

7 MARVELL STREET HOTEL

DEVELOPMENT APPLICATION

DRAWING SCHEDULE

No	NAME	SCALE
02 00	COVER PAGE	
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02 03	DEVELOPMENT SUMMARY	1:500
02 04	SURVEY PLAN	
02 05	BASEMENT 02 PLAN	1:200
02 06	BASEMENT 01 PLAN	1:200
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02 08	FIRST FLOOR PLAN	1:200
02 09	SECOND FLOOR PLAN	1:200
02 10	ROOF PLAN	1:200
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02 12	ELEVATION - NORTH	1:100
02 13	ELEVATION - EAST / WEST	1:200
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02 18	FLETCHER LANE PERSPECTIVE	

DEVELOPMENT SUMMARY

GFA		
BASEMENT 02:	-m ²	
BASEMENT 01:	127m ²	
GROUND:	396m ²	
LEVEL 01:	560m ²	
LEVEL 02:	495m ²	
ROOF TERRACE:	5m ²	
SITE AREA:	1,012m ²	
PLOT RATIO: 1.5:1	1,583m ²	

ROOM SUMMARY

PREVIOUS APPLICATION SUMMARY

TOTAL ROOMS:	30
TOTAL BEDS:	38
BASEMENT:	-
GROUND:	2 X SINGLE BED
LEVEL 01:	10 X SINGLE BED
	3 X 2 BED
	1 X 3 BED
LEVEL 02:	11 X SINGLE BED
	3 X 2 BED
	0 X 3 BED
ROOF TERRACE:	-

PROPOSED APPLICATION SUMMARY

TOTAL ROOMS:	29
TOTAL BEDS:	38
BASEMENT:	-
GROUND:	2 X SINGLE BED
LEVEL 01:	10 X SINGLE BED
	3 X 2 BED
	1 X 3 BED
LEVEL 02:	10 X SINGLE BED
	2 X 2 BED
	1 X 3 BED
ROOF TERRACE:	-



LOCATION PLAN - NTS



MARVELL ST PERSPECTIVE

CLIENT

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ABN: 85158246003 NSW 7892

All building works to be carried out in accordance with the Building Code of Australia (BCA) and to the satisfaction of the principle certifying authority. Builders/Contractors are to verify all dimensions prior to commencement of site work or off-site fabrication. Figured dimensions take precedence - do not scale.
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Change Name	ChID	Issue Name	RevID	Date

CLIENT	PACE DEVELOPMENT GROUP	ADDRESS	7 MARVELL ST, BYRON BAY	APPROVED: HG	ISSUE	JOB NO: HGA234
JOB NAME	7 MARVELL ST HOTEL	LOT + DP	LOT 9 DP 758207	SCALE	PAPER	DWG NO
DRAWING	COVER PAGE			A3	14	02 00
					REVISED BASEMENT	
					30.03.21	



