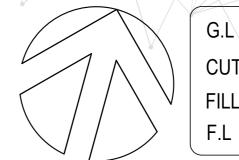
- * Discharge waste to connection point
- * Provide sediment control to site where req'd
- * Discharge stormwater to TANK, where possible, all other stormwater & overflow to kerb & channel
- * Meter box position T.B.C on site
- * All retaining walls by owner

NOTE ALL STORMWATER & DRAINAGE TO BE IN COMPLIANCE WITH NCC PARTS 3.1.2. & 3.5.2. AS WELL AS ASNZS3500

- * GUTTERS TO BE 125MM D-SECTION COLORBOND GUTTERS
- * 2 DOWNPIPES MAX. TO EACH 100mm STORMWATER PIPE, SUBSURFACE PIPES TO BE 100mm DIAMETER, ANY UNDERSLAB PIPING TO HAVE AN INSPECTION OPENING AT UPPER END, THEN TO BE 100mm SEWER GRADE PIPING WITH NO JOINS UNDER SLAB.
- ** 1:5 MAX DRIVEWAY SLOPE TO LOCAL GOVERNMENT REQUIREMENTS AND STANDARDS **



G.L GL 00.000

CUT 00.000 & 6

FILL 00.000 & 7



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T.B.C.

PROPOSED RESIDENCES

BUILDER:

MR. Z. KENNEDY

CLIENT:
PROJECT:

LOT 1

KEATS STREET BYRON BAY

RH/MB

CUSTOM

1:100 @ A3

DRAWN BY:

CHECKED BY:

DESIGN:

A 18/12/2019

DATE: SCALES:

AMENDMENTS:

B030220 G200420 C140220 H210520 D250220 E200320 F170420

SHEET NUMBER: 4 of

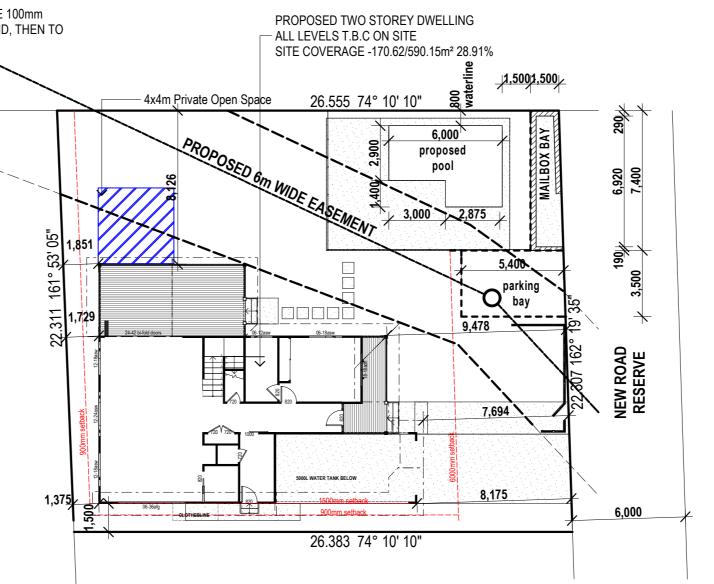
JOB NUMBER:

7890

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PRECEDENCE OVER SCALED SIZES Contractor to verify dimensions. Notify designers of discrepancies. Failure to do so shall void the designers responsibilities.

