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01	LOCATION PLAN AND PROJECT INFORMATION
02	SURVEY
03	SITE ANALYSIS
04	BASEMENT PLAN
05	GROUND FLOOR PLAN
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07	SECOND FLOOR PLAN
08	ROOF PLAN
09	SECTIONS A +SECTIONS B
10	SECTION C +SECTION D
11	ELEVATIONS N & S
12	ELEVATIONS E & W
13	AREA CALCULATIONS
14	3D PERSPECTIVE VIEWS
15	MATERIAL LIST
16	LANDSCAPING PLAN
17	SHADOW DIAGRAMS - 21 JUNE
18	3D HEIGHT PLANE DIAGRAM



MODIFICATIONS TO PROPOSED NEW RESIDENTIAL DEVELOPMENT

*(WITH REVISED RL LEVELS, AS AMENDED ON
INSTRUCTIONS FROM NORTH POINT PLANNING)*

43 LAWSON STREET,
BYRON BAY

06/07/23

PREPARED FOR

MP GROUP



Main Office: Level 2, 68 Sophia Street, Surry Hills NSW 2010
Parramatta Office: Level 14, 3 Parramatta Square, 153 Macquarie St, NSW 2150
+ 61 2 9283 0860 | www.ptiarchitecture.com.au
Nominated Registered Architect: Peter Israel (reg no 5056)
ABN 90 050 071 022



APEX PARK

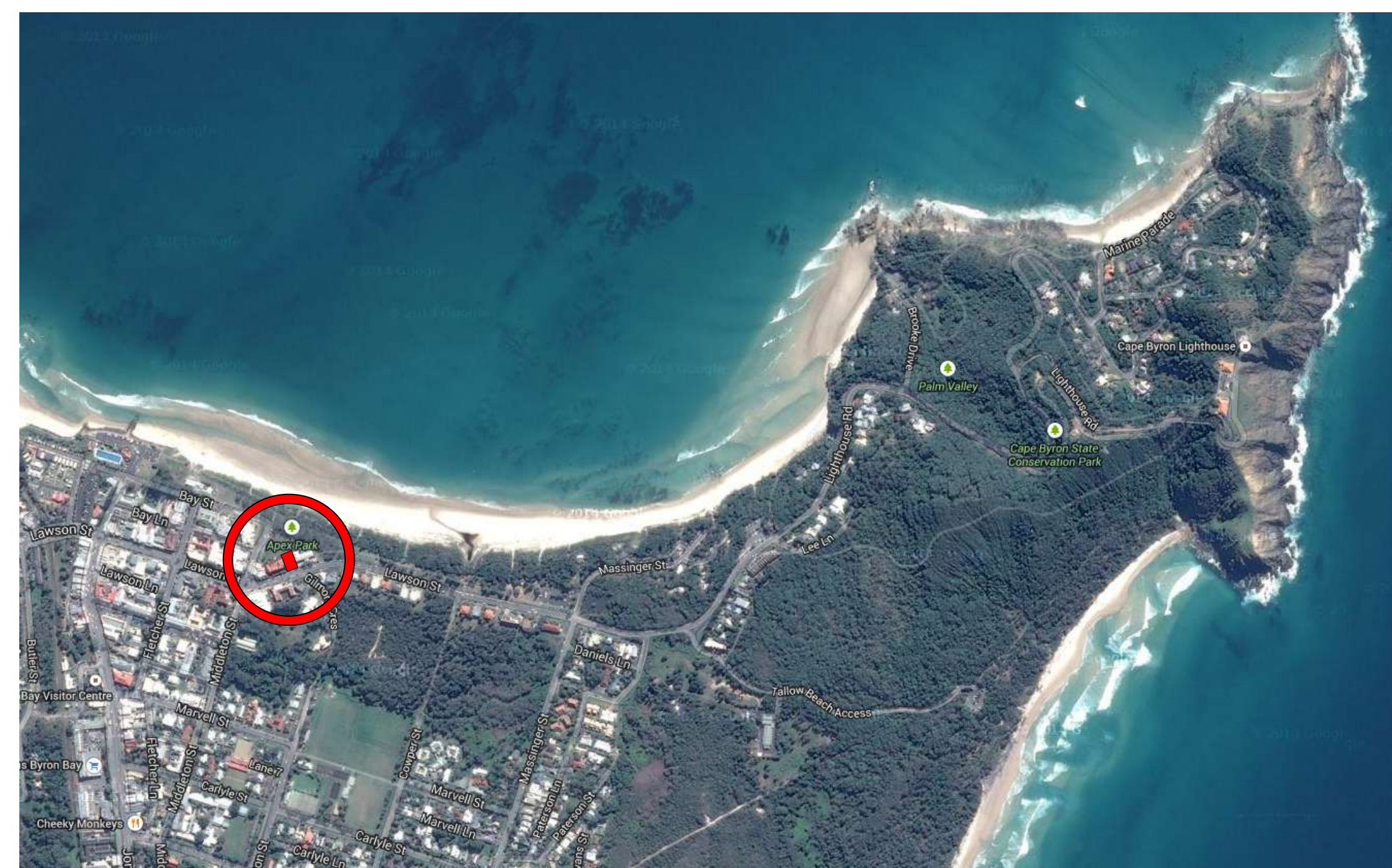


VIEW OF JULIAN ROCKS



EXISTING 43 LAWSON STREET PERSPECTIVE

LOCATION PLAN



SCALE: N/A



VIEW OF LIGHTHOUSE



ENTRANCE TO BEACH FROM APEX PARK

PROJECT INFORMATION

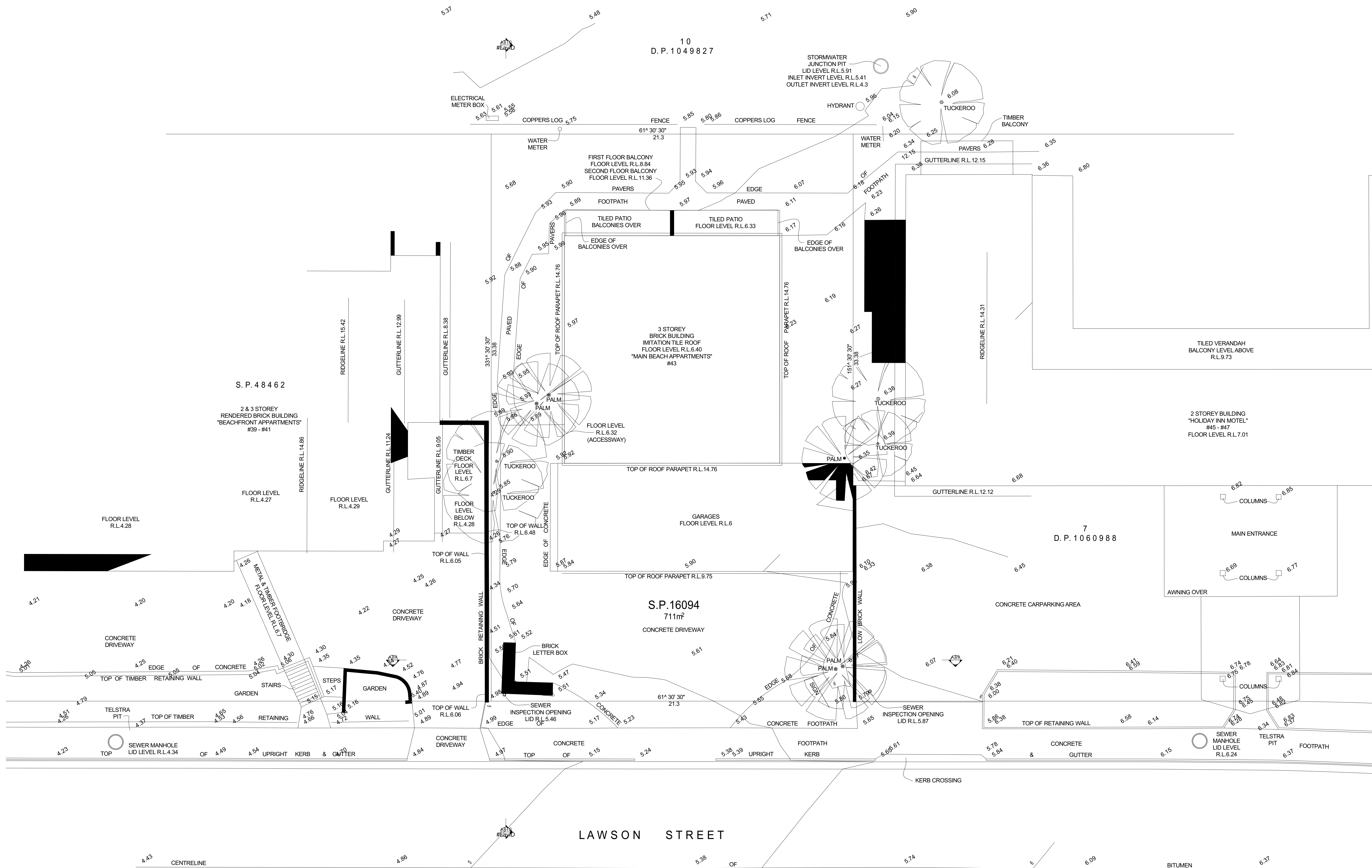
Unit No.	Unit Type	Internal Area (sqm) FSR	Balcony Area (sqm)	Carparking
Ground Floor				
101	2 Bed / 2 Bath	91.5m2	23m2	2
102	1 Bed / 1 Bath	52.2m2	26m2	1
103	3 Bed / 2 Bath	140.3m2	36.5m2	2
	Lobby	22.7m2		
First Floor				
201	4 Bed / 3 Bath	127.6m2	17.4m2	2
202	4 Bed / 3 Bath	150.2m2	17m2	2
	Lobby	22.7m2		
Second Floor				
Penthouse 301	4 Bed / 5 Bath	181.1m2	166.8m2	2
	Lobby	4.8m2		
				Visitor Car 2
Total		793.1m2	286.7m2	13
		Car Spaces provided =		14

Site area 711m2
x 1.3 (FSR)
924.3

793.1m2 / 711m2 = FSR: 1.11



EXISTING 43 LAWSON STREET - APEX PARK PERSPECTIVE



NOTE
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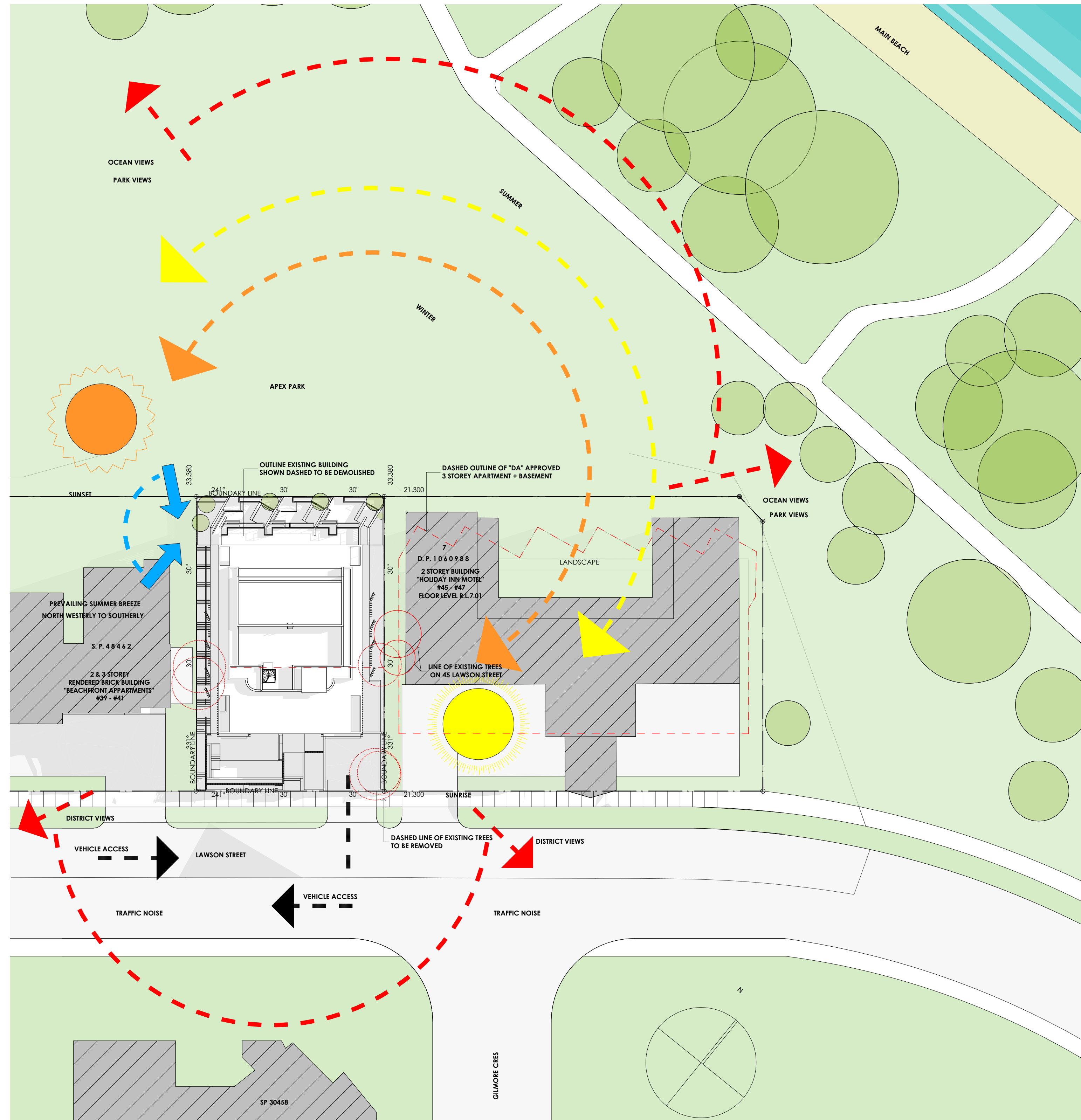
Table with columns: REV, DESCRIPTION, DATE, REV, DESCRIPTION, BY, CHK, DATE, REV, DESCRIPTION, BY, CHK, DATE

CLIENT
MP GROUP
43 LAWSON ST
BYRON BAY

PROJECT
RESIDENTIAL DEVELOPMENT
DRAWING
SURVEY - SUPPLIED BY CLIENT

North arrow, scale 1:100 @ A1, project no P339, and drawing details: DA 02 D, stage, chg no, revision.

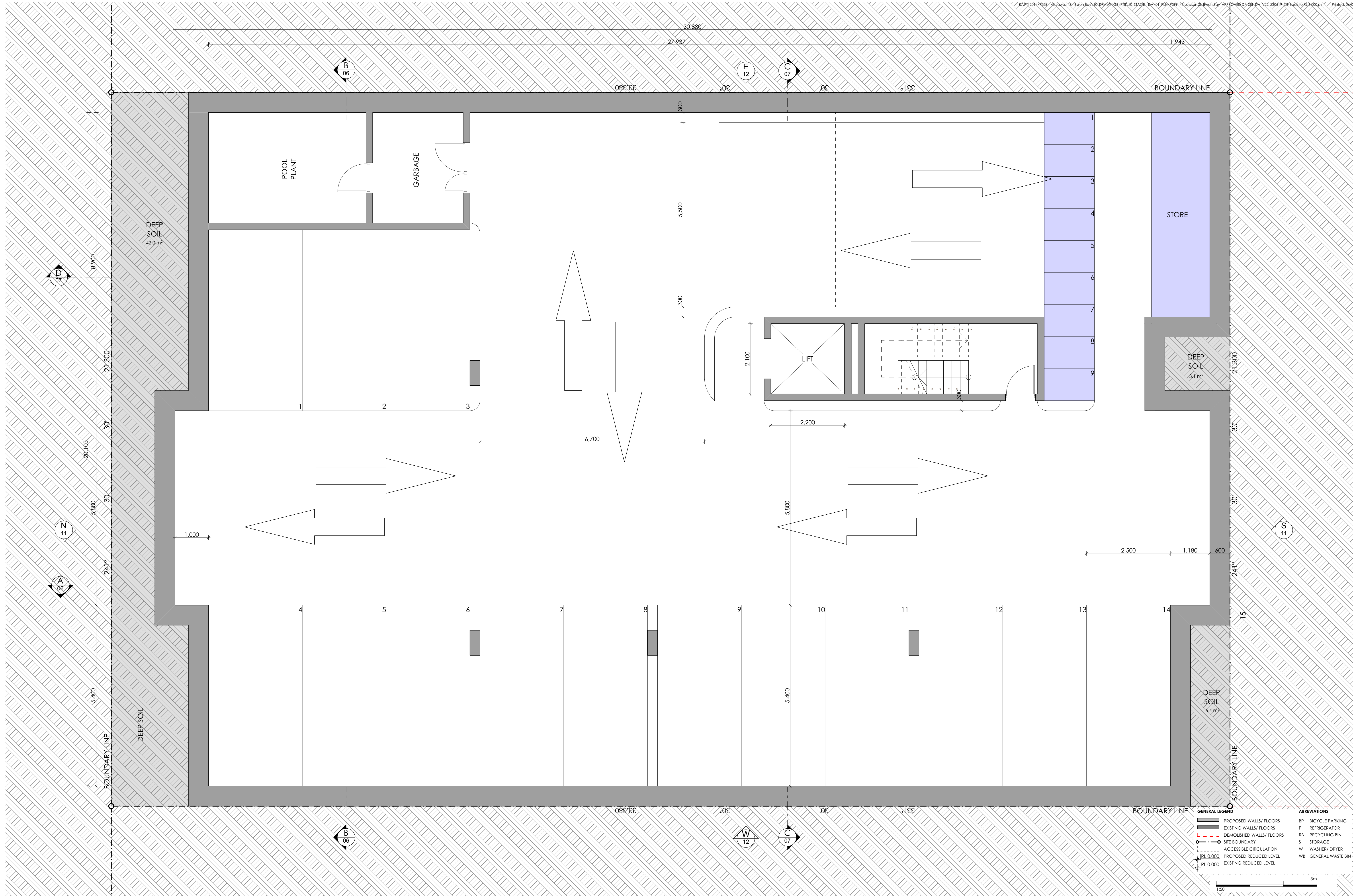




GENERAL LEGEND		ABBREVIATIONS	
	PROPOSED WALLS/ FLOORS	BP	BICYCLE PARKING
	EXISTING WALLS/ FLOORS	F	REFRIGERATOR
	DEMOLISHED WALLS/ FLOORS	RB	RECYCLING BIN
	SITE BOUNDARY	S	STORAGE
	ACCESSIBLE CIRCULATION	W	WASHER/ DRYER
	PROPOSED REDUCED LEVEL	WB	GENERAL WASTE BIN
	EXISTING REDUCED LEVEL		

