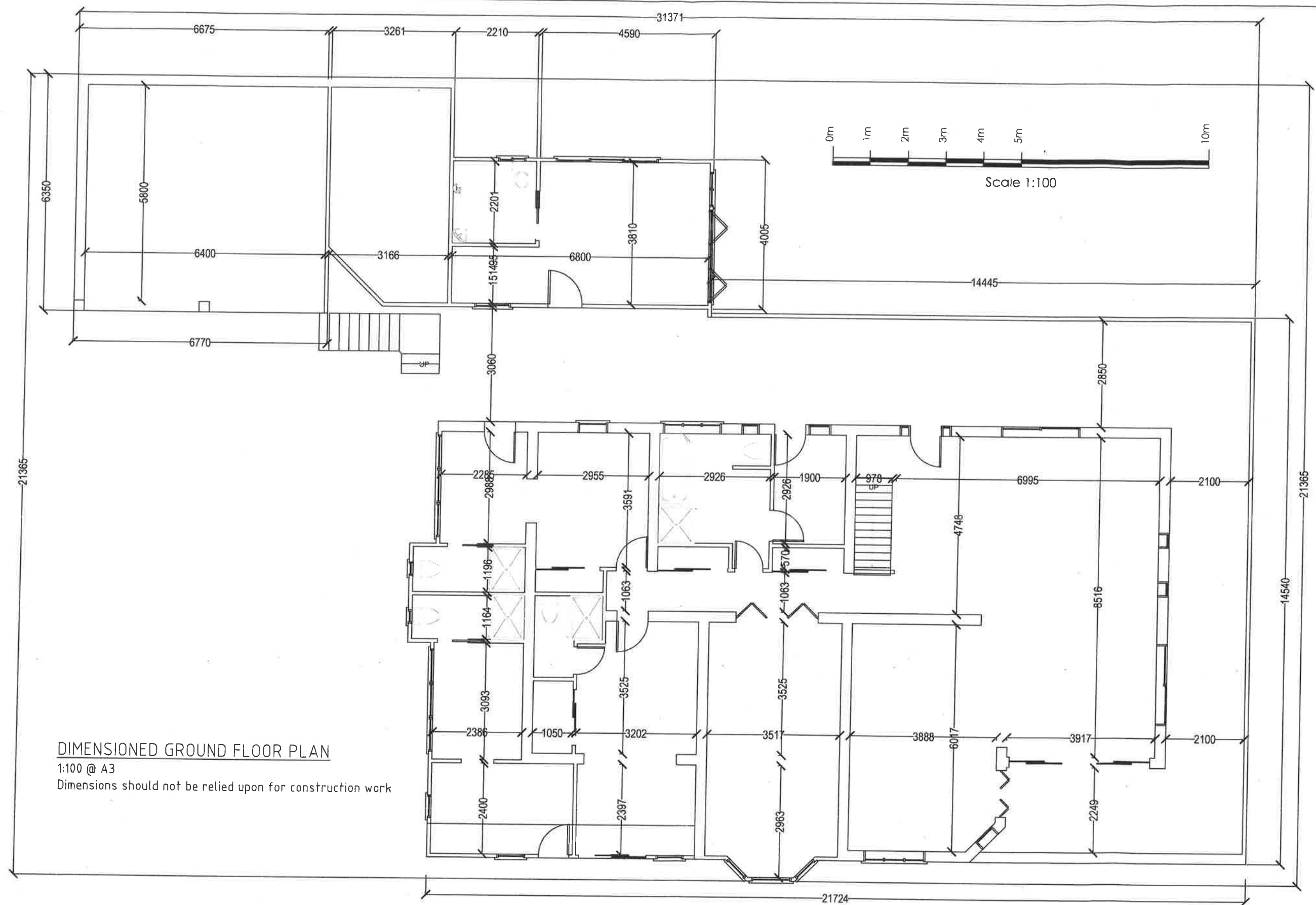
SITE PLAN
1:1000 @ A3



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1	ISSUED FOR DA		SN	21/06/2018	Checked: AM			Original Size: A3	No. in set: 01 of 9						
					Job Number: 16017			Drawing Number: 180130-16017SN01							
Z:\JOBS\16017 - Michael Douglas\House plans\16017 Douglas Main Dwelling 2.dwg								Site address: Lot 7 DP 732056 111 Burnettts Road, NASHUA NSW 2479		Project: PROPOSED BED & BREAKFAST ESTABLISHMENT		Revision: 0			
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0	ISSUED FOR CLIENT REVIEW	SN	30/01/2018			Drawn:	Scale:	Checked:		Date:	
1	ISSUED FOR DA	SN	21/06/2018			SN	As shown at A3				
						Checked:	Original Size:	No. in set:	Revision:		
						AM	A3	03 of 9			
						Job Number:	Drawing Number:				
						16017	180130-16017SN03	0			
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Client:
 J & M Douglas