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OSMAN FOR THE STRUCTURAL INTEGRITY
AND PERFORMANCE OF THE BUILDING



PROPOSED LOT 1

MAILBOX ELEVATION 1:100

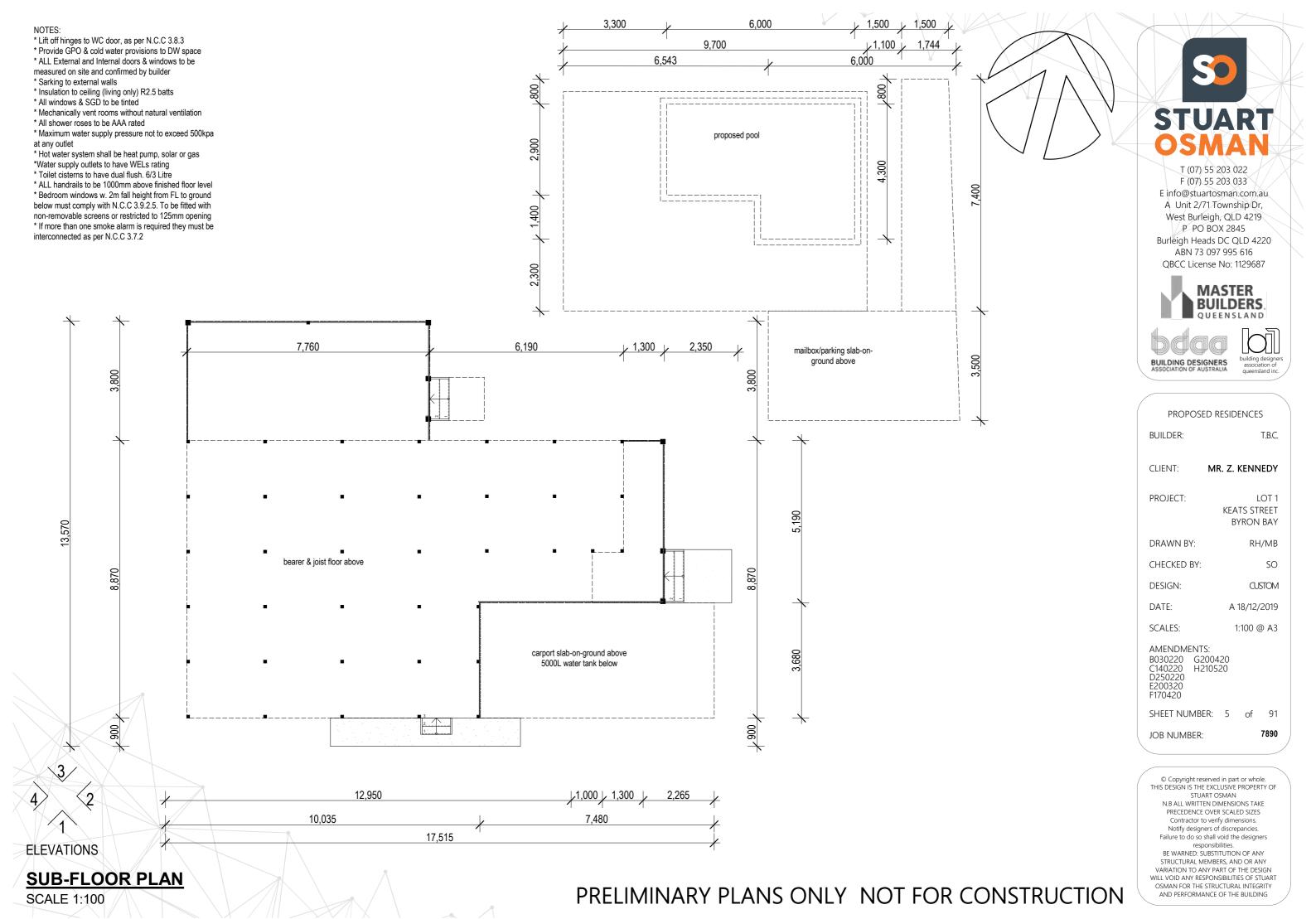
7,400

STREET ELEVATION 1:100

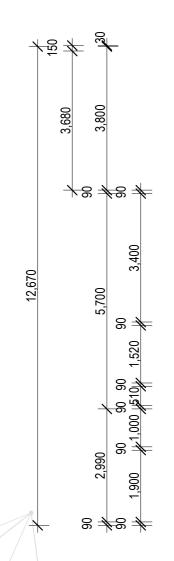
PRELIMINARY PLANS ONLY NOT FOR CONSTRUCTION

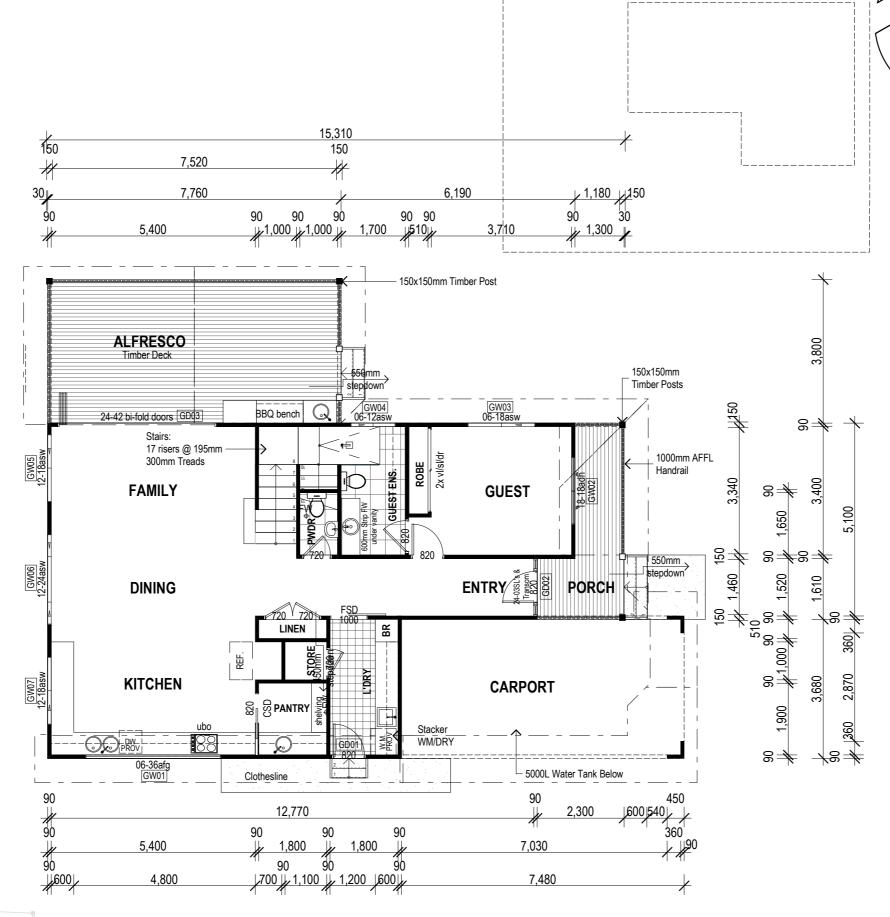
SITE PLAN - GROUND FLOOR

SCALE 1:200 SHEET 4 OF 91 JOB NUMBER - 7890



- * Lift off hinges to WC door, as per N.C.C 3.8.3
- * Provide GPO & cold water provisions to DW space
- * ALL External and Internal doors & windows to be measured on site and confirmed by builder
- * Sarking to external walls
- * Insulation to ceiling (living only) R2.5 batts
- * All windows & SGD to be tinted
- * Mechanically vent rooms without natural ventilation
- * All shower roses to be AAA rated
- * Maximum water supply pressure not to exceed 500kpa at any outlet
- * Hot water system shall be heat pump, solar or gas *Water supply outlets to have WELs rating
- * Tailet sistems to be an electrical COLING
- * Toilet cisterns to have dual flush. 6/3 Litre
- * ALL handrails to be 1000mm above finished floor level
 * Bedroom windows w. 2m fall height from FL to ground
 below must comply with N.C.C 3.9.2.5. To be fitted with
 non-removable screens or restricted to 125mm opening
- * If more than one smoke alarm is required they must be interconnected as per N.C.C 3.7.2







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E info@stuartosman.com.au
A Unit 2/71 Township Dr,
West Burleigh, QLD 4219
P PO BOX 2845
Burleigh Heads DC QLD 4220
ABN 73 097 995 616
QBCC License No: 1129687







T.B.C.

PROPOSED RESIDENCES

BUILDER:

CLIENT:

MR. Z. KENNEDY

PROJECT:

LOT 1 KEATS STREET BYRON BAY

RH/MB

CUSTOM

A 18/12/2019

1:100 @ A3

7890

DRAWN BY:

CHECKED BY:

DESIGN:

DATE:

SCALES:

AMENDMENTS: B030220 G200420 C140220 H210520 D250220

E200320 F170420

SHEET NUMBER: 6 of 91

JOB NUMBER:

FLOOR AREAS

LOWER LIVING

UPPER LIVING

CARPORT

ALFRESCO

Area (m2)

105.24

122.14

27.53

29.49

8.36

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AND PERFORMANCE OF THE BUILDING



GROUND FLOOR PLAN

- * Lift off hinges to WC door, as per N.C.C 3.8.3
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T.B.C.