SITE CONTEXT

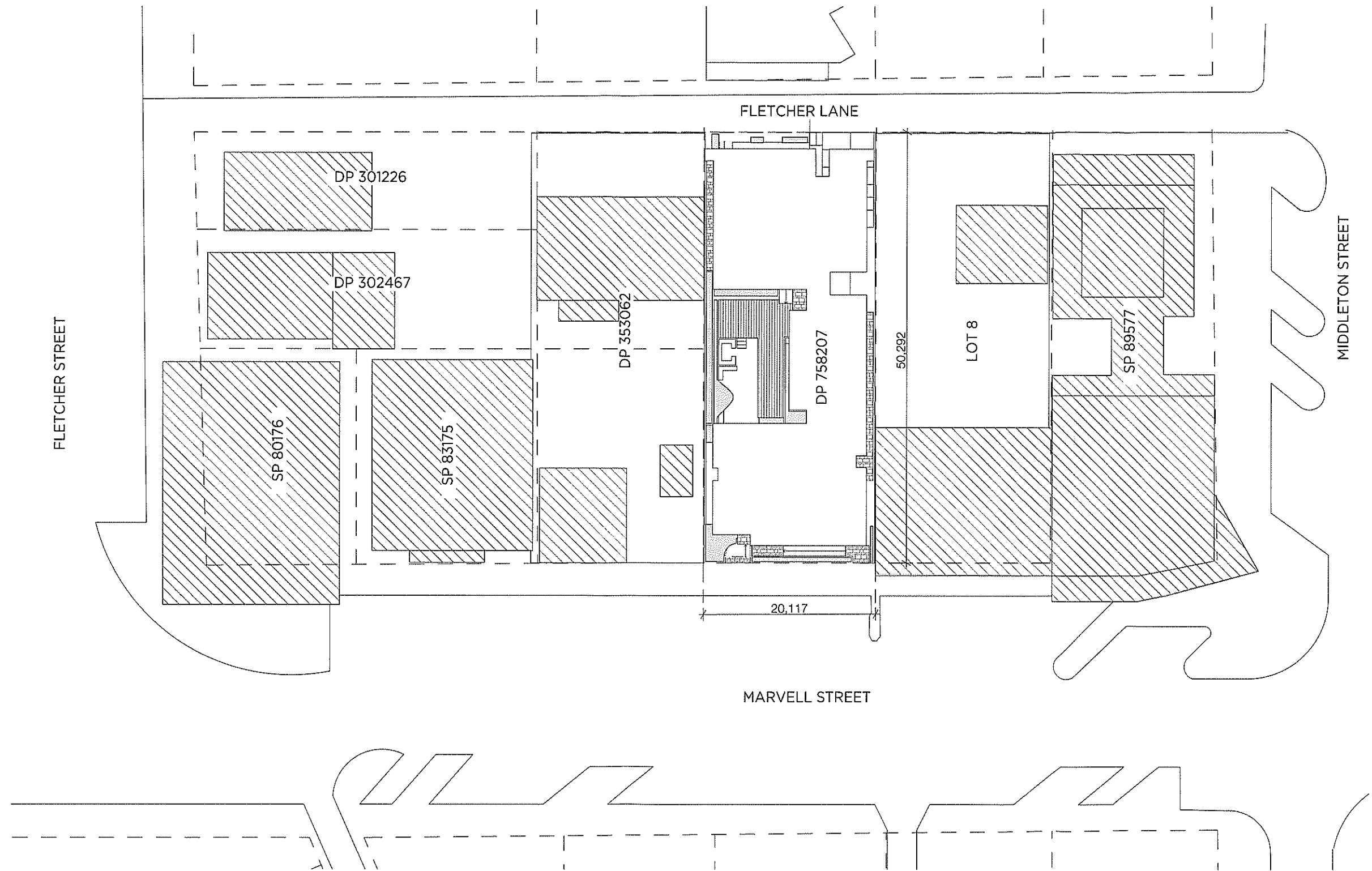
- A** Subject site at 7 Marvell St. Current front & rear vehicle access provided. Removal of existing crossover can supply a new loading delivery point to Marvell St for all business users.
- B** Car Rental business to neighbouring site.
- C** Holiday Unit Accommodation, access from rear lane.
- D** Dive Centre with associated staff & trainee accommodation to neighbouring site.
- E** Retail activated streetscape.
- F** Residential accommodation and associated facilities above Ground Floor Retail uses.
- G** Rear lane access to car park. Opportunity to activate lane way with Ground level accommodation & pedestrian access.
- H** Opportunities for Service vehicle circulation
- I** Opportunities for Service vehicle circulation

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					JOB NAME	7 MARVELL ST HOTEL	LOT + DP	LOT 9 DP 758207	SCALE	PAPER	14
					DRAWING	SITE CONTEXT			A3	REVISED BASEMENT	02 01
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DRAWING	SITE PLAN				1:500	A3	REVISED BASEMENT 30.03.21	02 02