Site address:
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 111 Burnett's Road,
 NASHUA NSW 2479

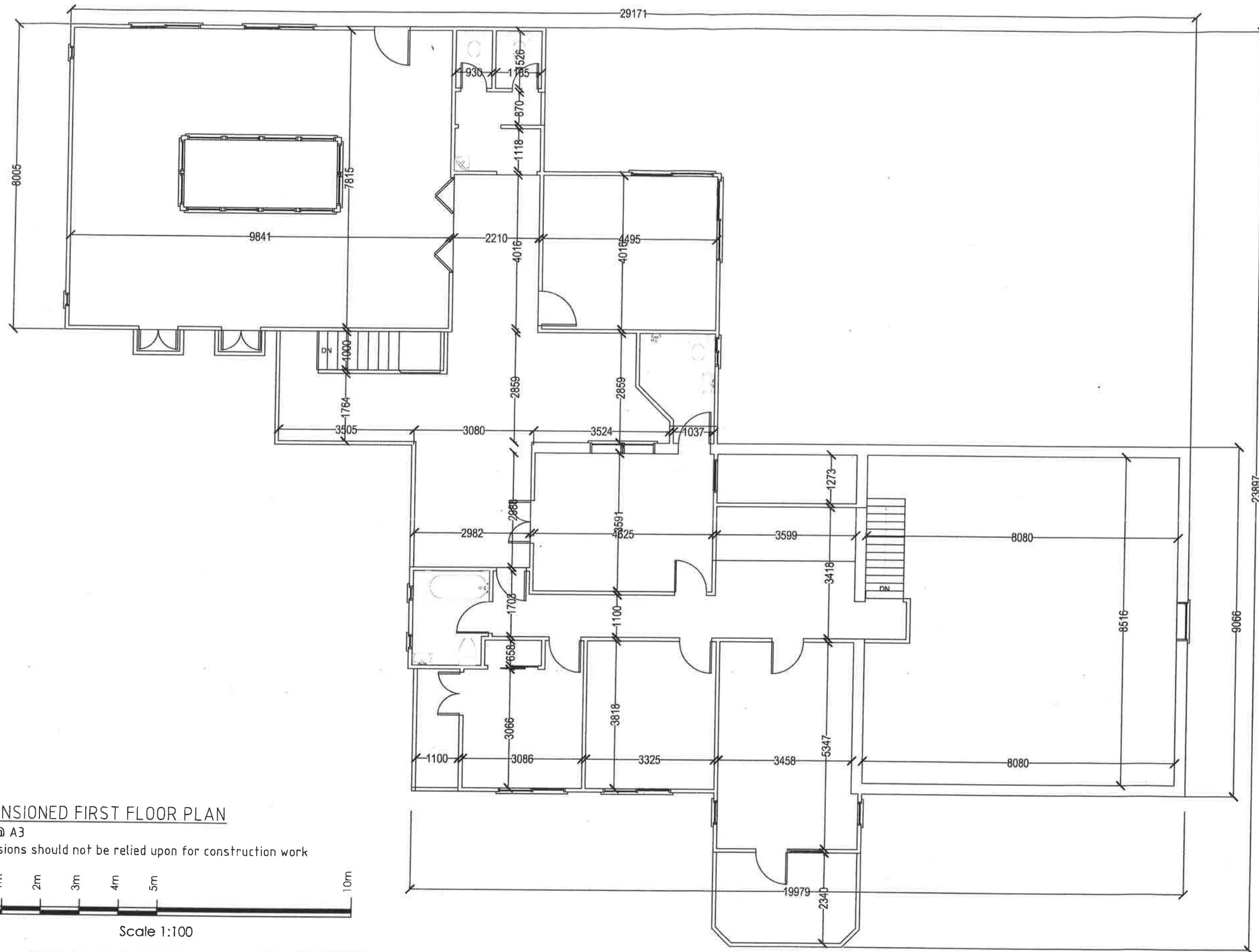
Title:
 DIMENSIONED GROUND FLOOR PLAN

Project:
 PROPOSED BED & BREAKFAST
 ESTABLISHMENT

ISSUE FOR DEVELOPMENT APPLICATION

Drawn: SN	Scale: As shown at A3
Checked: AM	Original Size: A3
Job Number: 16017	No. in set: 04 of 9
Drawing Number: 180130-16017SN04	