PROPOSED RESIDENCES

BUILDER:

MR. Z. KENNEDY

PROJECT:

CLIENT:

LOT 1 KEATS STREET

BYRON BAY

RH/MB

CUSTOM

A 18/12/2019

DRAWN BY:

CHECKED BY:

DESIGN:

SCALES: 1:100 @ A3

DATE:

AMENDMENTS: B030220 G200420 C140220 H210520 D250220 E200320

F170420

SHEET NUMBER: 7 of

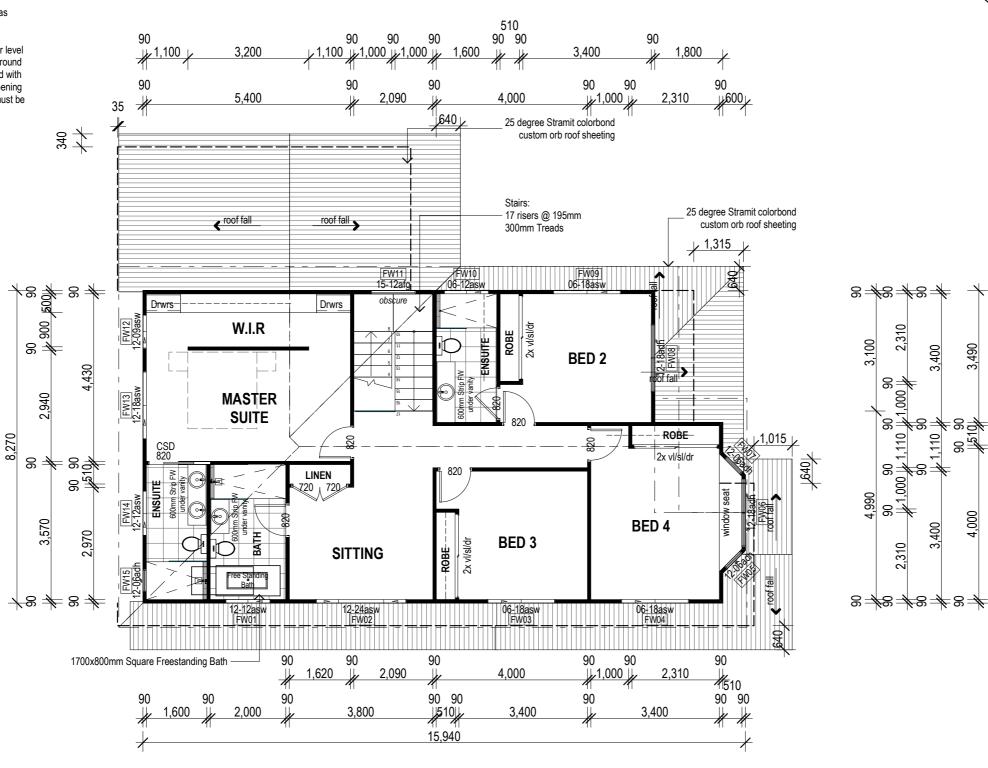
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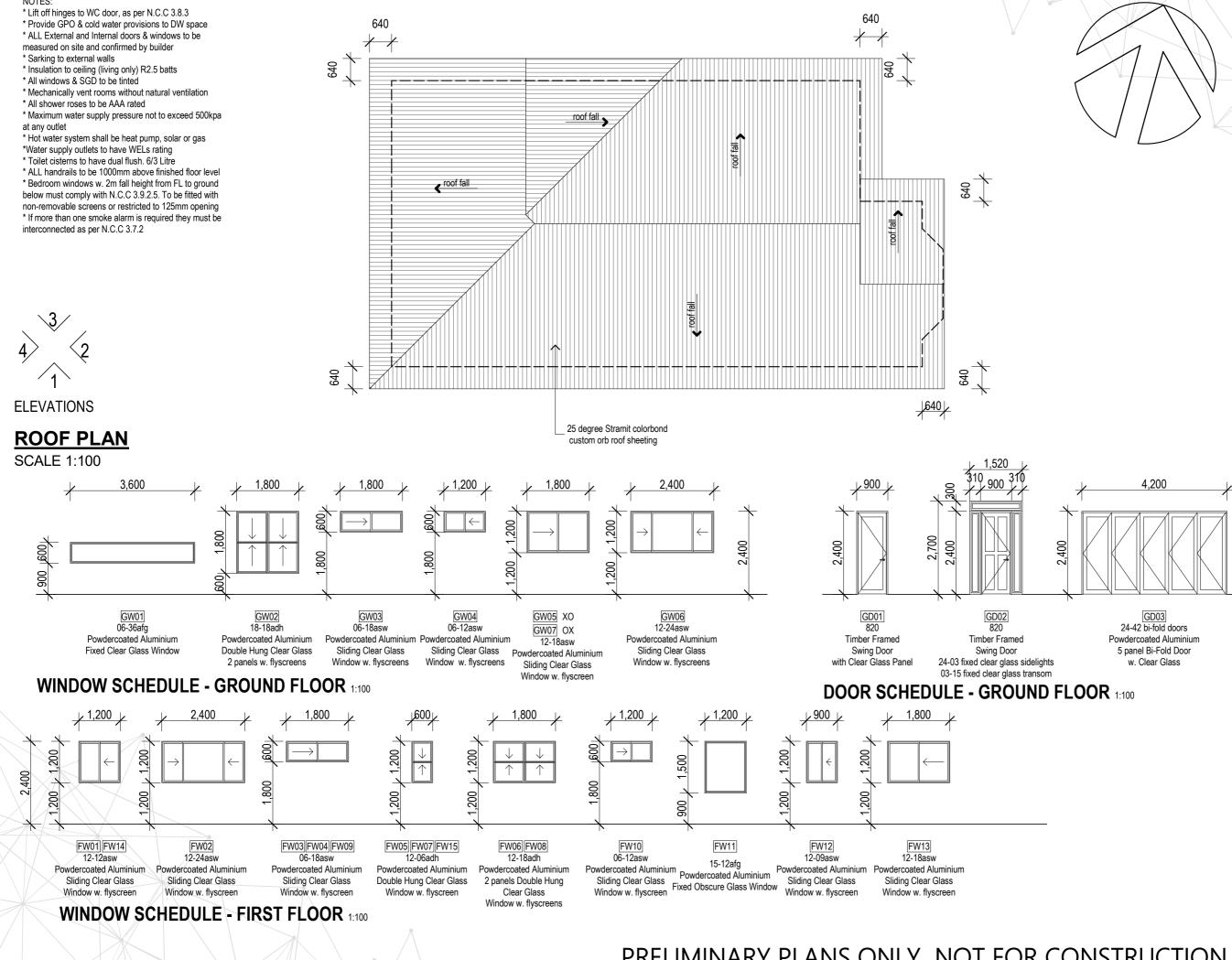
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FIRST FLOOR PLAN



PRELIMINARY PLANS ONLY NOT FOR CONSTRUCTION

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T.B.C.