2 SITE PLAN ANALYSIS

1:300



GENERAL LEGEND		ABBREVIATIONS	
	PROPOSED WALLS/ FLOORS	BP	BICYCLE PARKING
	EXISTING WALLS/ FLOORS	F	REFRIGERATOR
	DEMOLISHED WALLS/ FLOORS	RB	RECYCLING BIN
	SITE BOUNDARY	S	STORAGE
	ACCESSIBLE CIRCULATION	W	WASHER/ DRYER
	PROPOSED REDUCED LEVEL	WB	GENERAL WASTE BIN
	EXISTING REDUCED LEVEL		

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REV	DESCRIPTION	BY	CHK	DATE	REV	DESCRIPTION	BY	CHK	DATE
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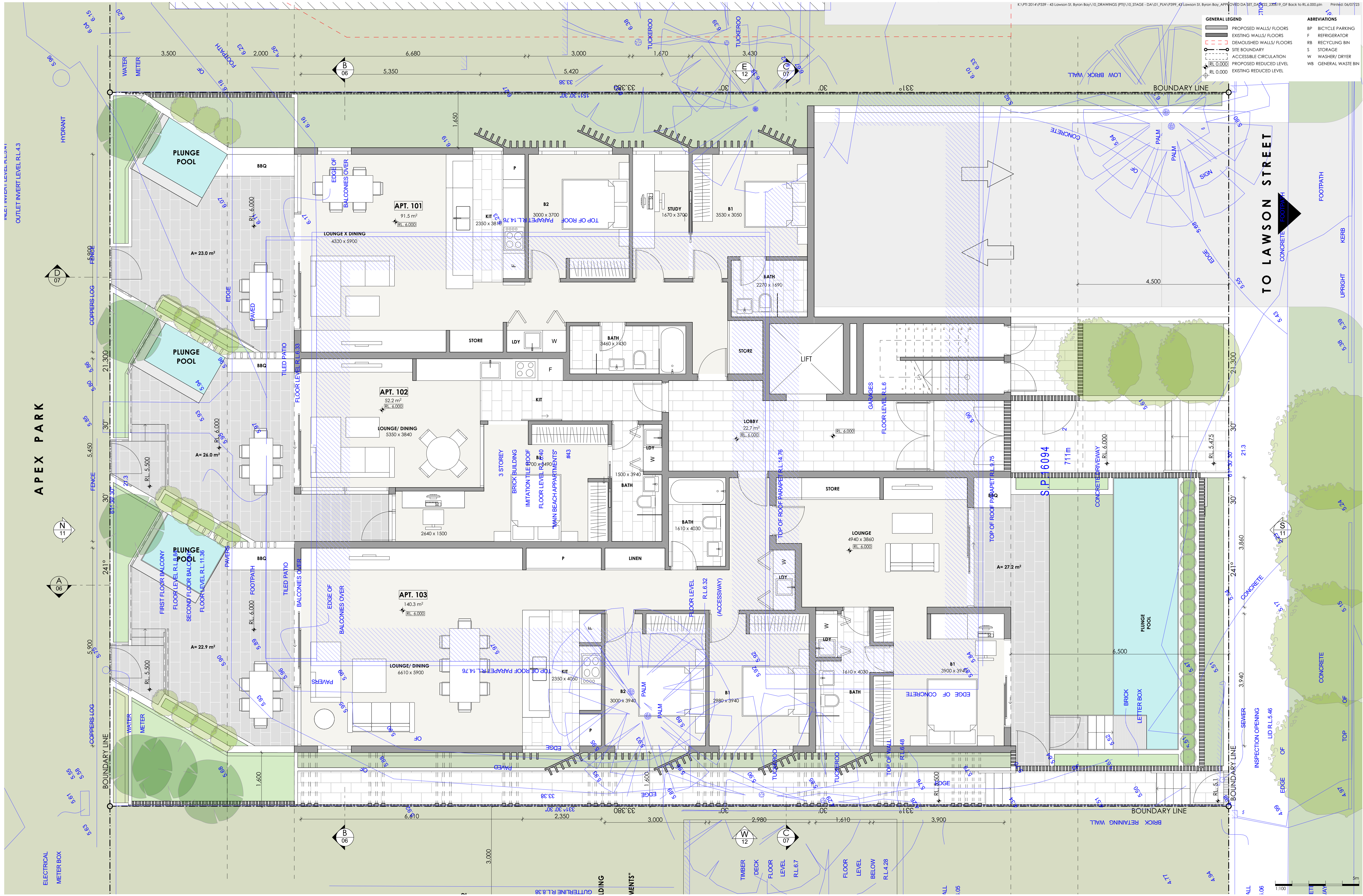
CLIENT
MP GROUP
 43 LAWSON ST
 BYRON BAY

PROJECT
RESIDENTIAL DEVELOPMENT
 DRAWING
BASEMENT PLAN

DRAWN BH
 CHECKED PI
 SCALE 1:50 @ A1
 PROJECT No P339
DA 04 D
 stage. chg no. revision



Main Office: Level 2, 88 Sophia Street, Surry Hills NSW 2010
 Parramatta Office: Level 9A, 3 Parramatta Square, 153 Macquarie St, NSW 2150
 +61 2 9233 0880 | www.projecttourism.com.au
 Nominated Registered Architect: Peter Israel (reg no 5064)
 ABN 90 050 071 022



GENERAL LEGEND		ABBREVIATIONS	
[Solid Line]	PROPOSED WALLS/ FLOORS	BP	BICYCLE PARKING
[Dashed Line]	EXISTING WALLS/ FLOORS	F	REFRIGERATOR
[Dotted Line]	DEMOLISHED WALLS/ FLOORS	RB	RECYCLING BIN
[Circle with Center]	SITE BOUNDARY	S	STORAGE
[Circle with Center]	ACCESSIBLE CIRCULATION	W	WASHER/ DRYER
[Circle with Center]	PROPOSED REDUCED LEVEL	WB	GENERAL WASTE BIN
[Circle with Center]	EXISTING REDUCED LEVEL		

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REV	DESCRIPTION	BY	CHK	DATE	REV	DESCRIPTION	BY	CHK	DATE
1	REVISED RL LEVELS AS AMENDED ON INSTRUCTIONS FROM NORTH POINT	DP	PI	21.06.23					

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 BYRON BAY

PROJECT
RESIDENTIAL DEVELOPMENT

DRAWING
GROUND FLOOR PLAN

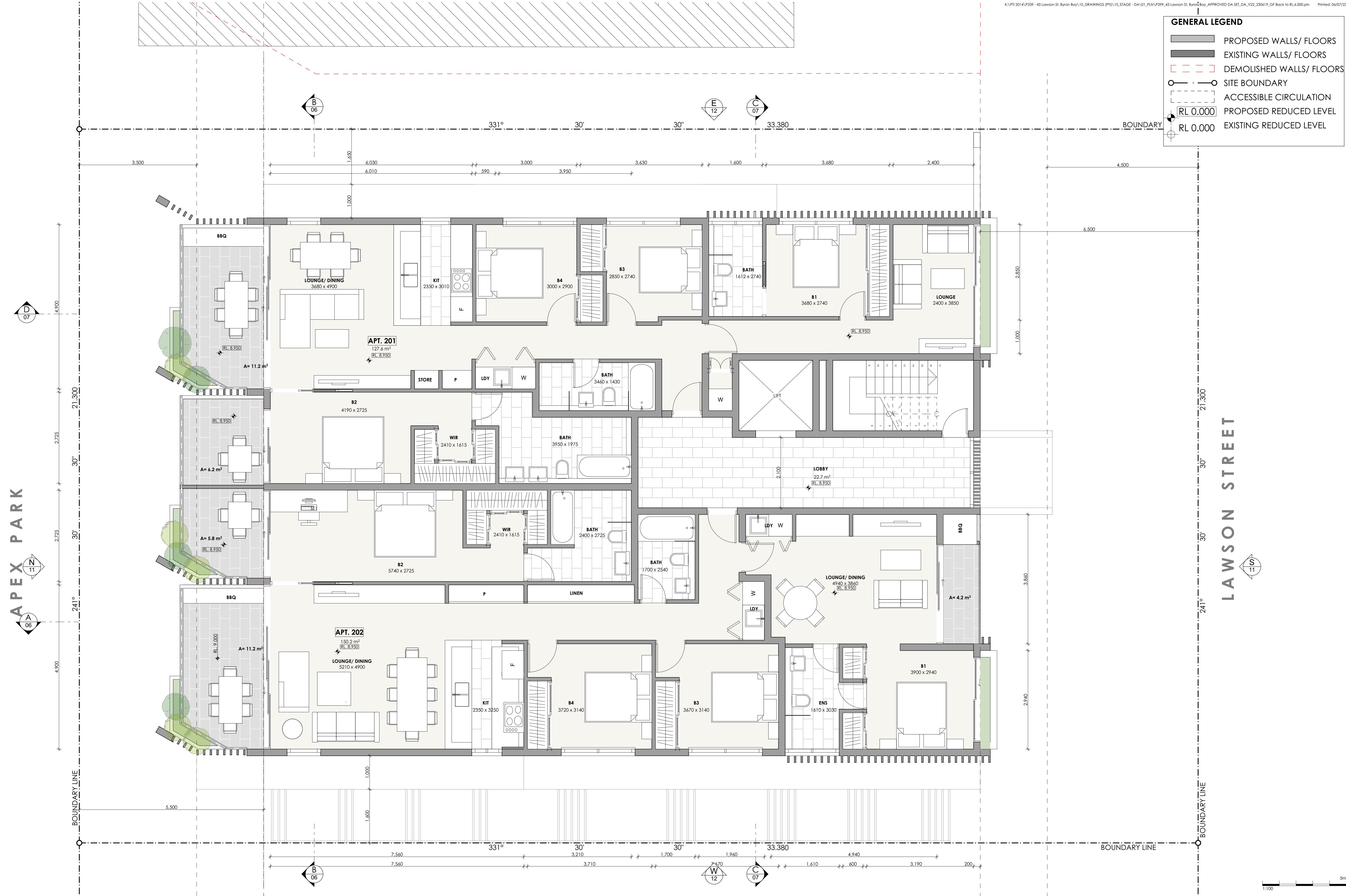
DA 05 J1

stage. chg no. revision

DRAWN BH
 CHECKED PI
 SCALE 1:50 @ A1
 PROJECT No P339

GENERAL LEGEND

- PROPOSED WALLS/ FLOORS
- EXISTING WALLS/ FLOORS
- DEMOLISHED WALLS/ FLOORS
- SITE BOUNDARY
- ACCESSIBLE CIRCULATION
- PROPOSED REDUCED LEVEL
- EXISTING REDUCED LEVEL



APEX PARK

LAWSON STREET

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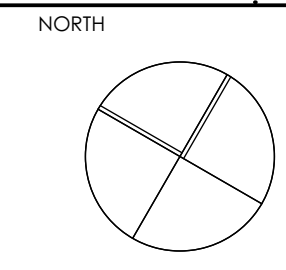
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MP GROUP
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BYRON BAY

PROJECT
RESIDENTIAL DEVELOPMENT

DRAWING
FIRST FLOOR PLAN



DRAWN	BH
CHECKED	PI
SCALE	1:50 @ A1
PROJECT No	P339

DA 06 J

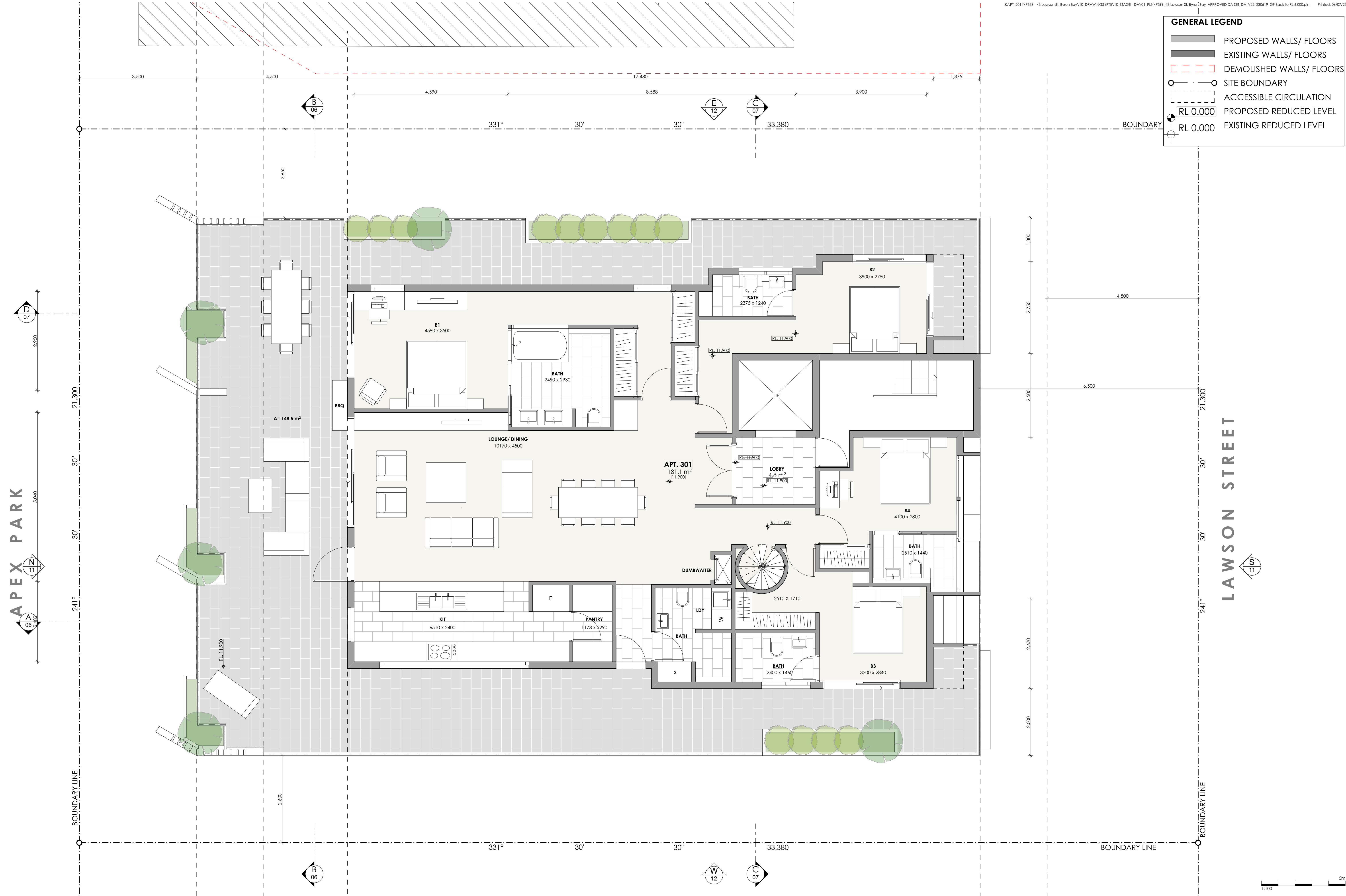
stage. chg no. revision



Main Office: Level 2, 88 Sophia Street, Surry Hills NSW 2010
 Parramatta Office: Level 9A, 3 Parramatta Square, 153 Macquarie St, NSW 2150
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 Nominated Registered Architect, Peter Israel (reg no 5064)
 ABN 90 050 071 022

GENERAL LEGEND

- PROPOSED WALLS/ FLOORS
- EXISTING WALLS/ FLOORS
- DEMOLISHED WALLS/ FLOORS
- SITE BOUNDARY
- ACCESSIBLE CIRCULATION
- PROPOSED REDUCED LEVEL
- EXISTING REDUCED LEVEL



NOTE

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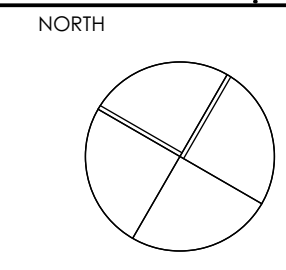
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REV	DESCRIPTION	BY	CHK	DATE	REV	DESCRIPTION	BY	CHK	DATE
DP	PI	18.05.23							

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MP GROUP
 43 LAWSON ST
 BYRON BAY

PROJECT
RESIDENTIAL DEVELOPMENT

DRAWING
SECOND FLOOR PLAN






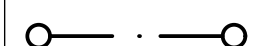
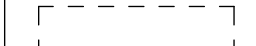