Checked:	Date:
Revision: 0	



DIMENSIONED FIRST FLOOR PLAN

1:100 @ A3

Dimensions should not be relied upon for construction work



Scale 1:100

Rev	Revision Description	BY	DATE
0	ISSUED FOR CLIENT REVIEW	SN	30/01/2018
1	ISSUED FOR DA	SN	21/06/2018

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NASHUA NSW 2479

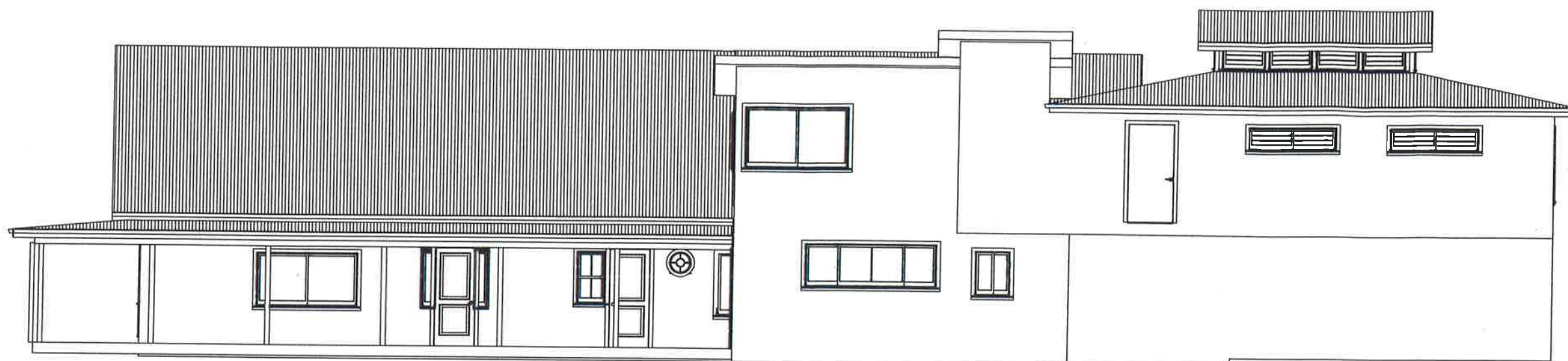
Title:
DIMENSIONED FIRST FLOOR PLAN

Project:
PROPOSED BED & BREAKFAST
ESTABLISHMENT

ISSUE FOR DEVELOPMENT APPLICATION

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Checked: AM	Original Size: A3
Job Number: 16017	No. in set: 05 of 9
Drawing Number: 180130-16017SN05	

Checked:	Date:
Revision:	0



SOUTH-WEST ELEVATION
1:100 @ A3



NORTH-EAST ELEVATION
1:100 @ A3



Scale 1:100

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0	ISSUED FOR CLIENT REVIEW	SN	30/01/2018			J & M Douglas	ELEVATIONS	Drawn:	Scale:	Checked:	Date:	
1	ISSUED FOR DA	SN	21/06/2018			Site address:	Project:	SN	As shown at A3			
						Lot 7 DP 732056		PROPOSED BED & BREAKFAST ESTABLISHMENT	Checked:			Original Size:
						111 Burnetts Road,		AM	A3	06 of 9	Revision:	
						NASHUA NSW 2479		Job Number:	Drawing Number:			
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SOUTH-EAST ELEVATION
1:100 @ A3



NORTH-WEST ELEVATION
1:100 @ A3



Scale 1:100

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0	ISSUED FOR CLIENT REVIEW	SN	30/01/2018								
1	ISSUED FOR DA	SN	21/06/2018	DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS				Drawn:	Scale:	Checked:	Date:
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								Checked:	Original Size:	No. in set:	
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								Job Number:	Drawing Number:		Revision:
								16017	180130-16017SN07		0

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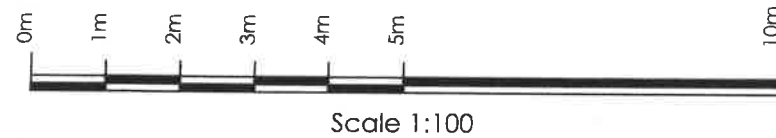
Title:
ELEVATIONS

Project:
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ROOF PLAN
1:100 @ A3



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1	ISSUED FOR DA	SN	21/06/2018

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Title:
ROOF PLAN

Project:
PROPOSED BED & BREAKFAST
ESTABLISHMENT

ISSUE FOR DEVELOPMENT APPLICATION

Drawn: SN	Scale: As shown at A3	Checked:	Date:
Checked: AM	Original Size: A3	No. in set: 09 of 9	Revision: 0
Job Number: 16017	Drawing Number: 180130-16017SN09		