FLETCHER

LANE

LOT 1
DP353062
N°2 FLETCHER LANE
TWO STOREY
TIMBER
RESIDENCE
COLORBOND
ROOF

LOT 2
DP353062
N°5
SINGLE STOREY
TIMBER
RESIDENCE
COLORBOND
ROOF

LOT 9
SEC 26
DP758207
N°7
AREA 1012m²
BY TITLE

LOT 8
SEC 26
DP758207
N°9
TWO STOREY
RENDERED
RESIDENCE
COLORBOND
ROOF

MARVELL

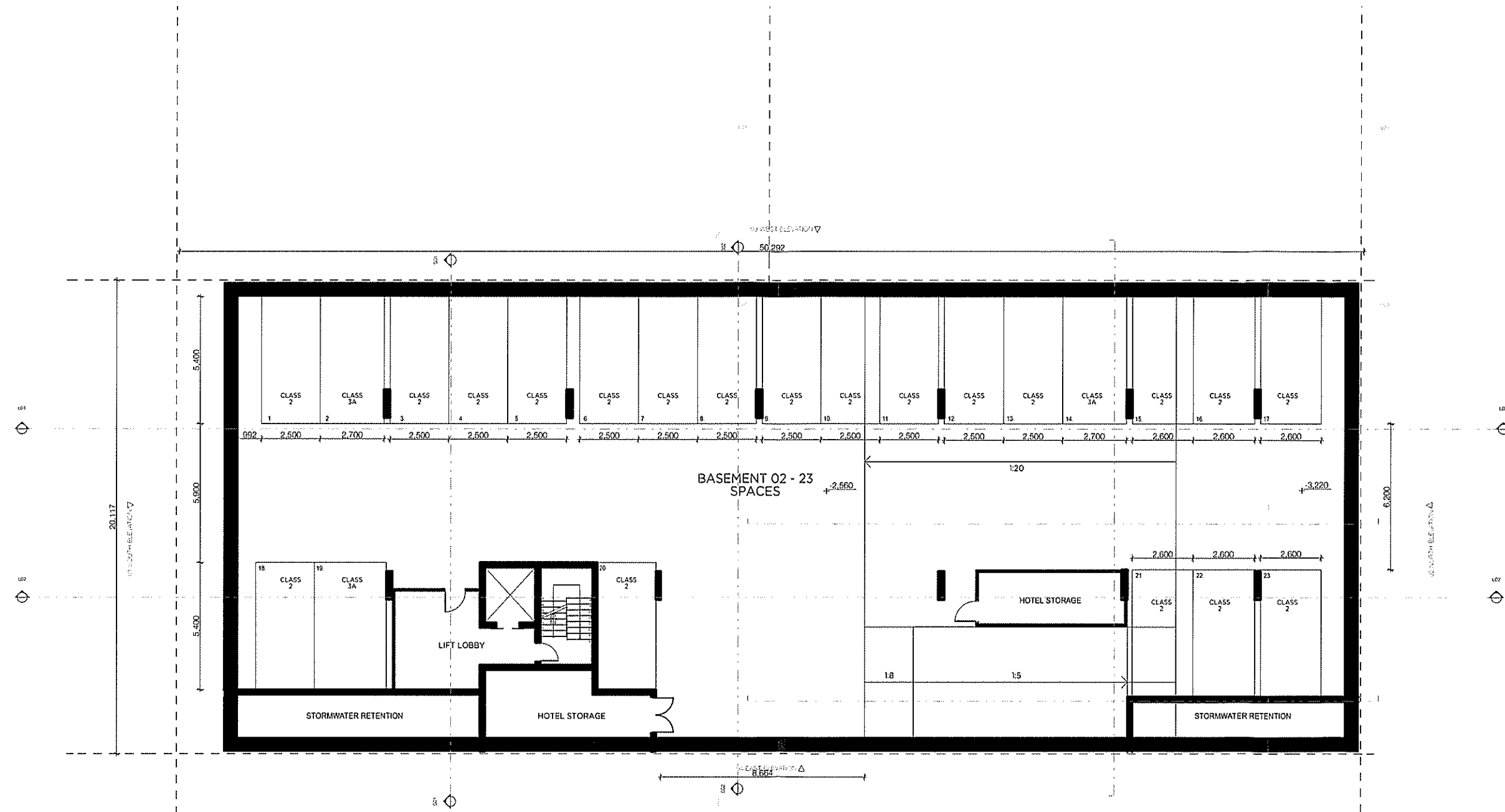
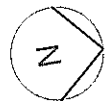
STREET