DRAWN	BH
CHECKED	PI
SCALE	1:50 @ A1
PROJECT No	P339

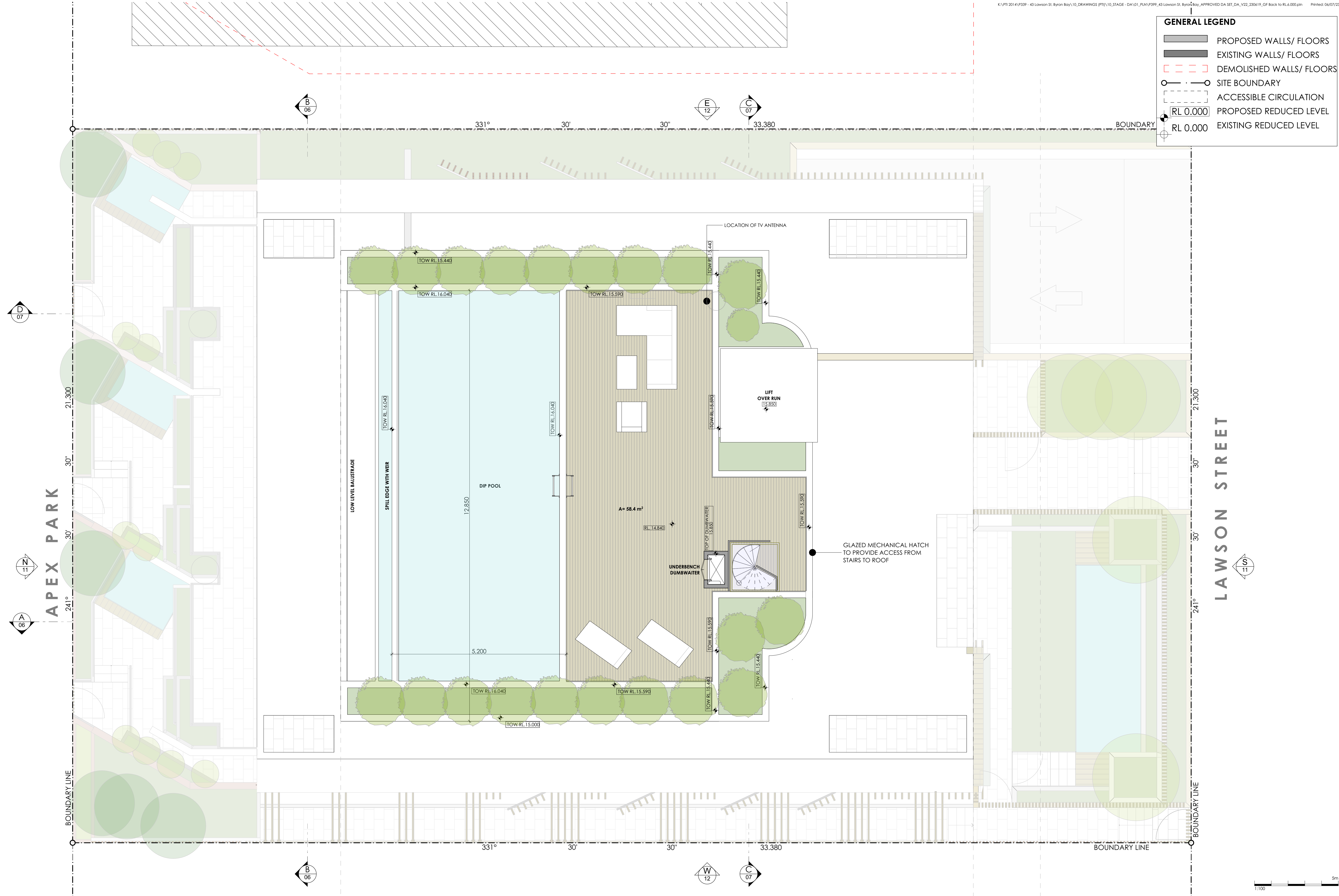
DA 07 N
 stage. chg no. revision



Main Office: Level 2, 88 Sophia Street, Surry Hills NSW 2010
 Parramatta Office: Level 9A, 3 Parramatta Square, 153 Macquarie St, NSW 2150
 +61 2 9233 0880 | www.ptarchitecture.com.au
 Nominated Registered Architect: Peter Israel (reg no 5064)
 A/N: 90 050 071 022

GENERAL LEGEND

-  PROPOSED WALLS/ FLOORS
-  EXISTING WALLS/ FLOORS
-  DEMOLISHED WALLS/ FLOORS
-  SITE BOUNDARY
-  ACCESSIBLE CIRCULATION
-  [RL 0.000] PROPOSED REDUCED LEVEL
-  [RL 0.000] EXISTING REDUCED LEVEL



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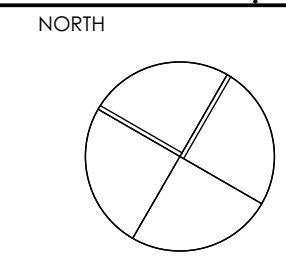
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REV	DESCRIPTION	DP	PI	22.05.23	BY	CHK	DATE	REV	DESCRIPTION	BY	CHK	DATE

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 BYRON BAY

PROJECT
RESIDENTIAL DEVELOPMENT

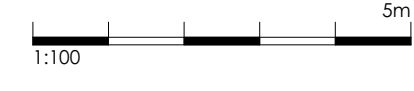
DRAWING
ROOF PLAN

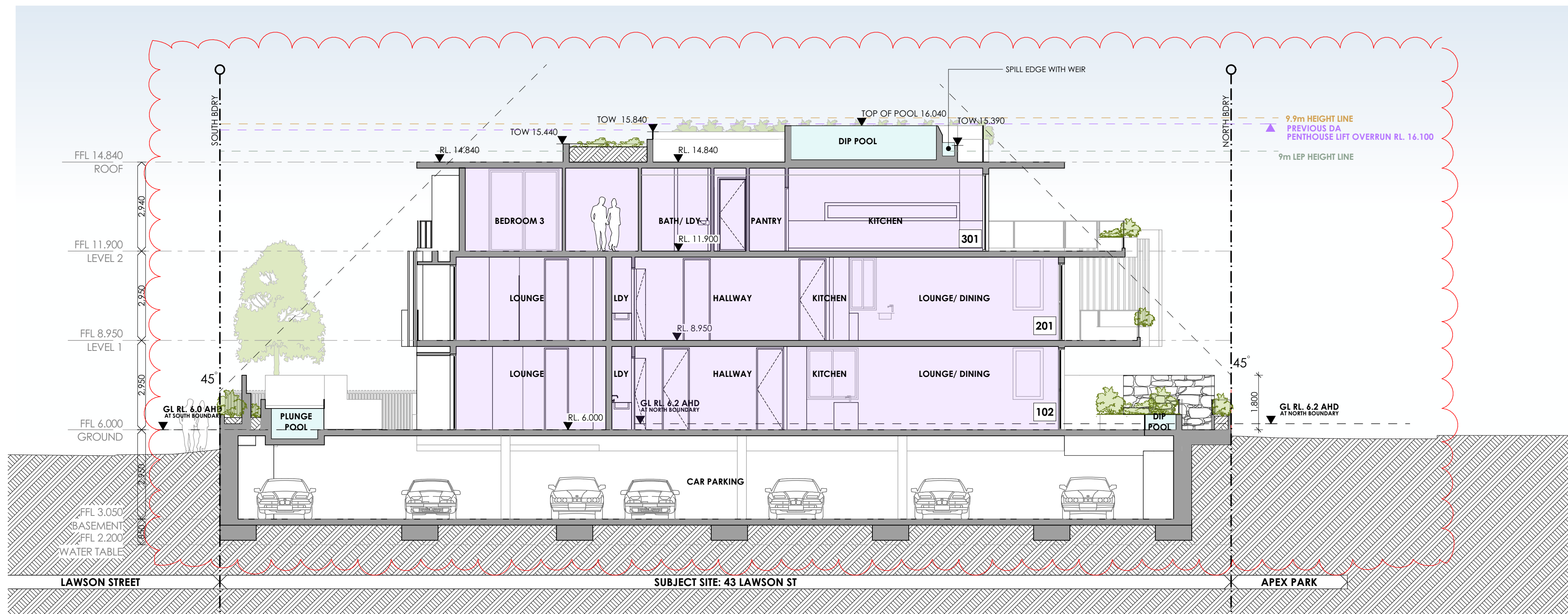


DRAWN	BH
CHECKED	PI
SCALE	1:50 @ A1
PROJECT No	P339
stage	DA
chg no.	08
revision	0

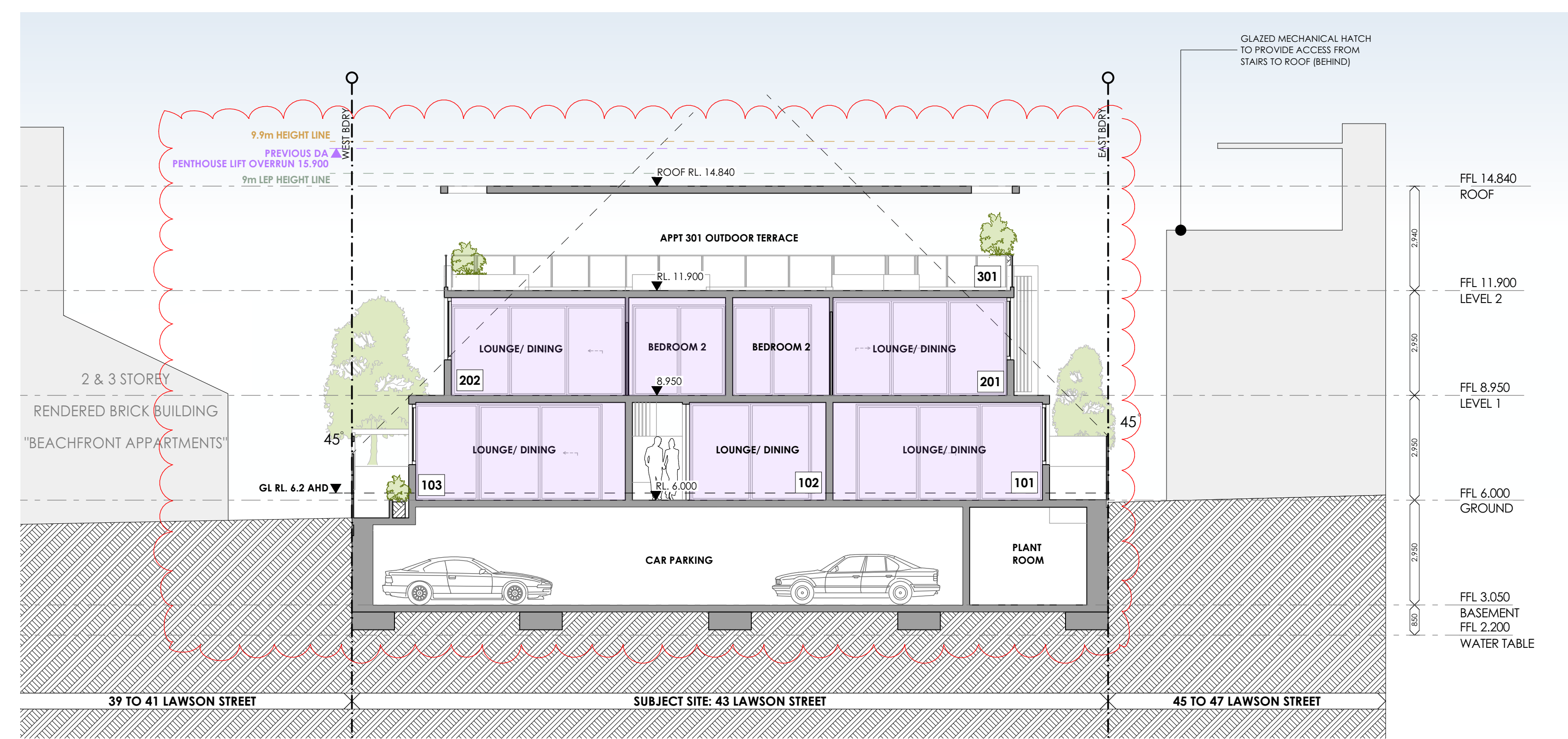
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Main Office: Level 2, 88 Sophia Street, Surry Hills NSW 2010
 Parramatta Office: Level 9A, 3 Parramatta Square, 153 Macquarie St, NSW 2150
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 Nominated Registered Architect: Peter Israel (reg no 5064)
 A/N: 90 050 071 022





1 A SECTION
1:100



2 B SECTION
1:100

REVISED RL LEVELS, AS AMENDED ON INSTRUCTIONS FROM NORTH POINT PLANNING

GENERAL LEGEND

- PROPOSED WALLS/ FLOORS
- EXISTING WALLS/ FLOORS
- DEMOLISHED WALLS/ FLOORS
- SITE BOUNDARY
- ACCESSIBLE CIRCULATION
- PROPOSED REDUCED LEVEL
- EXISTING REDUCED LEVEL

1:100 5m



Main Office: Level 2, 68 Sophia Street, Surry Hills NSW 2010
 Parramatta Office: Level 9A, 3 Parramatta Square, 153 Macquarie St, NSW 2150
 +61 2 9328 0880 | www.ptarchitecture.com.au
 Nominated Registered Architect: Peter Israel (reg no 5594)
 ABN 90 050 071 022

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REV	DESCRIPTION	BY	CHK	DATE	REV	DESCRIPTION	BY	CHK	DATE
1	ISSUE FOR HEIGHT REVIEW SUBMISSION	DP	PI	06.07.23					
2	REVISED RL LEVELS, AS AMENDED ON INSTRUCTIONS FROM NORTH POINT PLANNING	DP	PI	21.06.23					