PROPOSED RESIDENCES

BUILDER:

CLIENT: MR. Z. KENNEDY

PROJECT:

LOT 1 **KEATS STREET**

RH/MB

CUSTOM

BYRON BAY

CHECKED BY:

DRAWN BY:

DESIGN:

A 18/12/2019

SCALES:

1:100 @ A3

DATE:

AMENDMENTS: B030220 G200420 C140220 H210520 D250220

E200320 F170420

SHEET NUMBER: 8 91 of

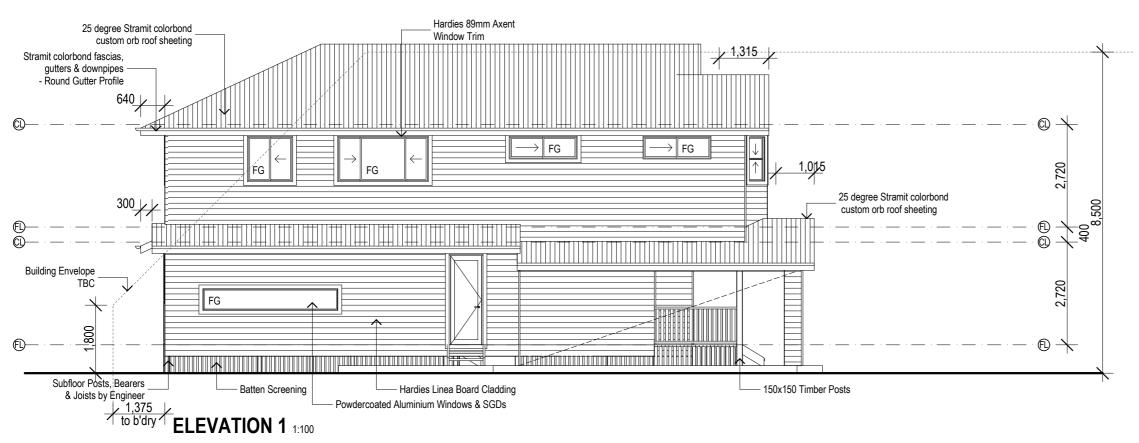
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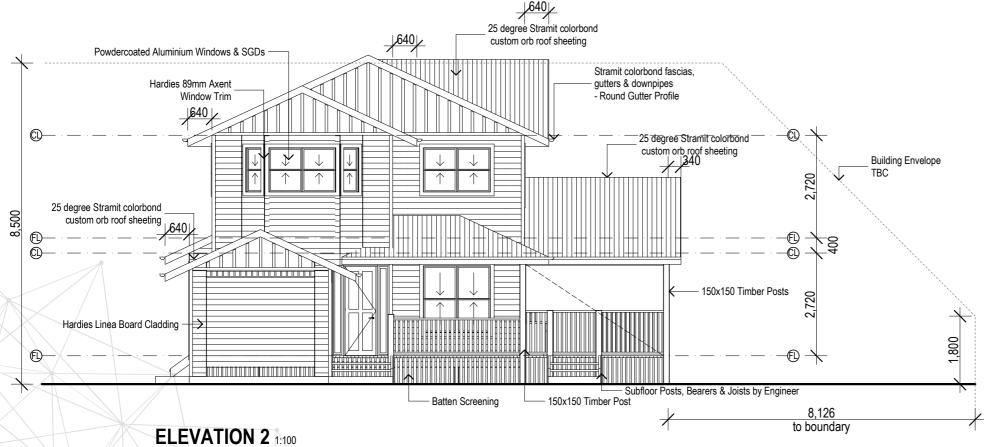
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T.B.C.

PROPOSED RESIDENCES

BUILDER:

CLIENT:

MR. Z. KENNEDY

PROJECT:

LOT 1

KEATS STREET BYRON BAY

CUSTOM

DRAWN BY: RH/MB

CHECKED BY:

DESIGN:

DATE: A 18/12/2019

SCALES:

1:100 @ A3

AMENDMENTS:

B030220 G200420 C140220 H210520 D250220 E200320

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SHEET NUMBER: 9 91

JOB NUMBER:

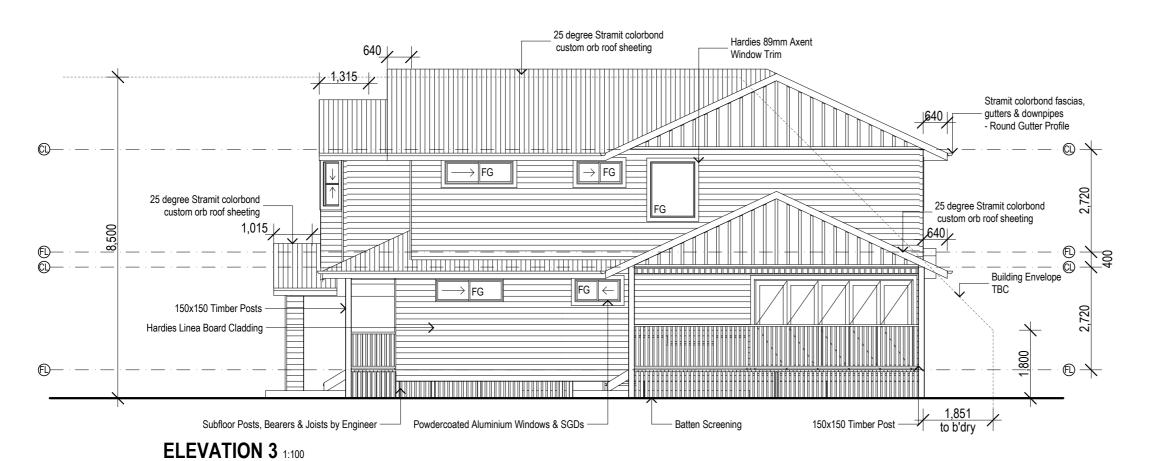
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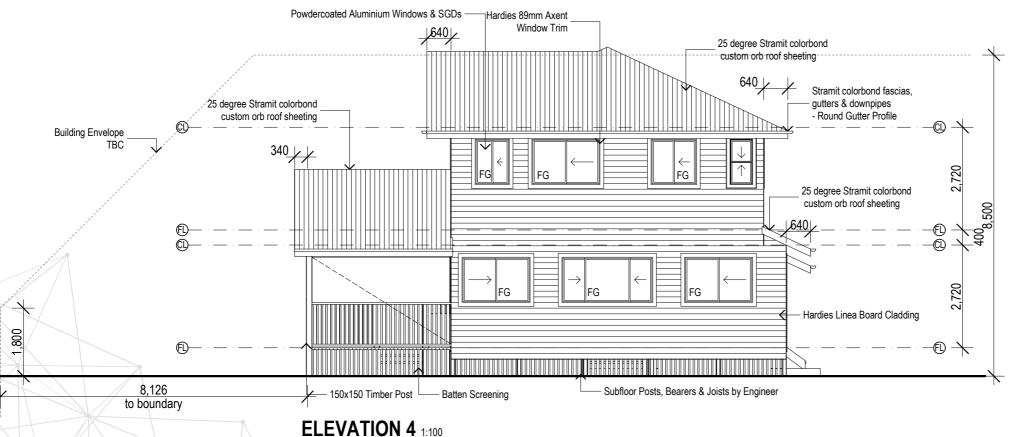
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- * Lift off hinges to WC door, as per N.C.C 3.8.3
- * Provide GPO & cold water provisions to DW space * ALL External and Internal doors & windows to be
- measured on site and confirmed by builder
- * Sarking to external walls
- * Insulation to ceiling (living only) R2.5 batts
- * All windows & SGD to be tinted * Mechanically vent rooms without natural ventilation
- * All shower roses to be AAA rated
- * Maximum water supply pressure not to exceed 500kpa at any outlet
- * Hot water system shall be heat pump, solar or gas *Water supply outlets to have WELs rating
- * Toilet cisterns to have dual flush. 6/3 Litre
- * ALL handrails to be 1000mm above finished floor level * Bedroom windows w. 2m fall height from FL to ground below must comply with N.C.C 3.9.2.5. To be fitted with
- non-removable screens or restricted to 125mm opening * If more than one smoke alarm is required they must be
- interconnected as per N.C.C 3.7.2