BENCHMARK
NAIL IN BITUMEN
RL 2.538 AHD

- NOTES :
- NO BOUNDARY SURVEY HAS BEEN MADE. THIS DETAIL SURVEY IS NOT A BOUNDARY SURVEY AS DEFINED BY THE SURVEYING AND SPATIAL INFORMATION ACT, 2002. BOUNDARY DIMENSIONS AND AREAS SHOWN ARE TAKEN FROM THE TITLE DP AND MAY NOT REFLECT THE ACTUAL AMOUNTS AVAILABLE WERE A FULL BOUNDARY SURVEY UNDERTAKEN. EASEMENTS & RESTRICTIONS NOTED ON TITLE WERE NOT INVESTIGATED AS PART OF THIS SURVEY.
 - CRITICAL FEATURES ON THIS PLAN MUST BE VERIFIED BY USER AS TO THE ACCURACY REQUIRED FOR THE INTENDED PURPOSE.
 - DATUM OF LEVELS IS AHD. ORIGIN OF LEVELS IS PM 30318. RL 2.768 AHD (SCIMS 31/01/2014)
 - ONLY VISIBLE SERVICES HAVE BEEN LOCATED. UNDERGROUND SERVICES HAVE NOT BEEN INVESTIGATED. A "DIAL BEFORE YOU DIG" SERVICES LOCATION SEARCH SHOULD BE CONDUCTED PRIOR TO AN EXCAVATION BEING UNDERTAKEN.
 - SPOT LEVELS AND CONTOURS INDICATE GENERAL TOPOGRAPHY. DO NOT SCALE OR INFER ACCURATE LEVELS. CONTOUR INTERVAL:
 _____ MAJOR 1m
 - - - - - MINOR 0.1m
 - LINEWORK ARE APPROXIMATE / DIAGRAMMATIC ONLY. ONLY POINTS SHOWN WITH A CROSS & CODE / HEIGHT ARE SURVEYED.
 - LEGEND

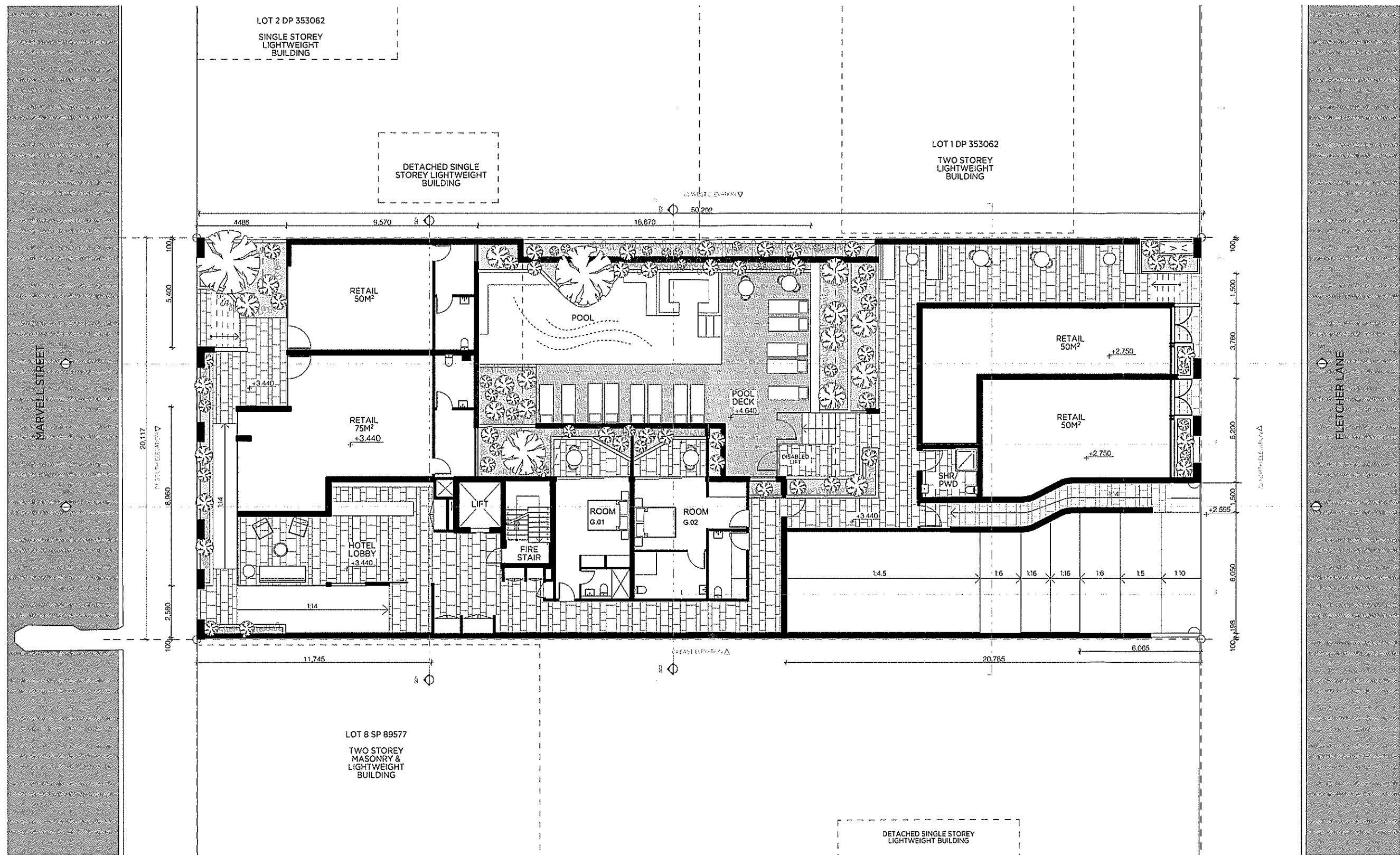
	- SUBJECT PROPERTY BOUNDARY		- ADJOINING PROPERTY BOUNDARY
	- BUILDING / WALL		- EAVES & GUTTERS
	- FENCE		- EDGE OF VEGETATION
	- ROAD CENTRE		
 - | | | | |
|--|---------------------------------|--|------------|
| | - SPOT LEVEL ON NATURAL SURFACE | | - CONCRETE |
| | - BITUMEN ROAD | | - PAVERS |
 - | | | | |
|--------------|--------------------------|-----|---------------------------|
| SURVEY CODES | | | |
| BOL | ○ = BOLLARD | PP | ● = POWER POLE |
| CPIT | □ = COMMUNICATIONS PIT | RDG | — = ROOF RIDGE |
| EG | = EAVES & GUTTERS | SIO | ⊕ = SEWER INSPECT OPENING |
| FFL | ⊕ = FINISHED FLOOR LEVEL | WM | — = WATER METER |
| GRATE | ≡ = GRATE | WS | = WINDOW SILL |
| ID | = INVERT DRAIN | WT | = WATER TOP |
| PIPE | ○ = PIPE - NON SPECIFIC | | |
 - DENOTES A TREE. ONLY MAJOR TREES HAVE BEEN LOCATED. TREE SPECIES AND SIZES ARE INDICATIVE ONLY.
 (0.1, 4, 3)
 _____ CANOPY RADIUS
 _____ HEIGHT
 _____ DIAMETER OF TRUNK
 - THIS PLAN HAS BEEN PREPARED FOR PACE DEVELOPMENT GROUP.
 - THIS PLAN REPRESENTS A COPY OF INFORMATION SUPPLIED ON COMPUTER DISK (OR EMAIL) IN .DWG/.DXF FORMAT. INFORMATION CONTAINED ON THE DISK (OR EMAIL) CAN BE VERIFIED AGAINST THIS PLAN. THE DIGITAL DATA IS SUPPLIED SUBJECT TO THE CONDITIONS CONTAINED IN THE ASSOCIATED 'Edata Readme.pdf' FILE.
 - THESE NOTES FORM AN INTEGRAL PART OF THIS PLAN AND AS SUCH MUST REMAIN WITH THE PLAN IN REPRODUCTION.