CLIENT
MP GROUP
 43 LAWSON ST
 BYRON BAY

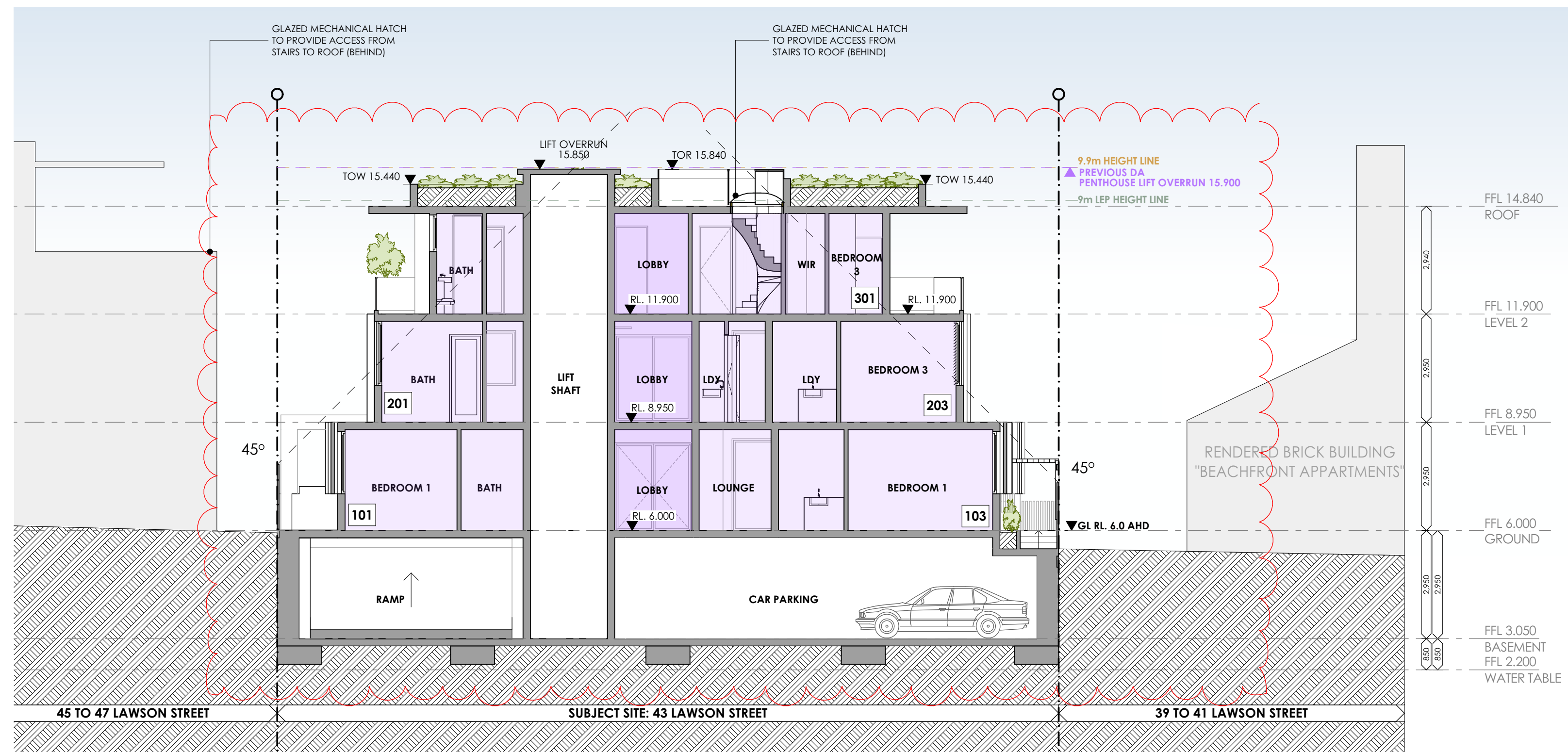
PROJECT
RESIDENTIAL DEVELOPMENT

DRAWING
SECTIONS A + SECTIONS B

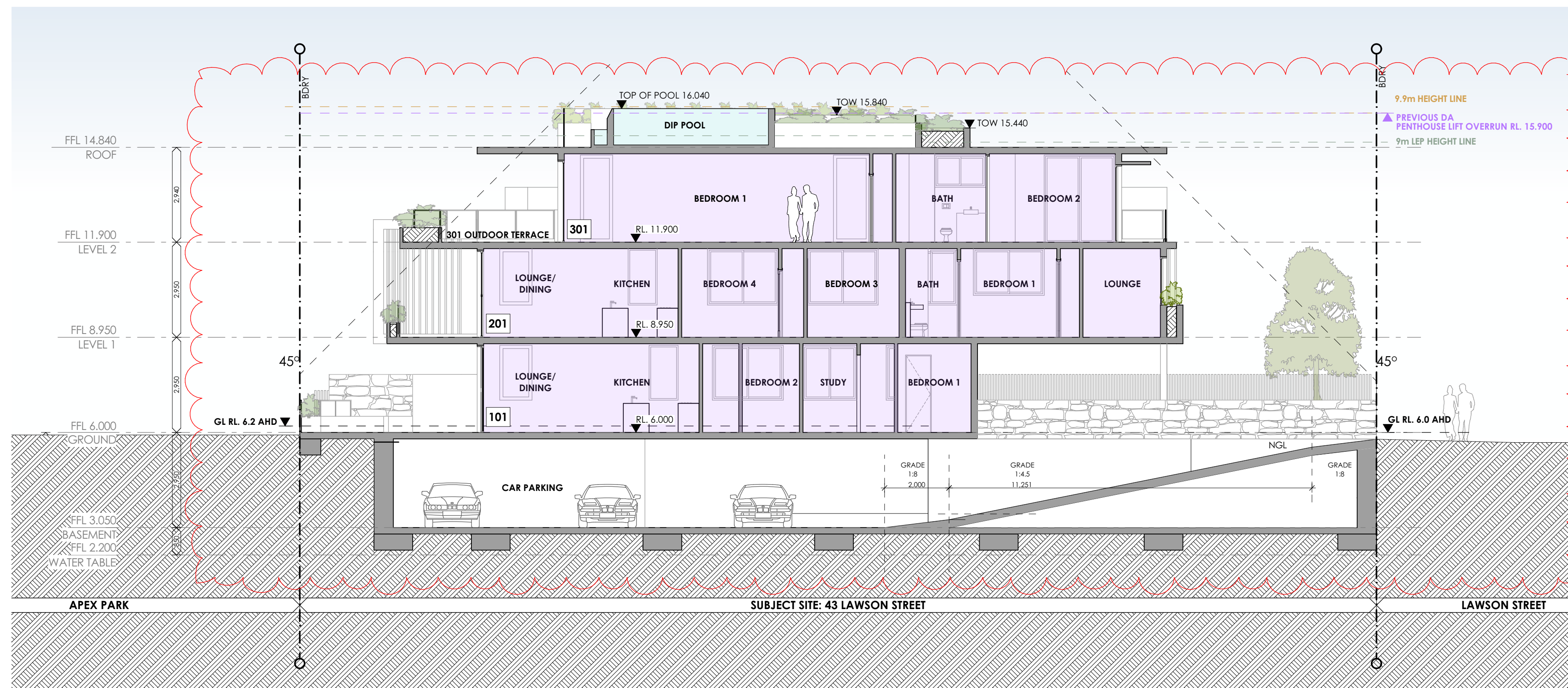
NORTH

DRAWN BH
 CHECKED PI
 SCALE 1:100 @ A1
 PROJECT No P339

DA 09 J
 stage. chg no. revision



1 C SECTION
1:100



2 D SECTION
1:100

REVISED RL LEVELS, AS AMENDED ON INSTRUCTIONS FROM NORTH POINT PLANNING

GENERAL LEGEND

- PROPOSED WALLS/ FLOORS
- EXISTING WALLS/ FLOORS
- DEMOLISHED WALLS/ FLOORS
- SITE BOUNDARY
- ACCESSIBLE CIRCULATION
- PROPOSED REDUCED LEVEL
- EXISTING REDUCED LEVEL



Main Office: Level 2, 68 Sophia Street, Surry Hills NSW 2010
 Parramatta Office: Level 16, 3 Parramatta Square, 153 Macquarie St, NSW 2150
 +61 2 9328 0880 | www.ptarchitecture.com.au
 Nominated Registered Architect: Peter Israel (reg no 5094)
 ABN 90 050 071 022

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REV	DESCRIPTION	BY	CHK	DATE	REV	DESCRIPTION	BY	CHK	DATE
1	ISSUE FOR HEIGHT REVIEW SUBMISSION	DP	PI	06.07.23					
2	REVISED RL LEVELS, AS AMENDED ON INSTRUCTIONS FROM NORTH POINT PLANNING	DP	PI	21.06.23					

CLIENT
MP GROUP
 43 LAWSON ST
 BYRON BAY

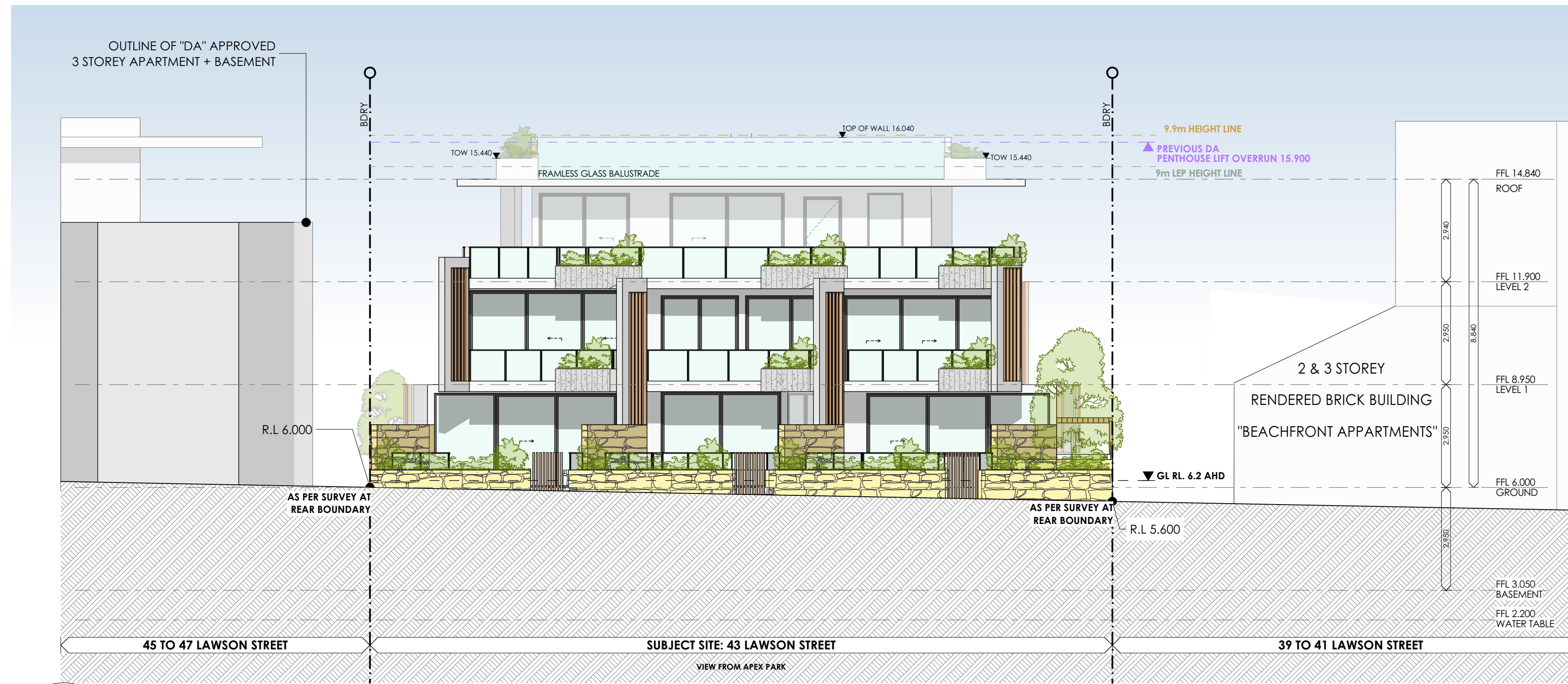
PROJECT
RESIDENTIAL DEVELOPMENT

DRAWING
SECTION C +SECTION D

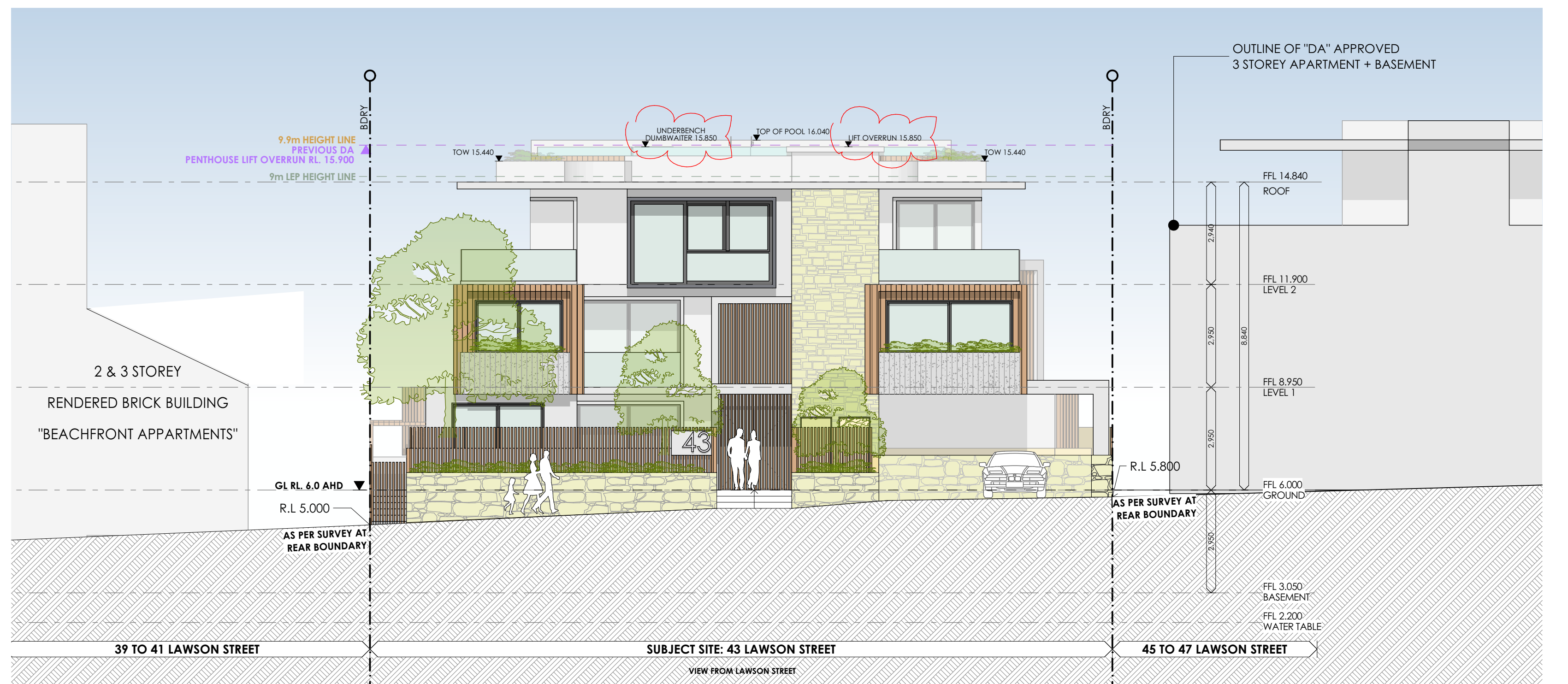
NORTH

DRAWN BH
 CHECKED PI
 SCALE 1:100 @ A1
 PROJECT No P339

DA 10 J
 stage. chg no. revision



1 NORTHERN ELEVATION
1:100



2 SOUTHERN ELEVATION
1:100

REVISED RL LEVELS, AS AMENDED ON INSTRUCTIONS FROM NORTH POINT PLANNING



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 Parramatta Office: Level 9A, 3 Parramatta Square, 153 Macquarie St, NSW 2150
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 Nominated Registered Architect: Peter Israel (reg no 5064)
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REV	DESCRIPTION	BY	CHK	DATE	REV	DESCRIPTION	BY	CHK	DATE
K2	ISSUE FOR HEIGHT REVIEW SUBMISSION	DP	PI	06.07.23					
K1	REVISED RL LEVELS AS AMENDED ON INSTRUCTIONS FROM NORTH POINT PLANNING	DP	PI	21.06.23					

CLIENT
MP GROUP
 43 LAWSON ST
 BYRON BAY

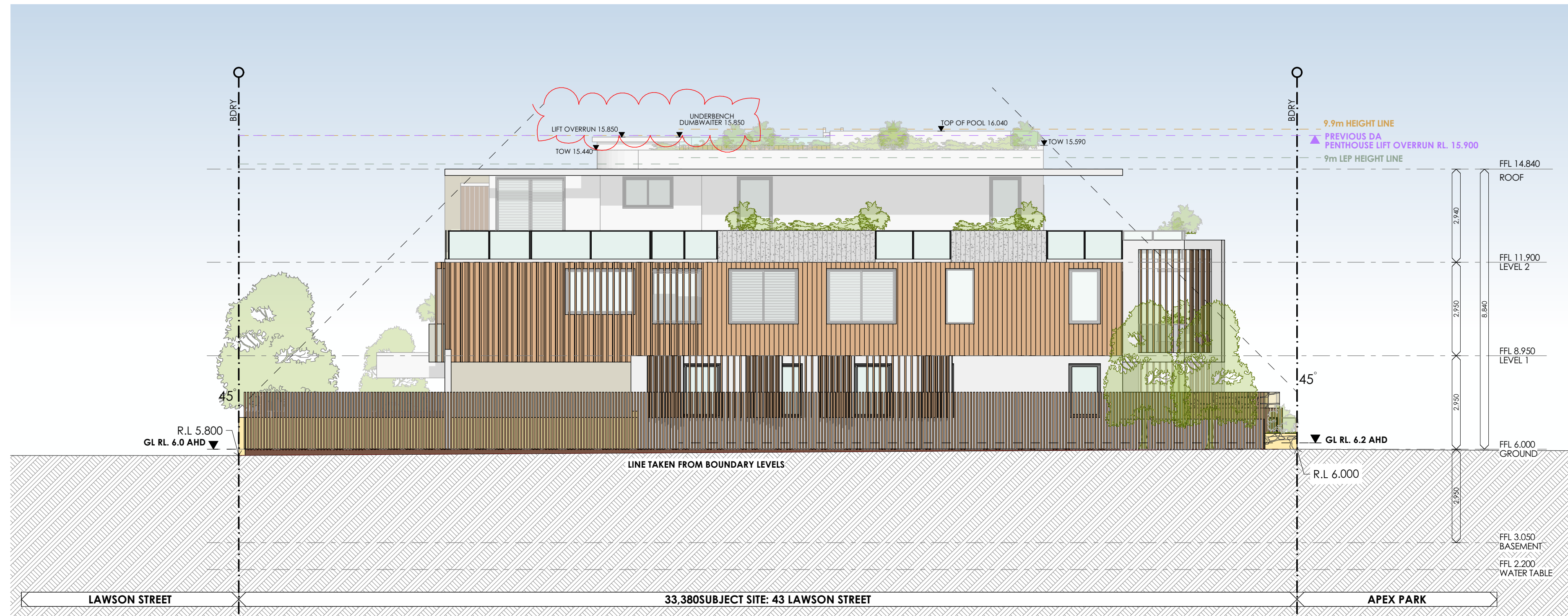
PROJECT
RESIDENTIAL DEVELOPMENT

DRAWING
ELEVATIONS N & S

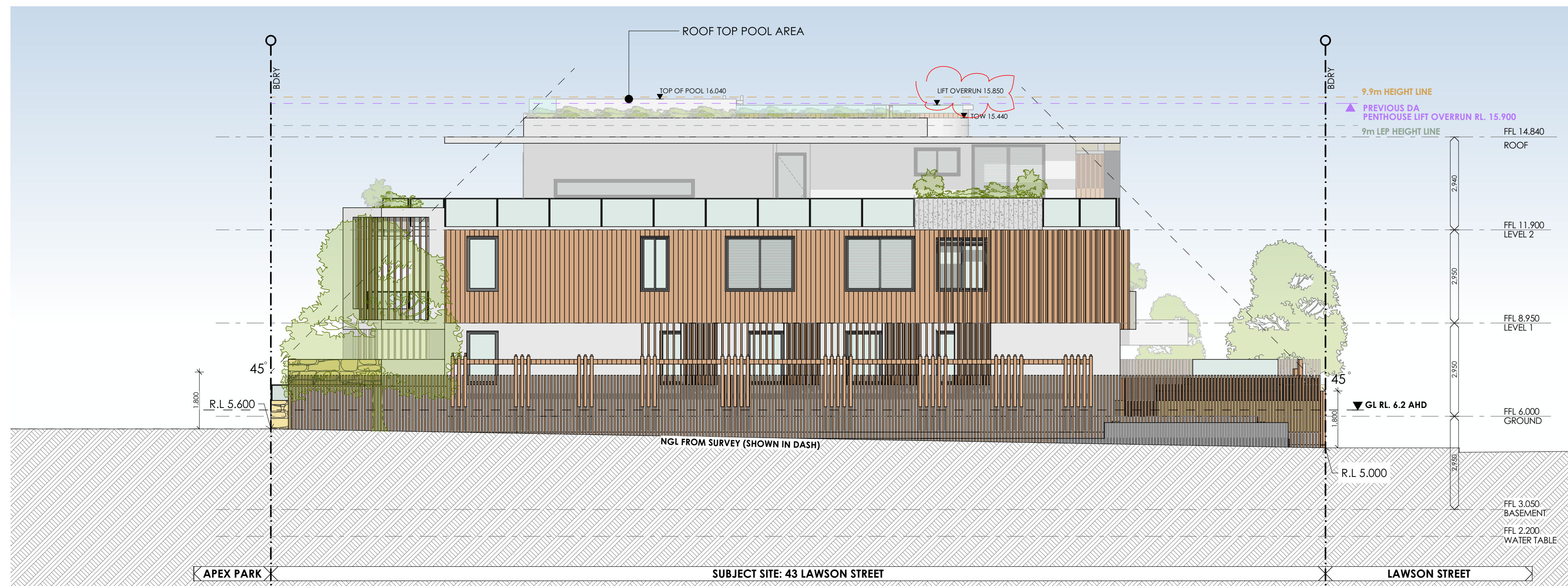
NORTH



DRAWN	BH
CHECKED	PI
SCALE	1:100 @ A1
PROJECT No	P339
DA	11
stage	chg no.
K2	revision