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T.B.C.

PROPOSED RESIDENCES

BUILDER:

MR. Z. KENNEDY

PROJECT:

CLIENT:

LOT 1 KEATS STREET

BYRON BAY

RH/MB

CUSTOM

1:100 @ A3

91

7890

CHECKED BY:

DRAWN BY:

DESIGN:

A 18/12/2019 DATE:

SCALES:

AMENDMENTS:

B030220 G200420 C140220 H210520 D250220 E200320 F170420

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JOB NUMBER:

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* Lift off hinges to WC door, as per N.C.C 3.8.3

* Provide GPO & cold water provisions to DW space

* ALL External and Internal doors & windows to be measured on site and confirmed by builder * Sarking to external walls

* Insulation to ceiling (living only) R2.5 batts

* All windows & SGD to be tinted

* Mechanically vent rooms without natural ventilation

* All shower roses to be AAA rated

* Maximum water supply pressure not to exceed 500kpa at any outlet

* Hot water system shall be heat pump, solar or gas

*Water supply outlets to have WELs rating * Toilet cisterns to have dual flush. 6/3 Litre

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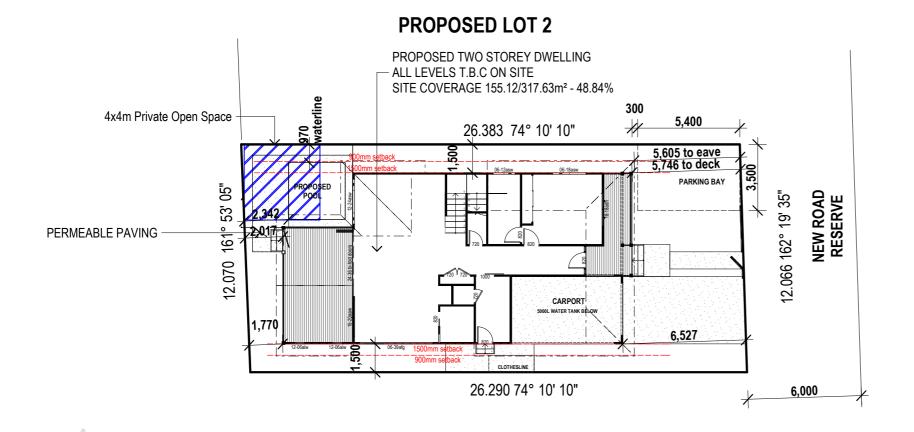
non-removable screens or restricted to 125mm opening * If more than one smoke alarm is required they must be interconnected as per N.C.C 3.7.2

- * Discharge waste to connection point
- * Provide sediment control to site where req'd
- * Discharge stormwater to TANK, where possible, all other stormwater & overflow to kerb & channel
- * Meter box position T.B.C on site
- * All retaining walls by owner

NOTE ALL STORMWATER & DRAINAGE TO BE IN COMPLIANCE WITH NCC PARTS 3.1.2. & 3.5.2. AS WELL AS ASNZS3500

- * GUTTERS TO BE 125MM D-SECTION COLORBOND GUTTERS
- * 2 DOWNPIPES MAX. TO EACH 100mm STORMWATER PIPE, SUBSURFACE PIPES TO BE 100mm DIAMETER, ANY UNDERSLAB PIPING TO HAVE AN INSPECTION OPENING AT UPPER END, THEN TO BE 100mm SEWER GRADE PIPING WITH NO JOINS UNDER SLAB.

** 1:5 MAX DRIVEWAY SLOPE TO LOCAL GOVERNMENT REQUIREMENTS AND STANDARDS **





G.L GL 00.000

CUT 00.000 & Comparison of the co



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T.B.C.