<p>Prepared by: Kennedy Surveying Registered Project Surveyors</p> <p>Suite 9, 80-84 Ballina Street PO Box 46 LENNOX HEAD NSW 2478</p> <p>Ph (02) 9687 4700 Fax (02) 6687 4171 Mobile 0414 337 009</p> <p>Web: kennedysurveying.com.au Email: office@kennedysurveying.com.au</p>	<p>SCALE: 1:250 ORIG: A3</p>	<p>JOB No. 15131</p> <p>SURVEYED BY RB/OW</p> <p>DATE OF SURVEY 2/10/15</p> <p>DATUM AHD71</p> <p>ORIGIN PM30318</p>	<p>TITLE: PLAN SHOWING COUNTOURS AND DETAIL SURVEY</p> <p>SITE: LOT 9 SEC26 DP758207 N°7 MARVELL STREET BYRON BAY NSW 2481</p> <p>CLIENT: PACE DEVELOPMENT GROUP</p> <p>CLIENT REF:</p>				
	<table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>07/10/15</td> <td>ORIGINAL ISSUE</td> </tr> </tbody> </table>	REV	DATE	DESCRIPTION	1	07/10/15	ORIGINAL ISSUE
REV	DATE	DESCRIPTION					
1	07/10/15	ORIGINAL ISSUE					