1 EASTERN ELEVATION
1:100



2 WESTERN ELEVATION
1:100

REVISED RL LEVELS, AS AMENDED ON INSTRUCTIONS FROM NORTH POINT PLANNING



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 Parramatta Office: Level 9A, 3 Parramatta Square, 153 Macquarie St, NSW 2150
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REV	DESCRIPTION	BY	CHK	DATE	REV	DESCRIPTION	BY	CHK	DATE
K2	ISSUE FOR HEIGHT REVIEW SUBMISSION	DP	PI	06.07.23					
K1	REVISED RL LEVELS, AS AMENDED ON INSTRUCTIONS FROM NORTH POINT PLANNING	DP	PI	21.06.23					

CLIENT
MP GROUP
 43 LAWSON ST
 BYRON BAY

PROJECT
RESIDENTIAL DEVELOPMENT

DRAWING
ELEVATIONS E & W

NORTH

DRAWN BH
 CHECKED PI
 SCALE 1:100 @ A1
 PROJECT No P339

DA 12 K2
 stage. chg no. revision

GFA CALCULATION (sqm)

USE	RESIDENTIAL
GROUND FLOOR	309
LEVEL 1	305
LEVEL 2	187
ROOF TOP	-
GFA (sqm)	801

FSR CALCULATION

DESCRIPTION	
SITE AREA (sqm)	660
PROPOSED RESIDENTIAL FSR	1.2 : 1
TOTAL FSR	1.2 : 1

1 GFA CALCULATIONS

UNIT NO.	UNIT	PRIVATE OPEN SPACE	TOTAL
101	140	23	163
102	52	26	78
103	92	50	142

UNIT	BALCONY	TOTAL
------	---------	-------

201	128	17	145
202	150	21	171
301	181	149	330

2 UNIT CALCULATIONS



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 Parramatta Office: Level 9A, 3 Parramatta Square, 153 Macquarie St, NSW 2150
 +61 2 9328 0880 | www.ptiarchitecture.com.au
 Nominated Registered Architect: Peter Israel (reg no 5364)
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REV	DESCRIPTION	BY	CHK	DATE	REV
A	ISSUE FOR HEIGHT REVIEW SUBMISSION	DP	PI	06.07.23	

DESCRIPTION BY CHK DATE

CLIENT
MP GROUP
43 LAWSON ST
BYRON BAY

PROJECT
RESIDENTIAL DEVELOPMENT
 DRAWING
AREA CALCULATIONS

NORTH

DRAWN BH
 CHECKED PI
 SCALE @ A1
 PROJECT No P339

DA 13 A
 stage. chg no. revision



1 LAWSON STREET PERSPECTIVE
TAKEN 28m FROM BOUNDARY



2 LAWSON STREET PERSPECTIVE
TAKEN 26m FROM BOUNDARY



3 APEX PARK PERSPECTIVE
TAKEN 24m FROM BOUNDARY



4 APEX PARK PERSPECTIVE
TAKEN 23m FROM BOUNDARY

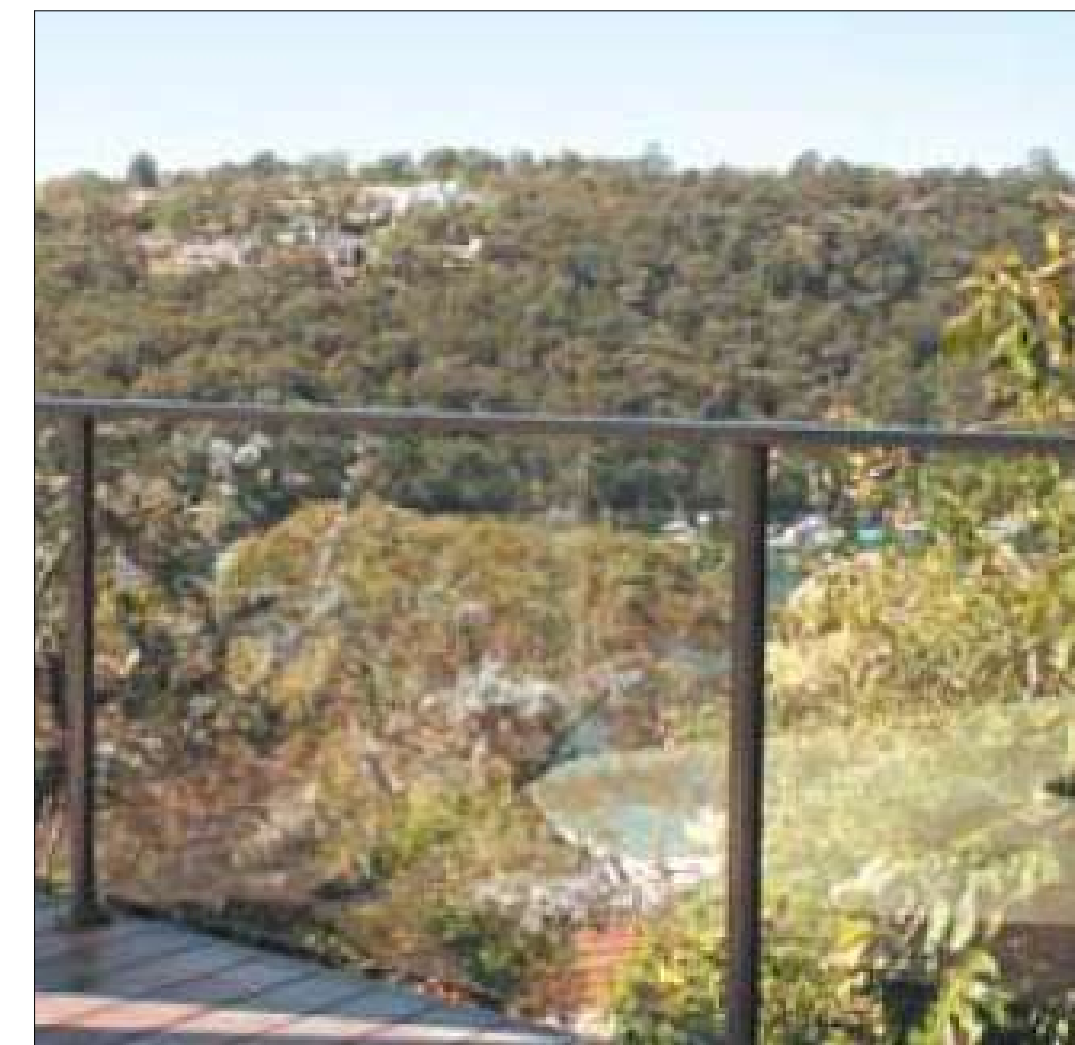
EXTERNAL MATERIAL & FINISHES



PLANTER BOXES & STREET BALUSTRADES
CONCRETE - TIMBER PROFILE FINISH



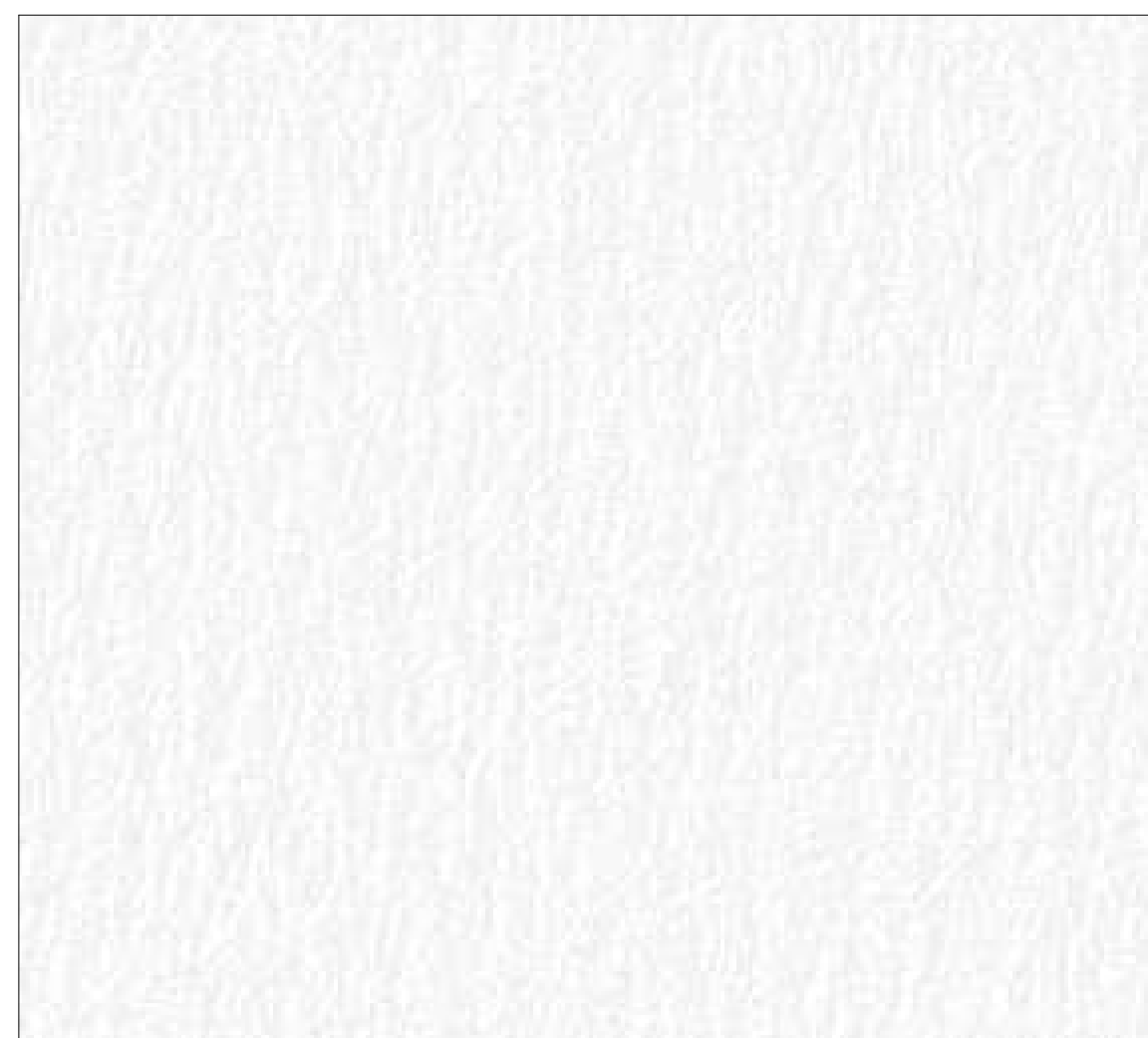
STREET FEATURE WALL
STONE 1 - STACKED



MAIN BALUSTRADE -
ALUMINIUM POWER COATED
BALUSTRADE FRAMES & MATCHING
WINDOW AND DOOR FRAMES



TIMBER LOOK WALL



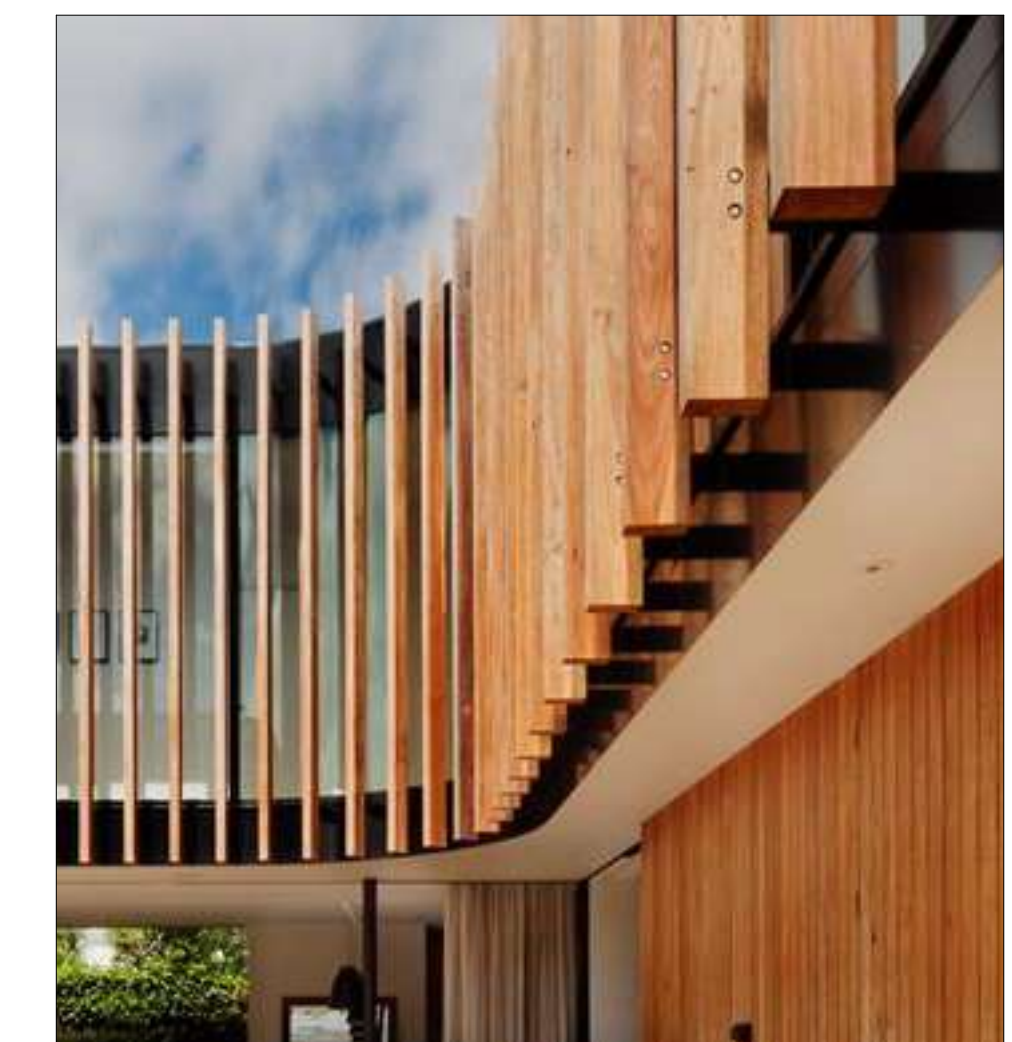
EXTERNAL WALL FINISH -
WHITE



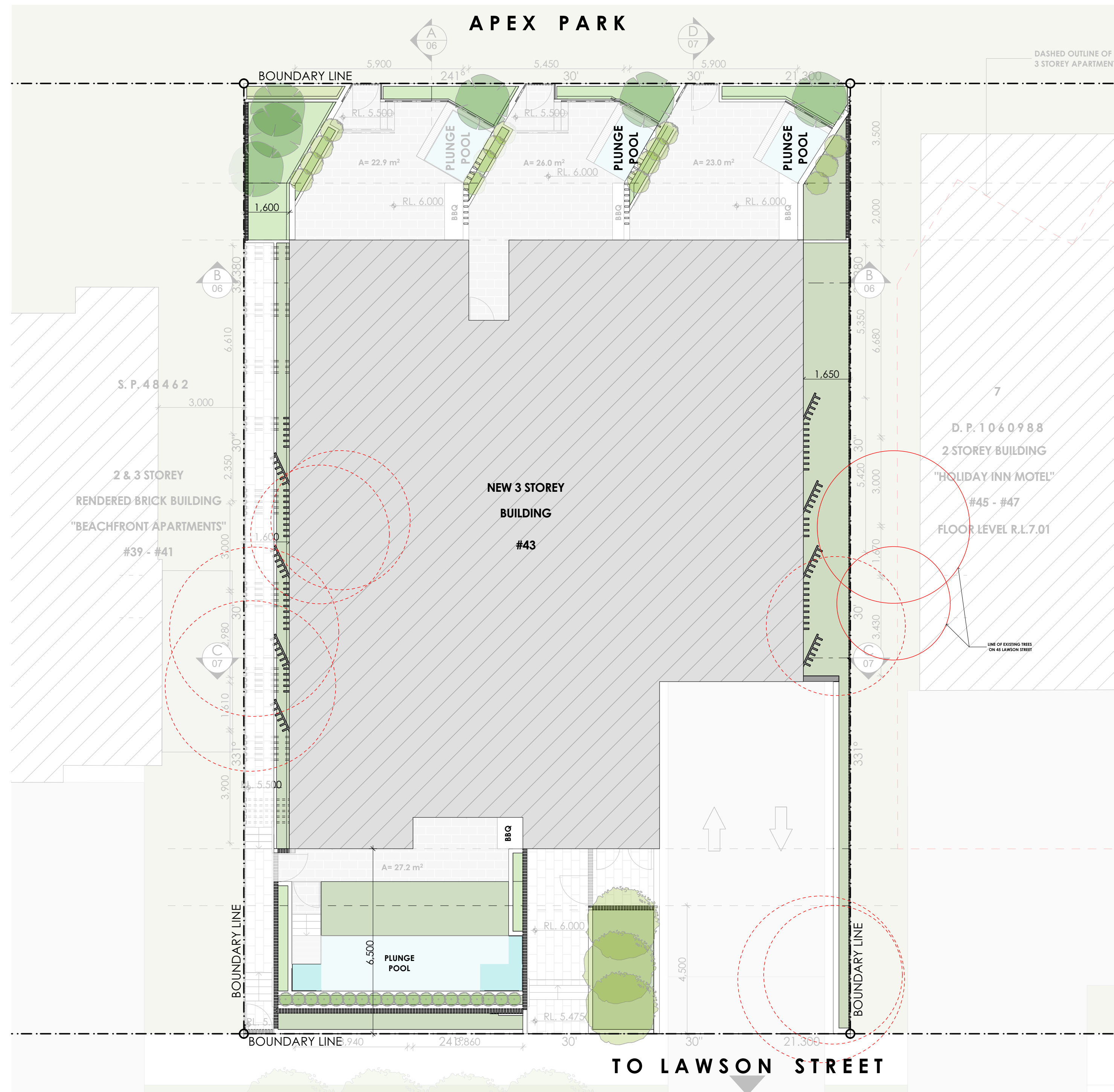
LOW LEVEL STREET PLANTER WALLS
STONE 2- STACKED