PROPOSED RESIDENCES

BUILDER:

MR. Z. KENNEDY

PROJECT:

CLIENT:

LOT 2 KEATS STREET BYRON BAY

A 12/11/2019

RH/MB

CHECKED BY:

DRAWN BY:

CUSTOM

DATE:

DESIGN:

SCALES: 1:100 @ A3

AMENDMENTS:

B251119 G200320 C111219 H170420 D310120 i200420 E140220 J210520 F260220

SHEET NUMBER: 4 of

JOB NUMBER:

7890

91

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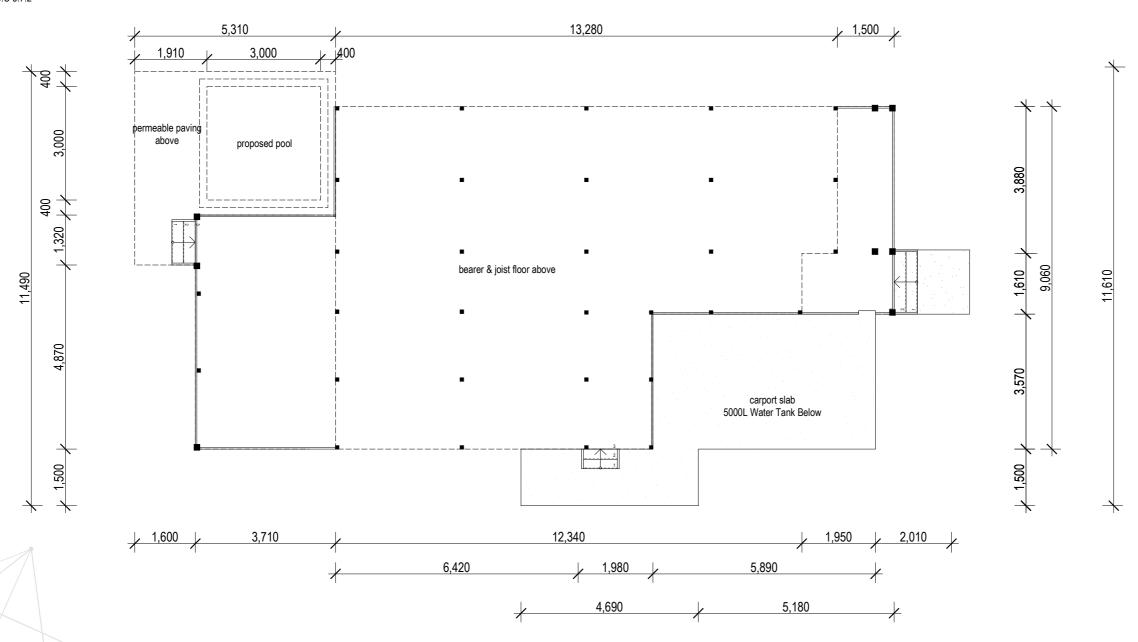
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OSMAN FOR THE STRUCTURAL INTEGRITY

AND PERFORMANCE OF THE BUILDING

- * Lift off hinges to WC door, as per N.C.C 3.8.3
- * Provide GPO & cold water provisions to DW space
- * ALL External and Internal doors & windows to be measured on site and confirmed by builder
- * Sarking to external walls
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- * All windows & SGD to be tinted
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- * All shower roses to be AAA rated
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- * Toilet cisterns to have dual flush. 6/3 Litre
- * ALL handrails to be 1000mm above finished floor level * Bedroom windows w. 2m fall height from FL to ground below must comply with N.C.C 3.9.2.5. To be fitted with non-removable screens or restricted to 125mm opening
- * If more than one smoke alarm is required they must be interconnected as per N.C.C 3.7.2







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PROPOSED RESIDENCES

BUILDER:

CLIENT:

MR. Z. KENNEDY

T.B.C.

PROJECT:

LOT 2 KEATS STREET BYRON BAY

RH/MB

CUSTOM

DRAWN BY:

CHECKED BY:

DESIGN:

A 12/11/2019

SCALES:

DATE:

1:100 @ A3

AMENDMENTS: B251119 G200320 C111219 H170420 D310120 i200420 E140220 J210520 F260220

SHEET NUMBER: 5 91 of

JOB NUMBER:

7890

ELEVATIONS

SUB-FLOOR PLAN

SCALE 1:100

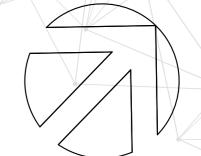
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PROPOSED RESIDENCES

BUILDER:

CLIENT:

MR. Z. KENNEDY

PROJECT:

LOT 2 KEATS STREET BYRON BAY

RH/MB

CUSTOM

A 12/11/2019

T.B.C.

DRAWN BY:

CHECKED BY:

DESIGN:

DATE:

SCALES: 1:100 @ A3

AMENDMENTS:

B251119 G200320 C111219 H170420 D310120 i200420 E140220 J210520 F260220

SHEET NUMBER: 6 of

7890



Area (m2)

101.38

91.11

21.03

22.96

9.75

246.23 m²

LOWER LIVING

UPPER LIVING

CARPORT

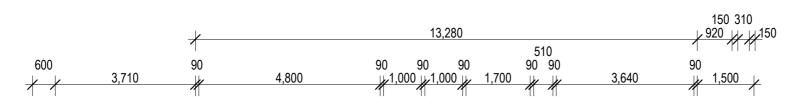
ALFRESCO

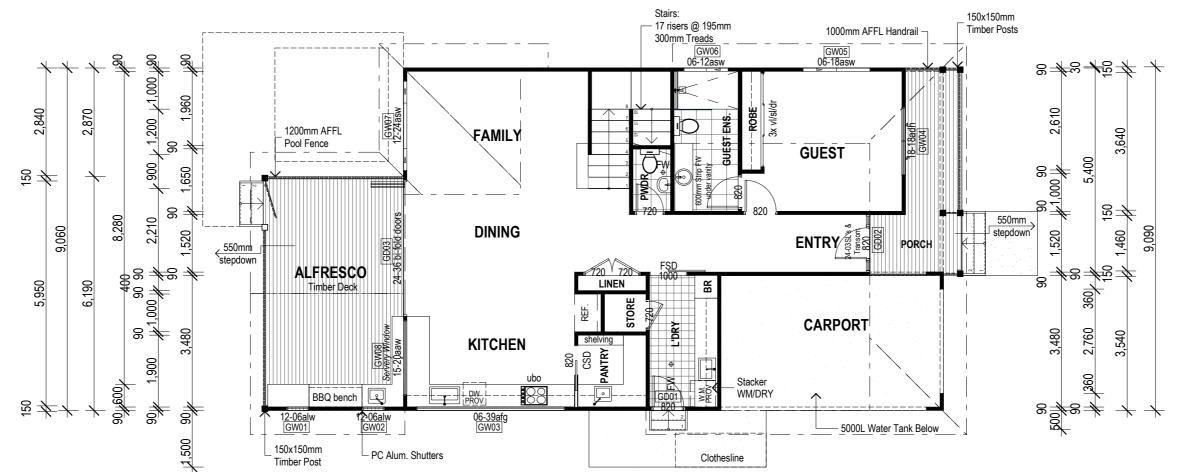
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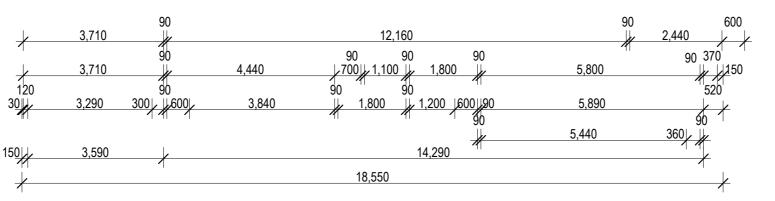
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ELEVATIONS

GROUND FLOOR PLAN

SCALE 1:100

PRELIMINARY PLANS ONLY NOT FOR CONSTRUCTION

- * Lift off hinges to WC door, as per N.C.C 3.8.3
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- * All shower roses to be AAA rated
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T.B.C.