BASEMENT 02 FLOOR PLAN
Scale 1:200

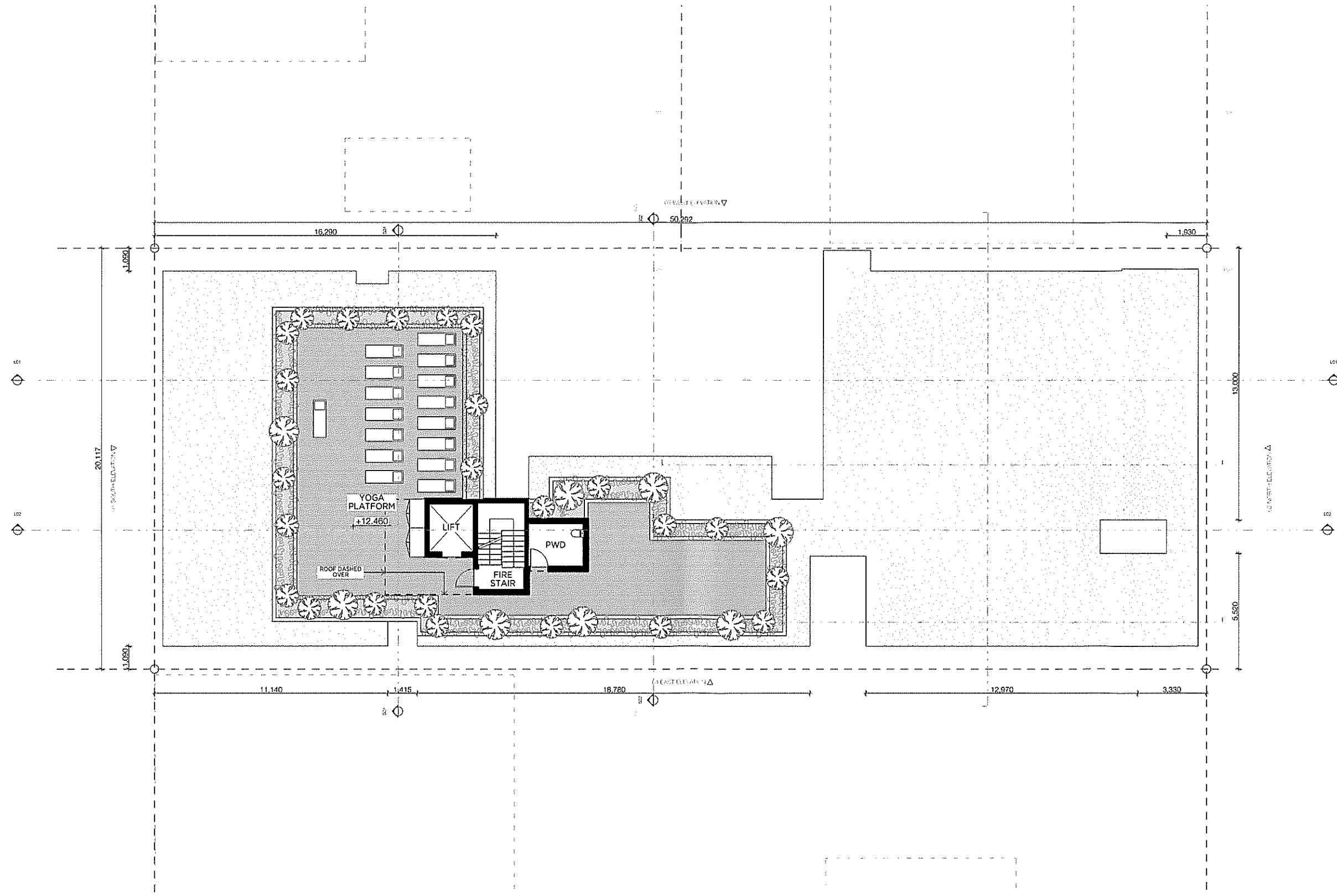
HARLEY GRAHAM ARCHITECTS LVL 1/144 JOHNSON STREET BYRON BAY PO BOX 1285 NSW 2481 F: 02 66809820 T: 02 66809690 E: office@harleygraham.com ABN: 85158246003 NSW 7892	All building works to be carried out in accordance with the Building Code of Australia (BCA) and to the satisfaction of the principle certifying authority. Builders/Contractors are to verify all dimensions prior to commencement of site work or off-site fabrication. Figured dimensions take precedence - do not scale. © Copyright HARLEY GRAHAM ARCHITECTS				Date		Change Name	CHID	Issue Name	RevID	CLIENT	PACE DEVELOPMENT GROUP	ADDRESS	7 MARVELL ST, BYRON BAY	APPROVED: HG	ISSUE	JOB NO: HGA234		
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											DRAWING	BASEMENT 02 PLAN			1:200	A3	REVISED BASEMENT	02 05	
																	30.03.21		