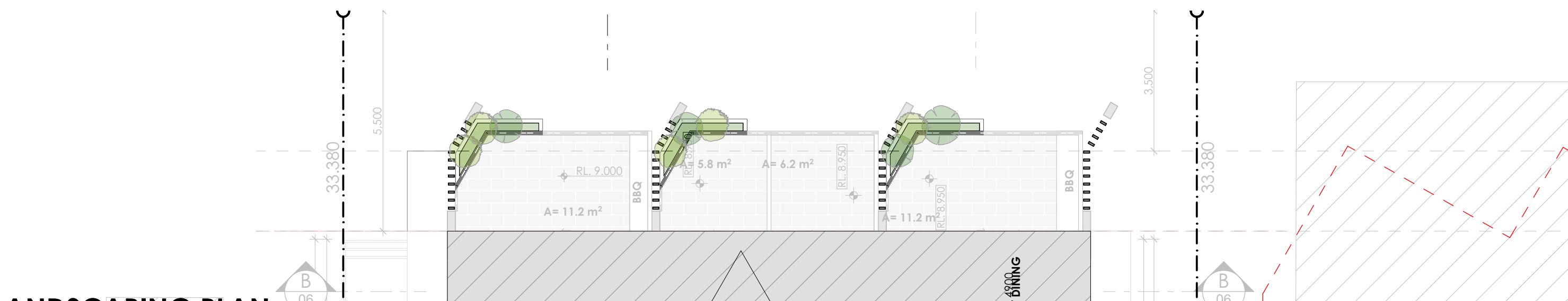
LAWSON STREET BALUSTRADE -
FRAMELESS GLASS BALUSTRADE



TIMBER LOOK WALL -
EXPRESSED TIMBER FEATURE



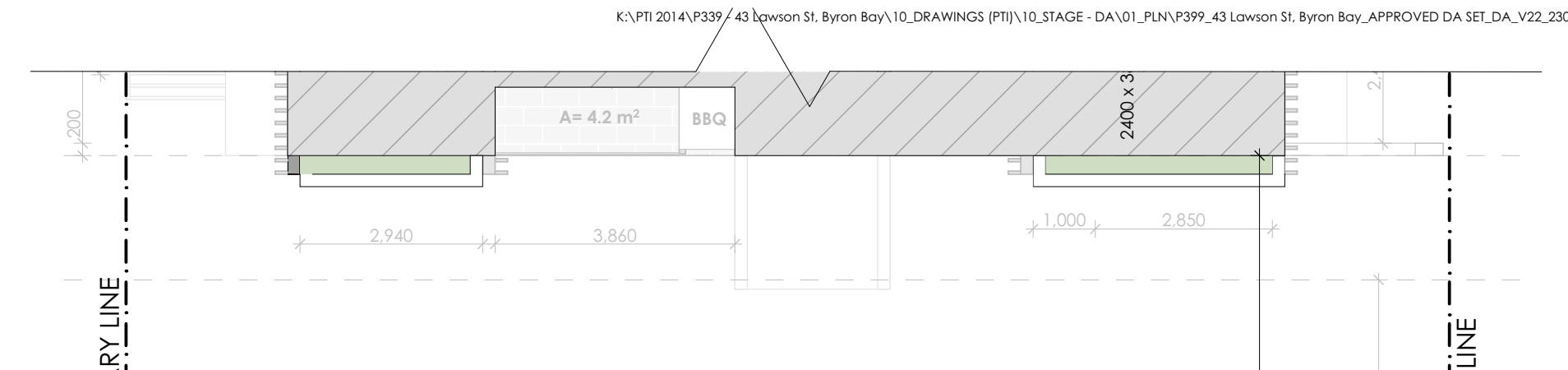
1 GROUND FLOOR
1:100



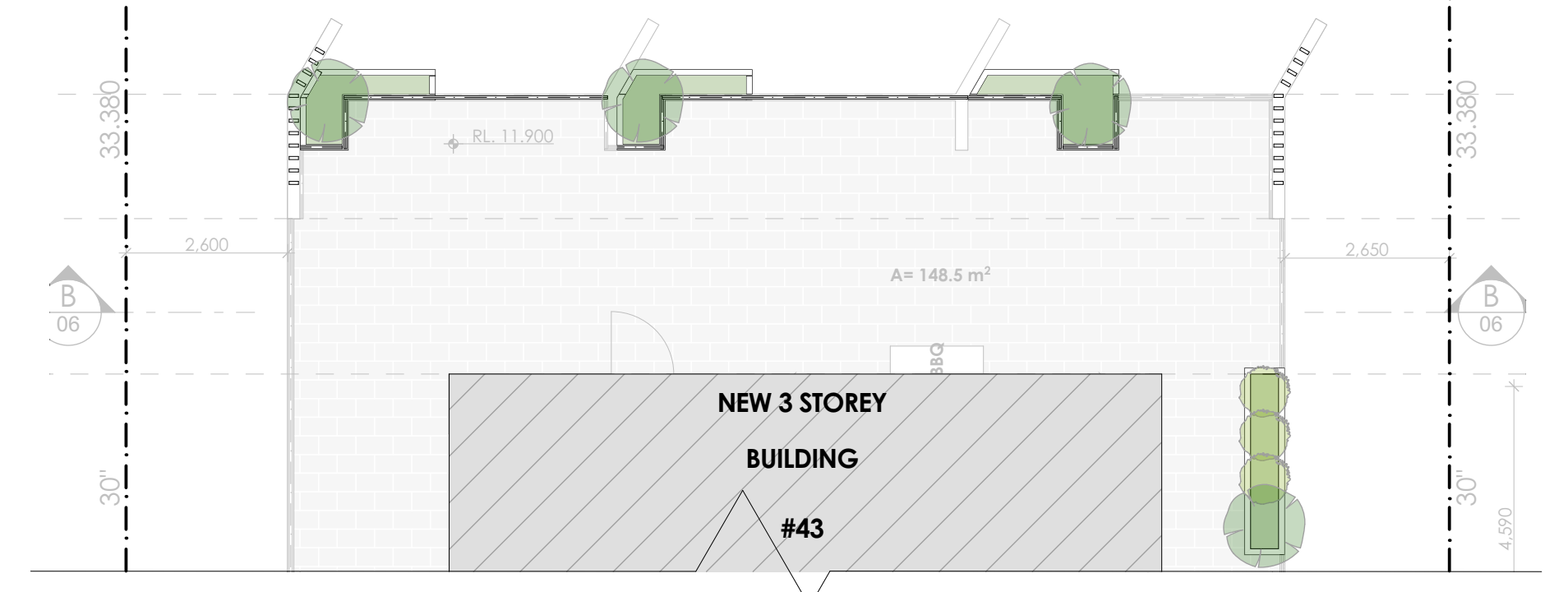
LANDSCAPING PLAN

- new landscaping as highlighted in green on this plan
- dashed line of trees to be removed - refer to survey for details