PROPOSED RESIDENCES

BUILDER:

MR. Z. KENNEDY

PROJECT:

CLIENT:

LOT 2 KEATS STREET

BYRON BAY

RH/MB

CUSTOM

CHECKED BY:

DESIGN:

DRAWN BY:

A 12/11/2019 DATE:

SCALES:

F260220

1:100 @ A3

AMENDMENTS: B251119 G200320 C111219 H170420 D310120 i200420 E140220 J210520

SHEET NUMBER:

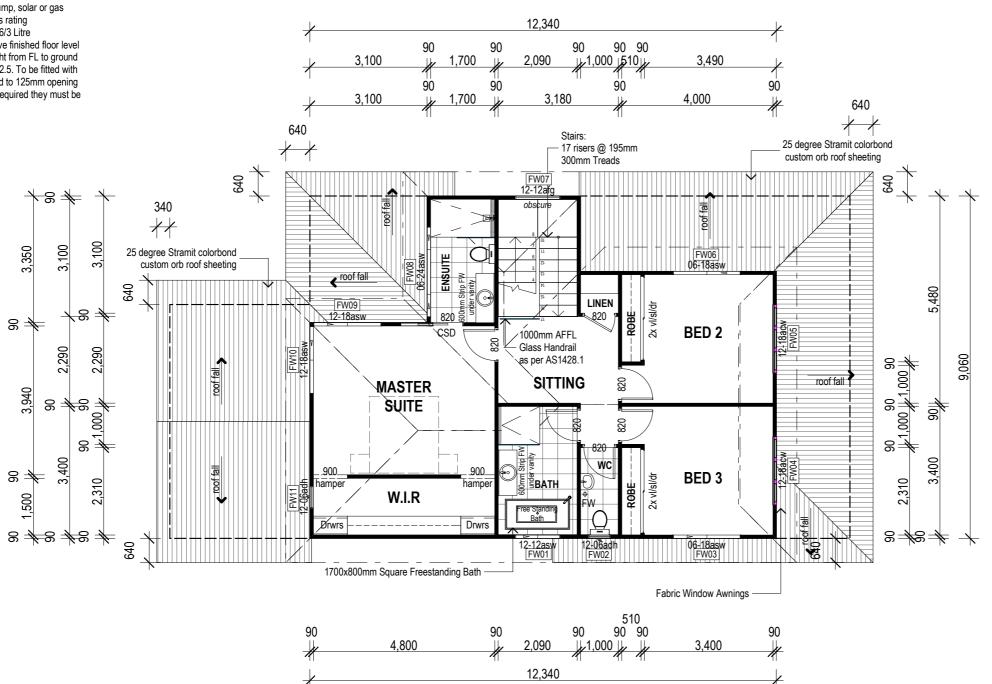
JOB NUMBER:

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ELEVATIONS

FIRST FLOOR PLAN

SCALE 1:100

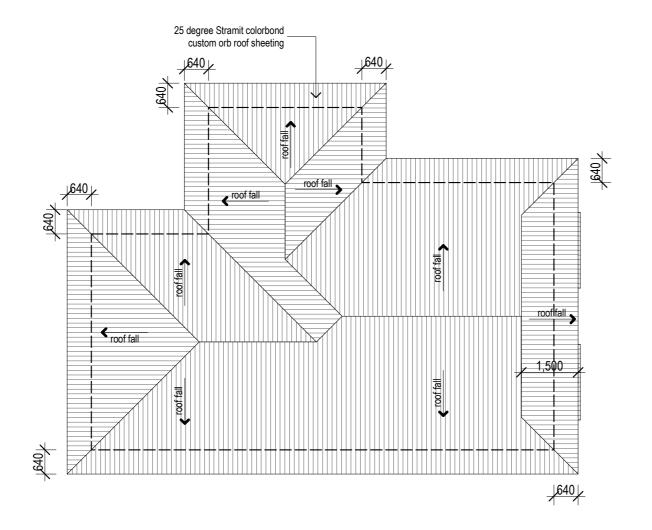
- * Lift off hinges to WC door, as per N.C.C 3.8.3
- * Provide GPO & cold water provisions to DW space * ALL External and Internal doors & windows to be
- measured on site and confirmed by builder
- * Sarking to external walls
- * Insulation to ceiling (living only) R2.5 batts
- * All windows & SGD to be tinted
- * Mechanically vent rooms without natural ventilation
- * All shower roses to be AAA rated
- * Maximum water supply pressure not to exceed 500kpa at any outlet
- * Hot water system shall be heat pump, solar or gas *Water supply outlets to have WELs rating
- * Toilet cisterns to have dual flush. 6/3 Litre
- * ALL handrails to be 1000mm above finished floor level * Bedroom windows w. 2m fall height from FL to ground below must comply with N.C.C 3.9.2.5. To be fitted with non-removable screens or restricted to 125mm opening
- * If more than one smoke alarm is required they must be interconnected as per N.C.C 3.7.2



ELEVATIONS

ROOF PLAN

SCALE 1:100







T (07) 55 203 022 F (07) 55 203 033 E info@stuartosman.com.au A Unit 2/71 Township Dr, West Burleigh, QLD 4219 P PO BOX 2845 Burleigh Heads DC QLD 4220 ABN 73 097 995 616 QBCC License No: 1129687







T.B.C.