GROUND FLOOR PLAN
Scale 1:200

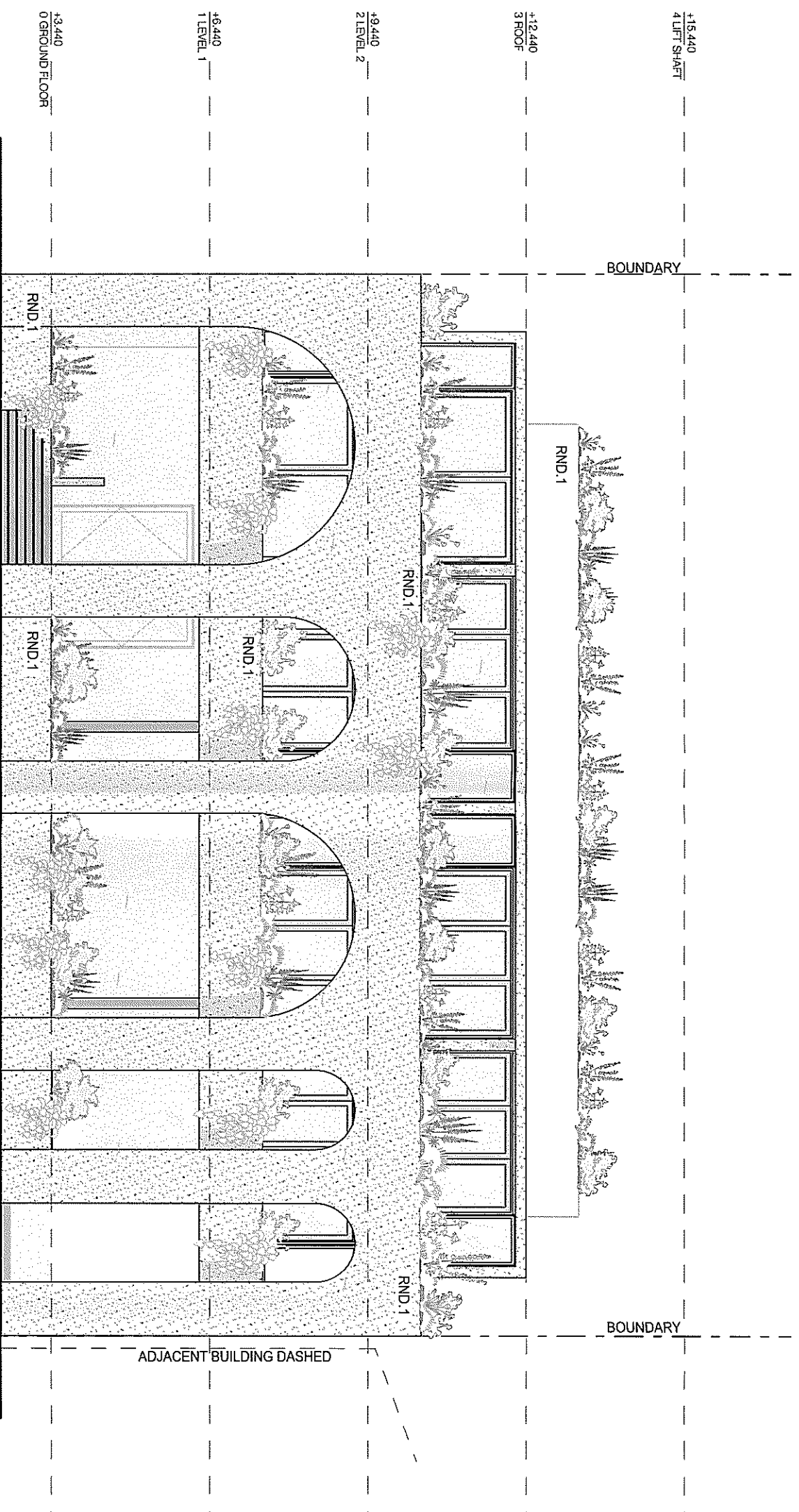
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DRAWING	GROUND FLOOR PLAN		1:200	A3	14	REV
				REVISED BASEMENT		02 07
				30.03.21		



ROOF PLAN
Scale 1:200

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								DRAWING	ROOF PLAN			1:200	A3	REVISED BASEMENT 30.03.21	02 10	