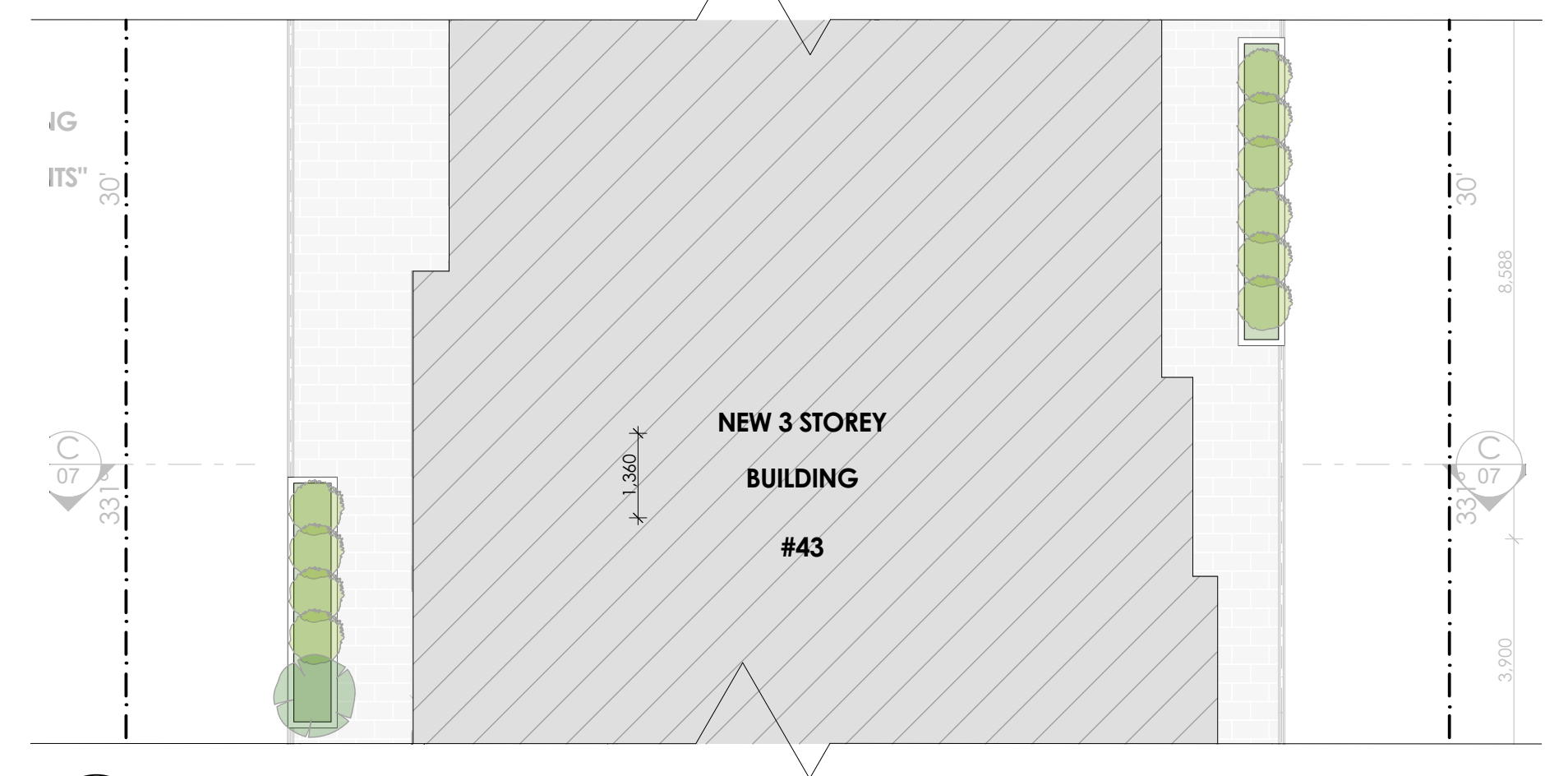
2 LEVEL 1
1:100



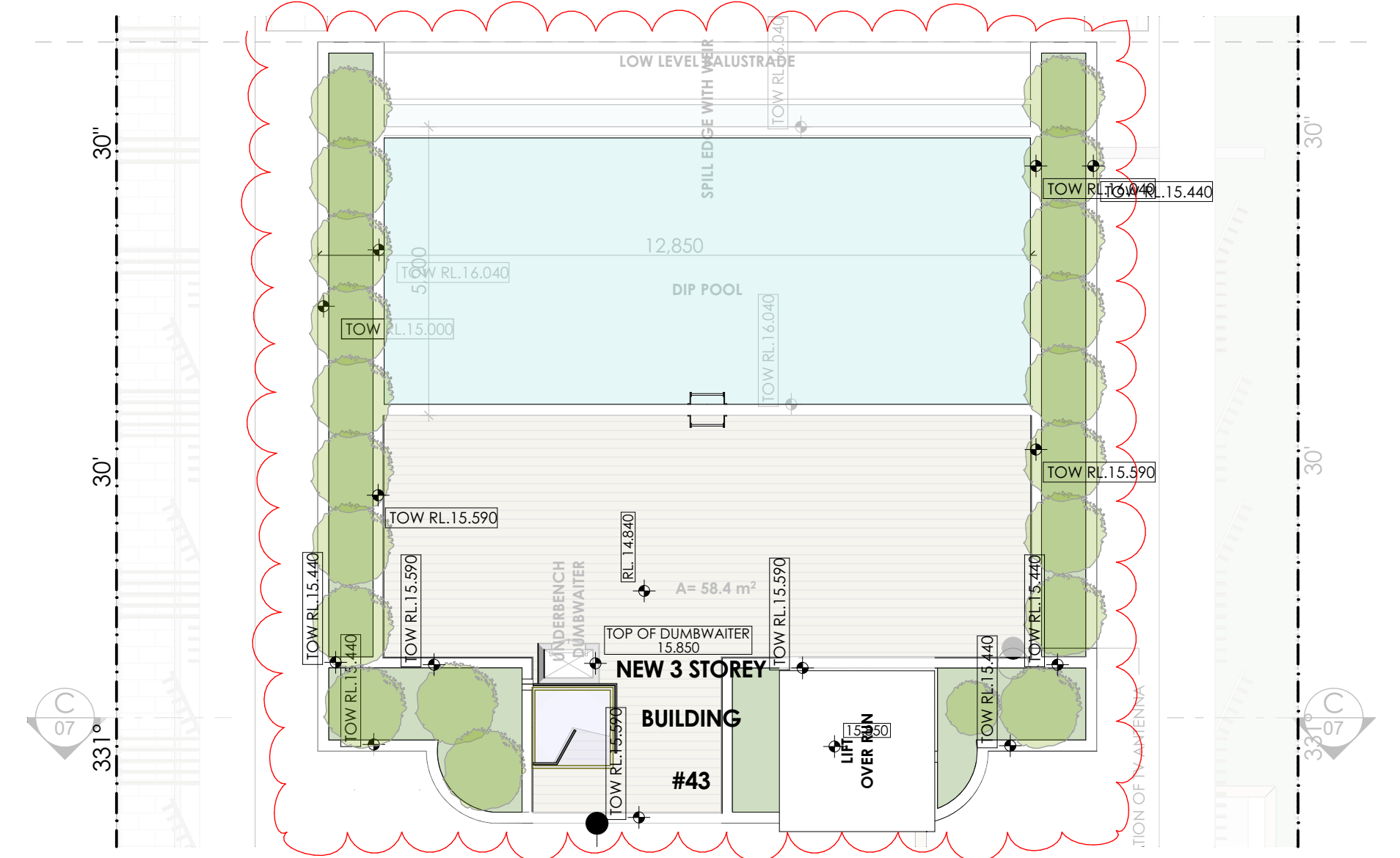
3 LEVEL 1
1:100



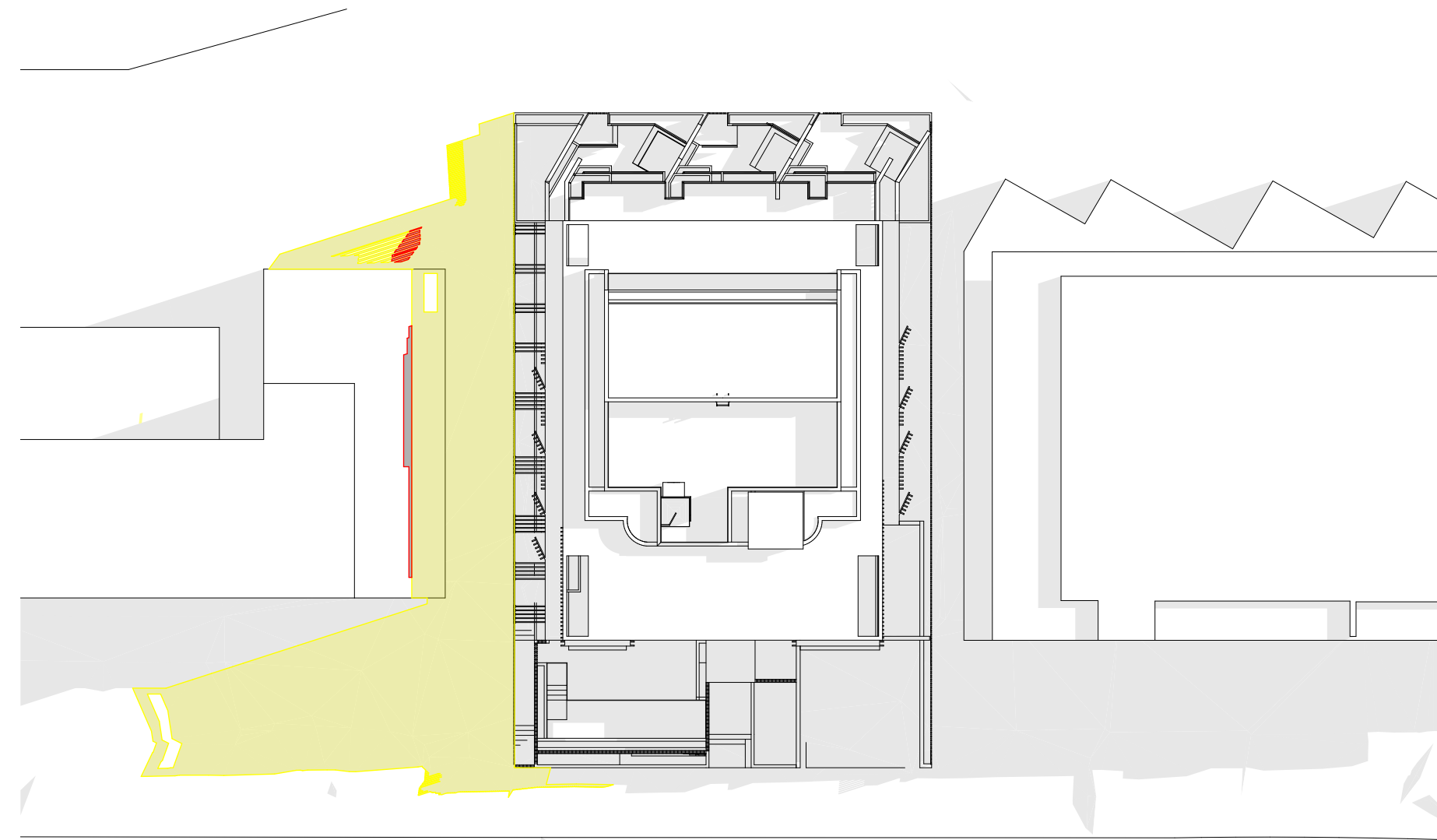
4 LEVEL 2
1:100



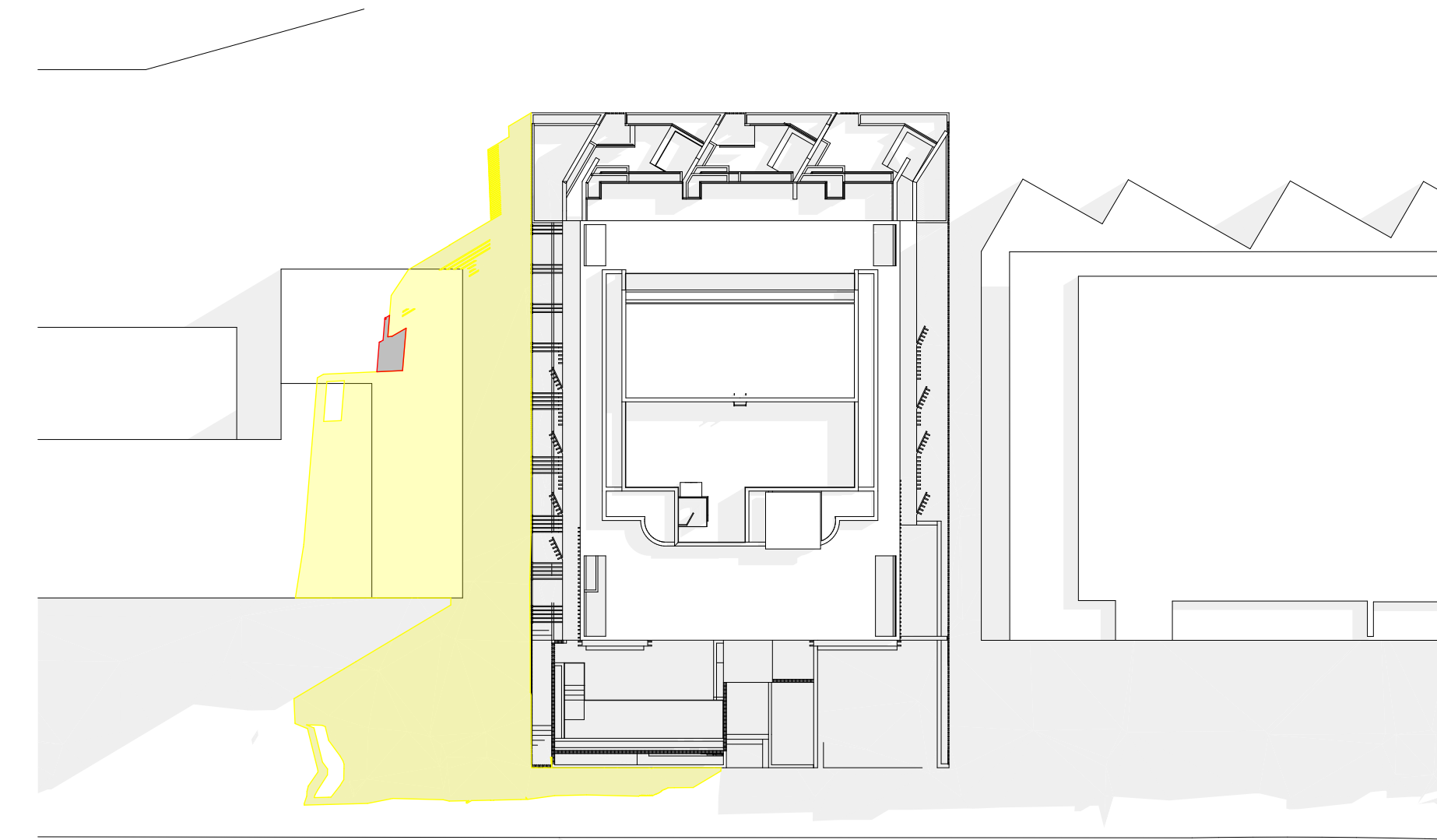
5 LEVEL 2
1:100



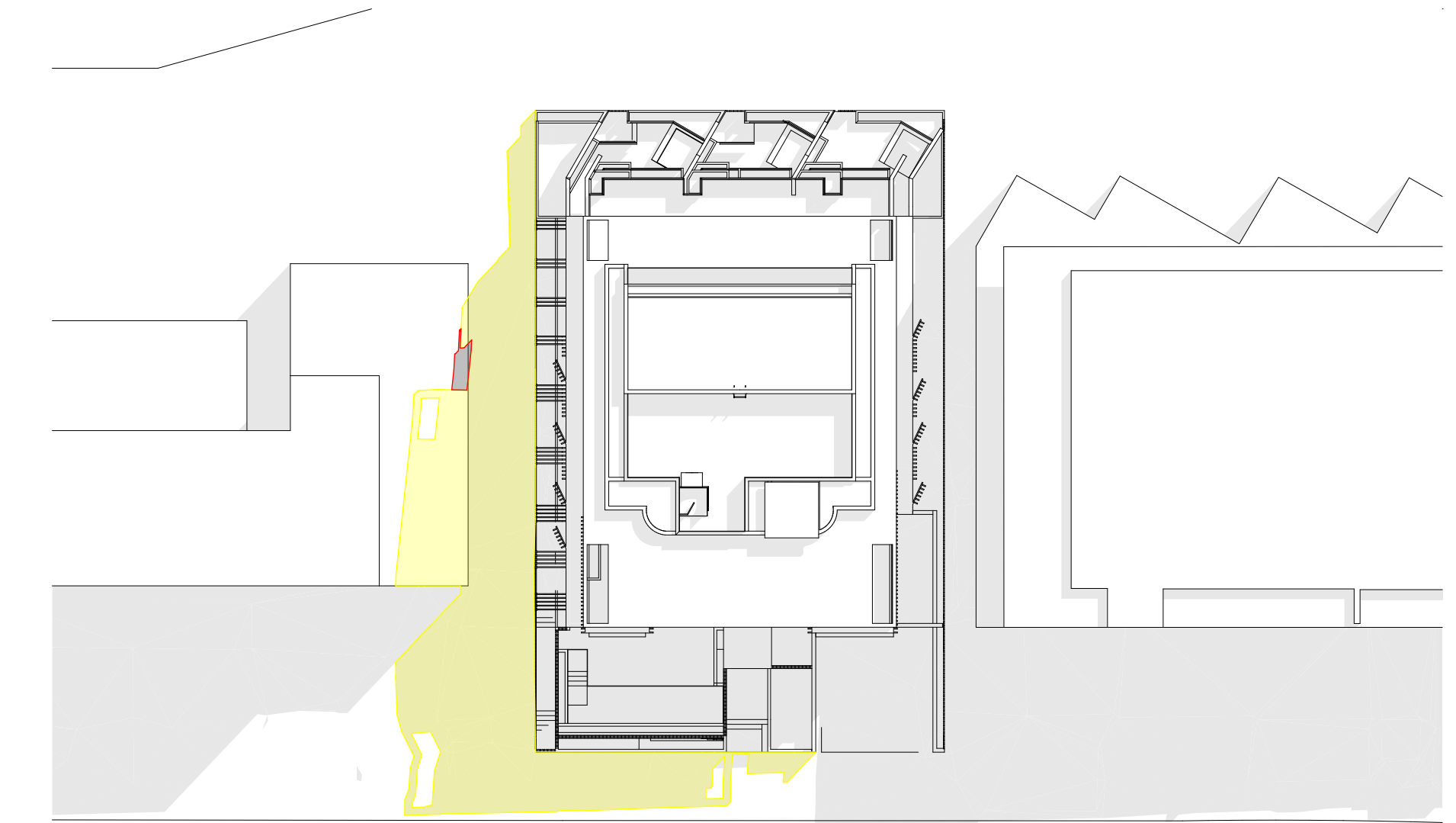
6 ROOF PLAN
1:100



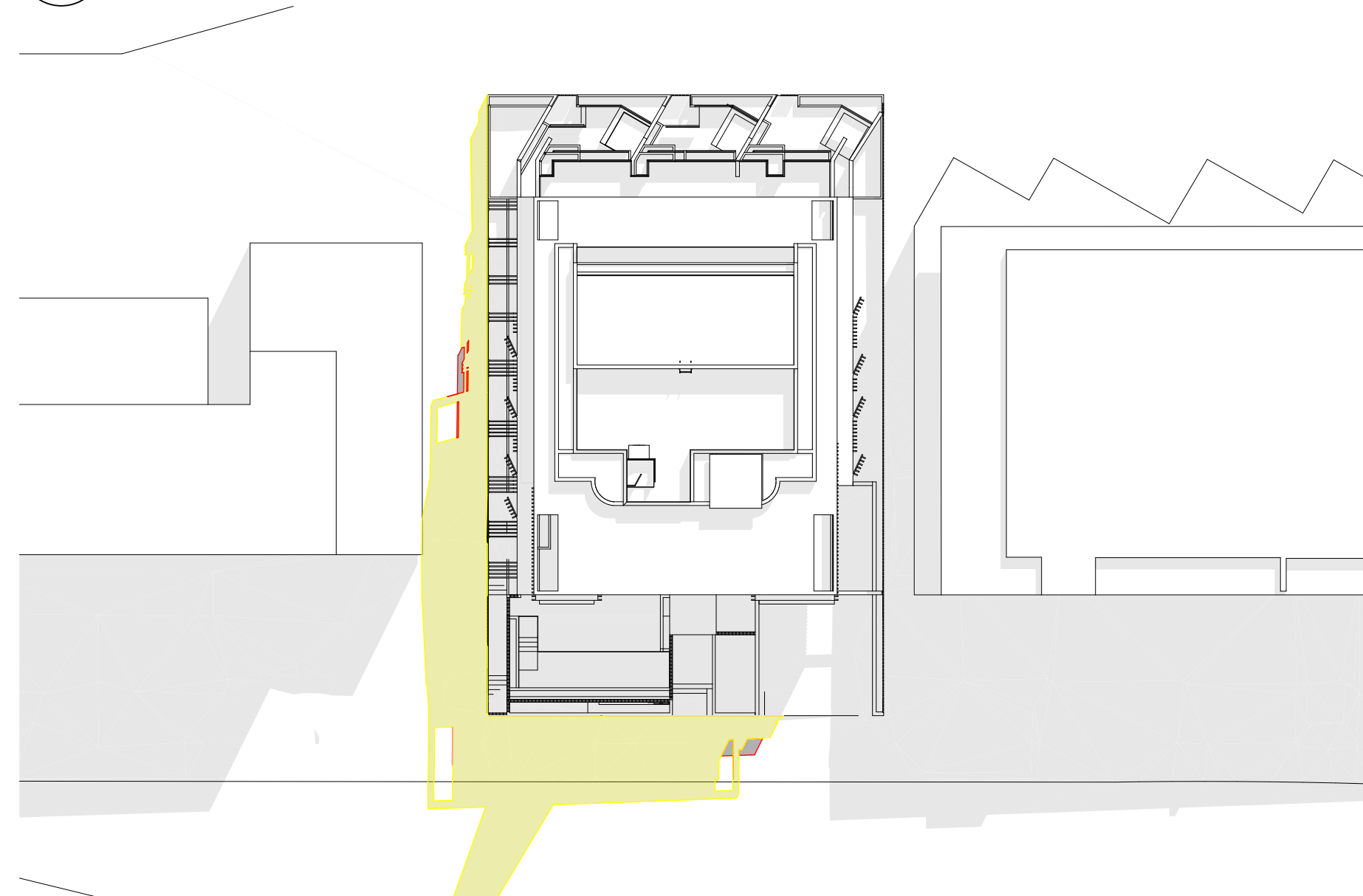
1 9am Sun Shadows
1:300



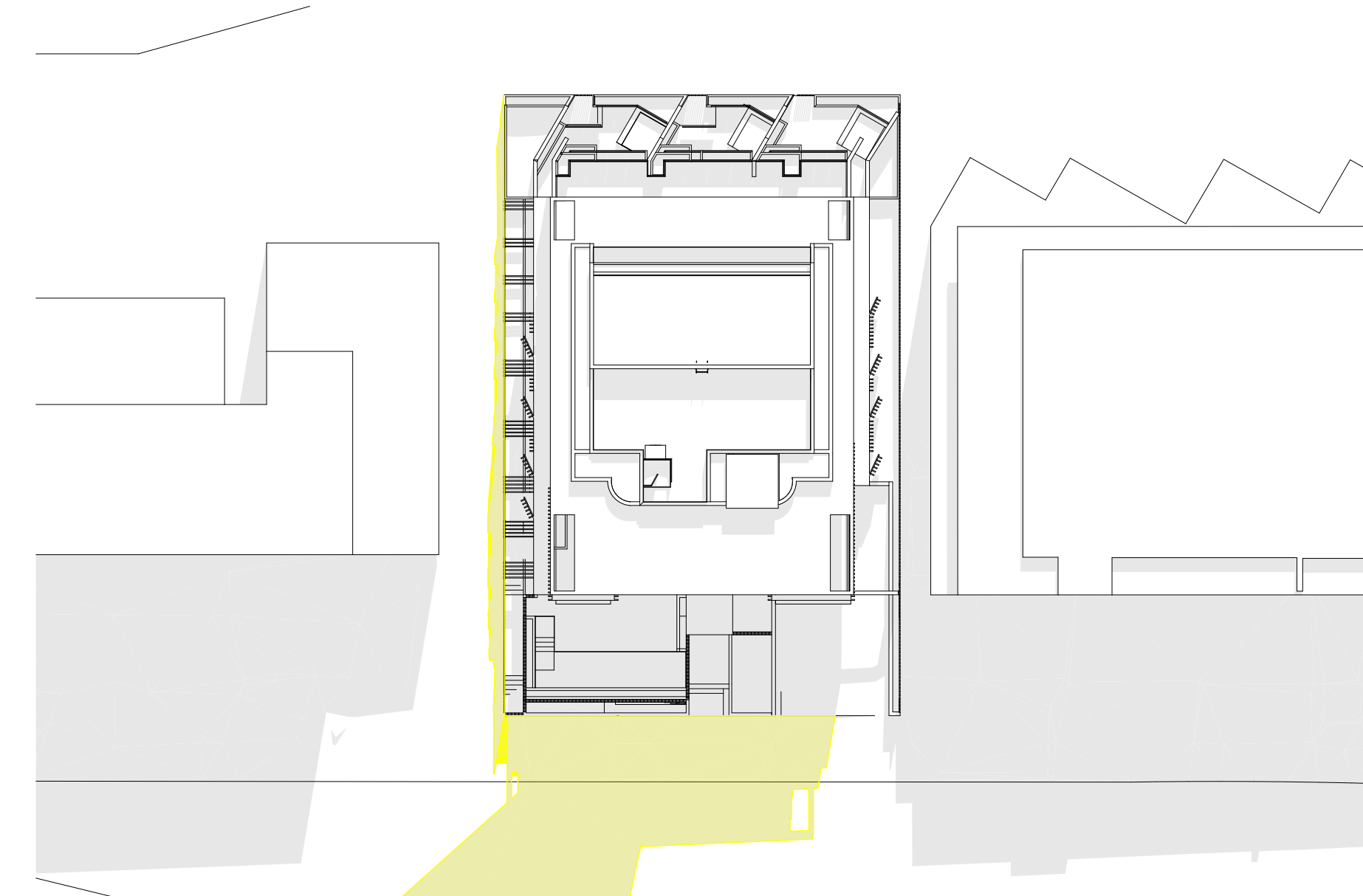
2 10am Sun Shadows
1:300



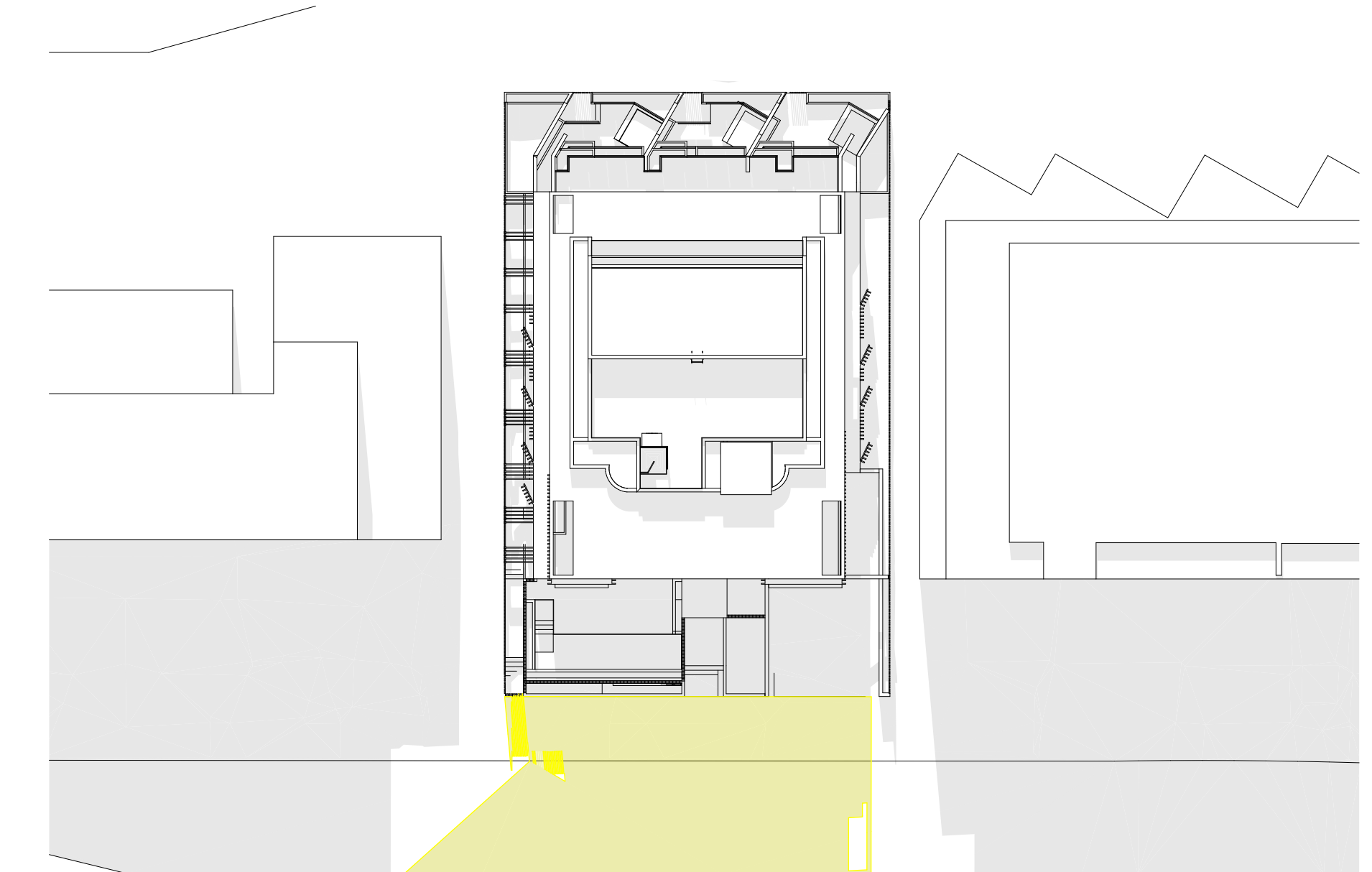
3 11am Sun Shadows
1:300



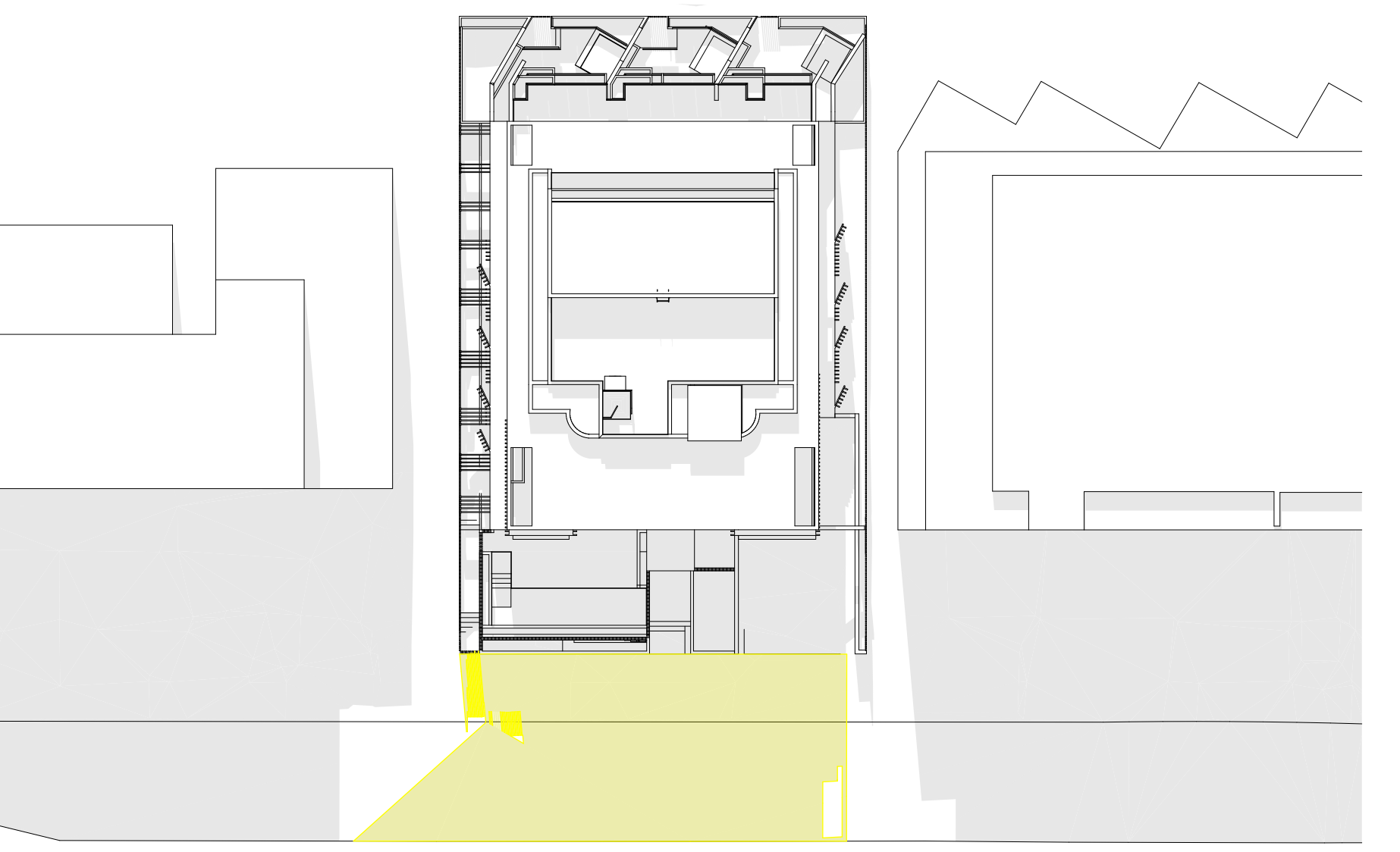
4 12pm Sun Shadows
1:300



5 1pm Sun Shadows
1:300



6 2pm Sun Shadows
1:300



7 2pm Sun Shadows
1:300

SHADOW IMPACT LEGEND

- EXISTING SHADOWS
- SHADOW CAST BY APPROVED BUILDING
- ADDITIONAL SHADOW CAST BY PROPOSED ROOF TOP

NOTE
 1. Contractors to verify all dimensions on site before any shop drawings or work is commenced.
 2. Figured dimensions to be taken in preference to scaled chgvs.
 3. This drawing is to be read in conjunction with the specification and engineers drawings.

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REV	DESCRIPTION	BY	CHK	DATE	REV	DESCRIPTION	BY	CHK	DATE