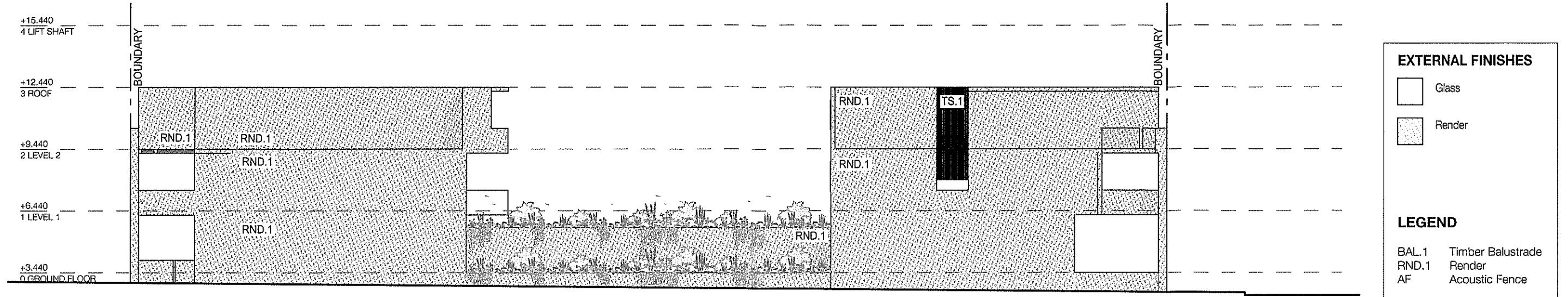


SOUTH ELEVATION
Scale 1:100

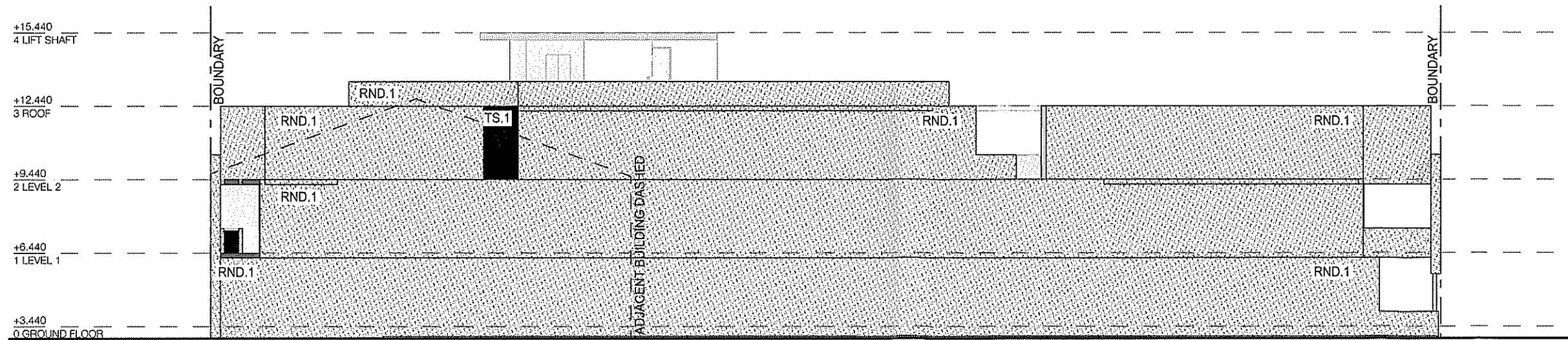
EXTERNAL FINISHES	
	Glass
	Render

LEGEND	
BAL.1	Timber Balustrade
RND.1	Render
AF	Acoustic Fence

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					DRAWING		LOT 9 DP 758207		30/03/21	REV
					ELEVATION - SOUTH			1:100	A3	02 11



03 WEST ELEVATION
Scale 1:200



04 EAST ELEVATION
Scale 1:200

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								DRAWING	ELEVATION - EAST / WEST		1:200	A3	REVISED BASEMENT	DWG NO
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L02 LONG SECTION 02

Scale 1:200

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								DRAWING	LONG SECTION 02			1:200	A3	REVISED BASEMENT	02 15	
													30.03.21			



MARVELL ST PERSPECTIVE

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								DRAWING	MARVELL ST PERSPECTIVE			1:3.19	A3	REVISED BASEMENT	30.03.21	02 17



FLETCHER LANE PERSPECTIVE

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