	REVISED RL LEVELS AS AMENDED ON INSTRUCTIONS FROM NORTH POINT PLANNING	DP	PI	21.06.23					

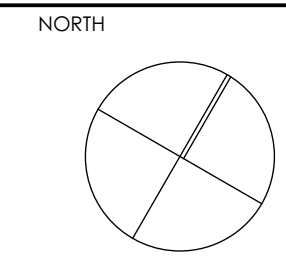


Main Office: Level 2, 68 Sophia Street, Surry Hills NSW 2010
 Parramatta Office: Level 9, 3 Parramatta Square, 153 Macquarie St, NSW 2150
 +61 2 9233 0800 | www.projecttourism.com.au
 Nominated Registered Architect: Peter Israel (reg no 5064)
 ABN 90 050 071 022

CLIENT
MP GROUP
 43 LAWSON ST
 BYRON BAY

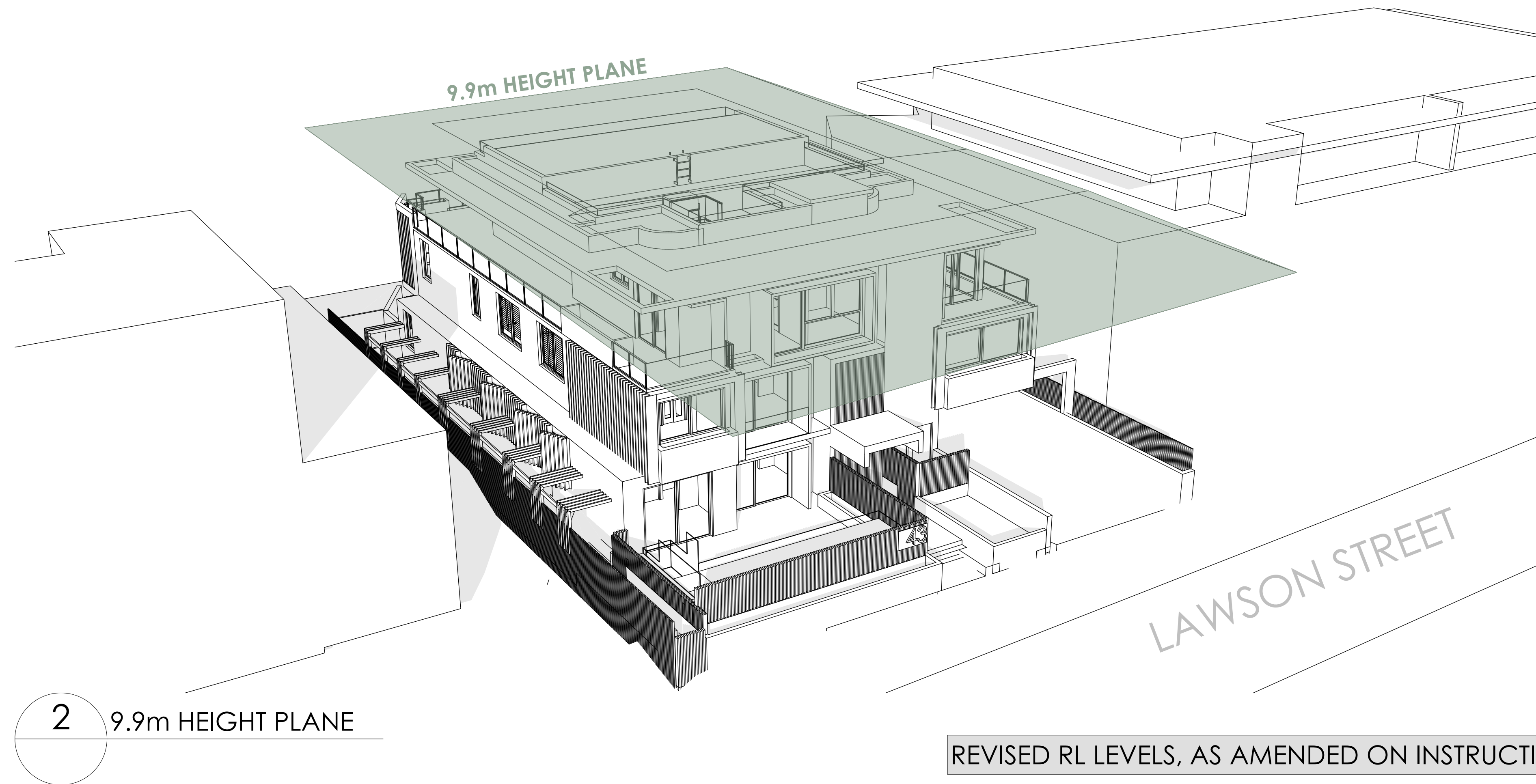
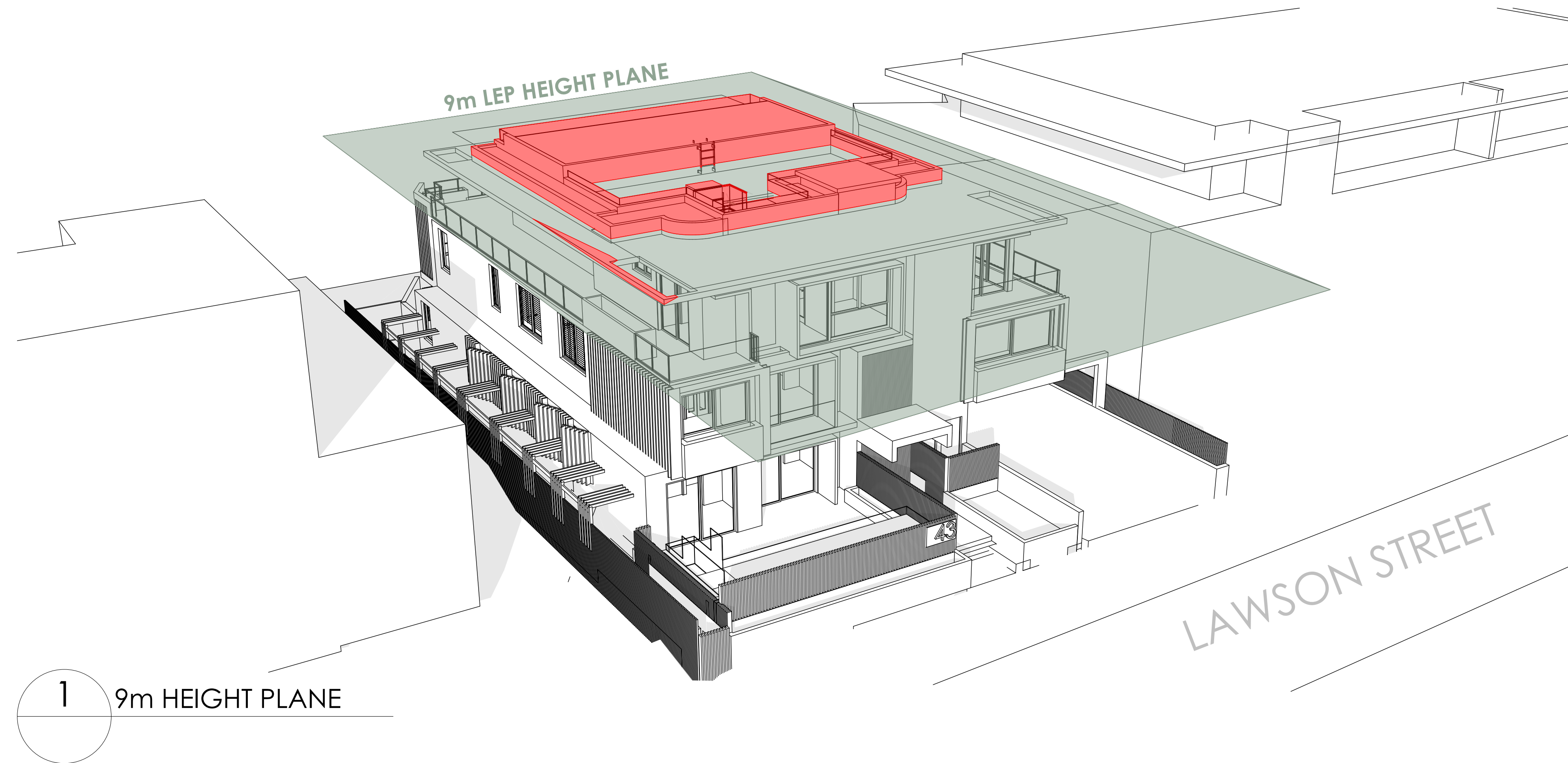
PROJECT
RESIDENTIAL DEVELOPMENT

DRAWING
SHADOW DIAGRAMS - 21 JUNE



DRAWN BH
 CHECKED PI
 SCALE 1:300 @ A1
 PROJECT No P339

DA 17 D
 stage. chg no. revision



GENERAL LEGEND

HEIGHT PLANE

BUILDING HEIGHT OVER HEIGHT PLANE

REVISED RL LEVELS, AS AMENDED ON INSTRUCTIONS FROM NORTH POINT PLANNING

NOTE

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REV	DESCRIPTION	BY	CHK	DATE	REV	DESCRIPTION	BY	CHK	DATE
1	ISSUE FOR HEIGHT REVIEW SUBMISSION	DP	PI	06.07.23					
2	REVISED RL LEVELS, AS AMENDED ON INSTRUCTIONS FROM NORTH POINT PLANNING	DP	PI	21.06.23					