PROPOSED RESIDENCES

BUILDER:

MR. Z. KENNEDY

LOT 2 KEATS STREET BYRON BAY

RH/MB

CUSTOM

A 12/11/2019

1:100 @ A3

B251119 G200320 C111219 H170420

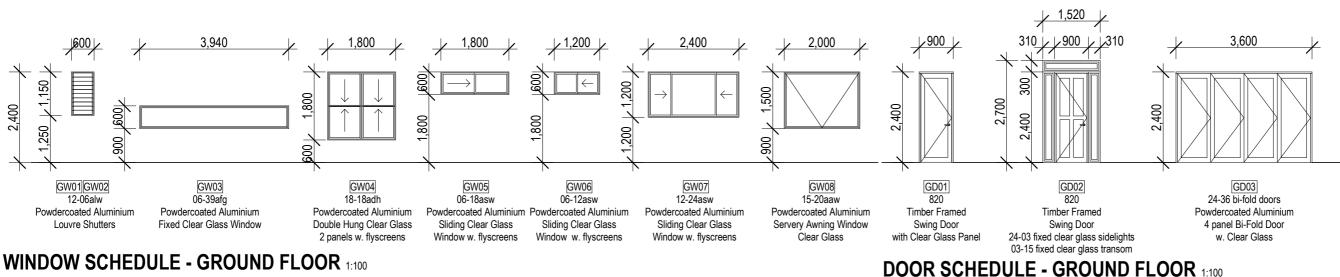
D310120 i200420 E140220 J210520

CLIENT: PROJECT: DRAWN BY: CHECKED BY: DESIGN: DATE: SCALES: AMENDMENTS: F260220

SHEET NUMBER: 8 91 of 7890 JOB NUMBER:

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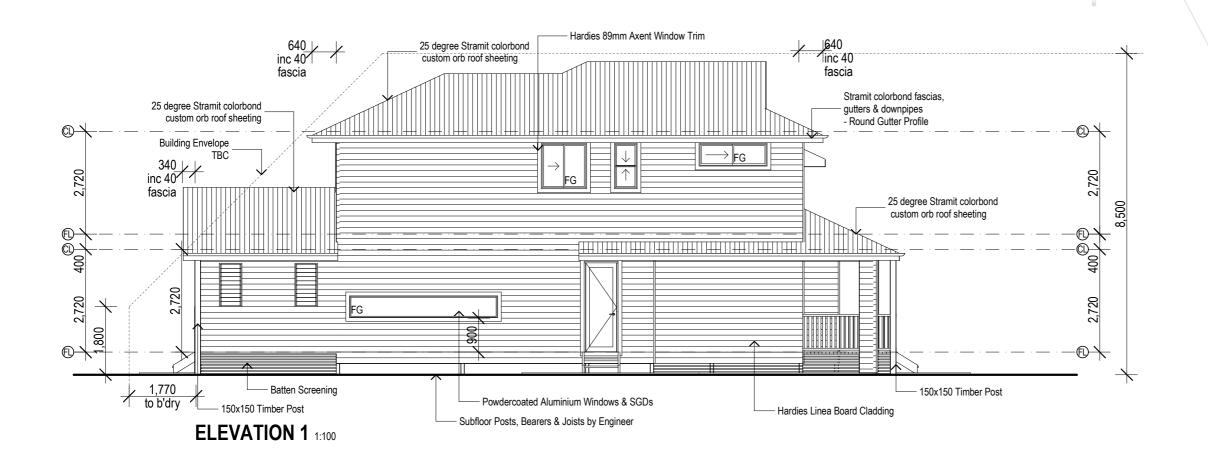
WINDOW SCHEDULE - GROUND FLOOR 1:100

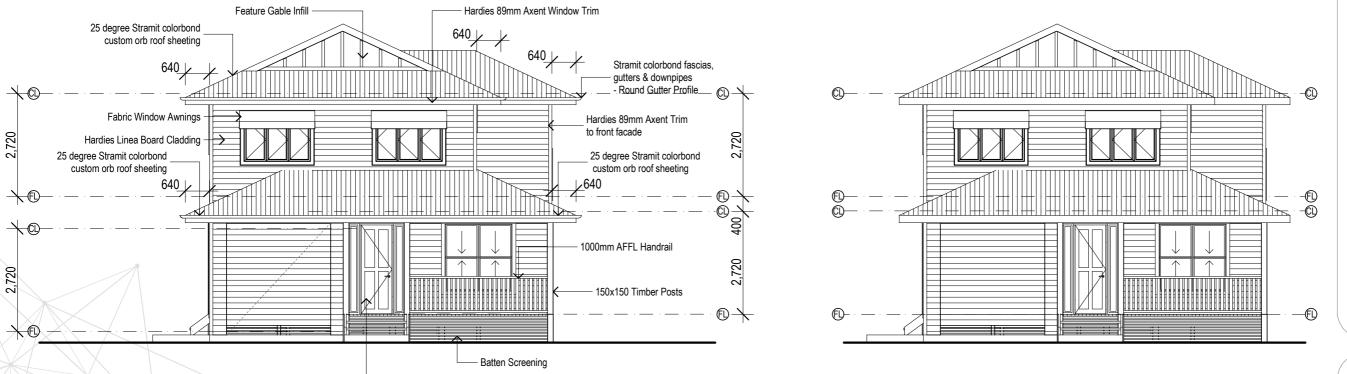
1,200 **∠** 1,200 **∠** 1,200 1,200 1,200 1,200 FW01 FW02 FW11 FW03 FW06 FW04 FW05 FW07 FW08 FW09 OX 12-12asw 06-18asw 12-18acw 06-24asw FW10 XO 12-06adh 12-12afg Powdercoated Aluminium Powdercoated Aluminium Powdercoated Aluminium Powdercoated Aluminium Powdercoated Aluminium 12-18asw Powdercoated Aluminium Double Hung Clear Glass Sliding Clear Glass 3 panels Casement Sliding Clear Glass Sliding Clear Glass Powdercoated Aluminium Fixed Obscure Glass Window Window w. flyscreen Window w. flyscreen Clear Glass Window w. flyscreen Sliding Clear Glass

Window w. flyscreens

WINDOW SCHEDULE - FIRST FLOOR 1:100

PRELIMINARY PLANS ONLY NOT FOR CONSTRUCTION





Powdercoated Aluminium Windows & SGDs

ELEVATION 2 1:100

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West Burleigh, QLD 4219
P PO BOX 2845
Burleigh Heads DC QLD 4220
ABN 73 097 995 616
QBCC License No: 1129687







PROPOSED RESIDENCES

BUILDER:

CLIENT:

MR. Z. KENNEDY

PROJECT:

LOT 2 KEATS STREET

BYRON BAY

RH/MB

CUSTOM

1:100 @ A3

T.B.C.

DRAWN BY:

CHECKED BY:

DESIGN:

DATE: A 12/11/2019

SCALES:

F260220

AMENDMENTS: B251119 G200320 C111219 H170420 D310120 i200420 E140220 J210520

SHEET NUMBER: 9 of

JOB NUMBER:

7890

91

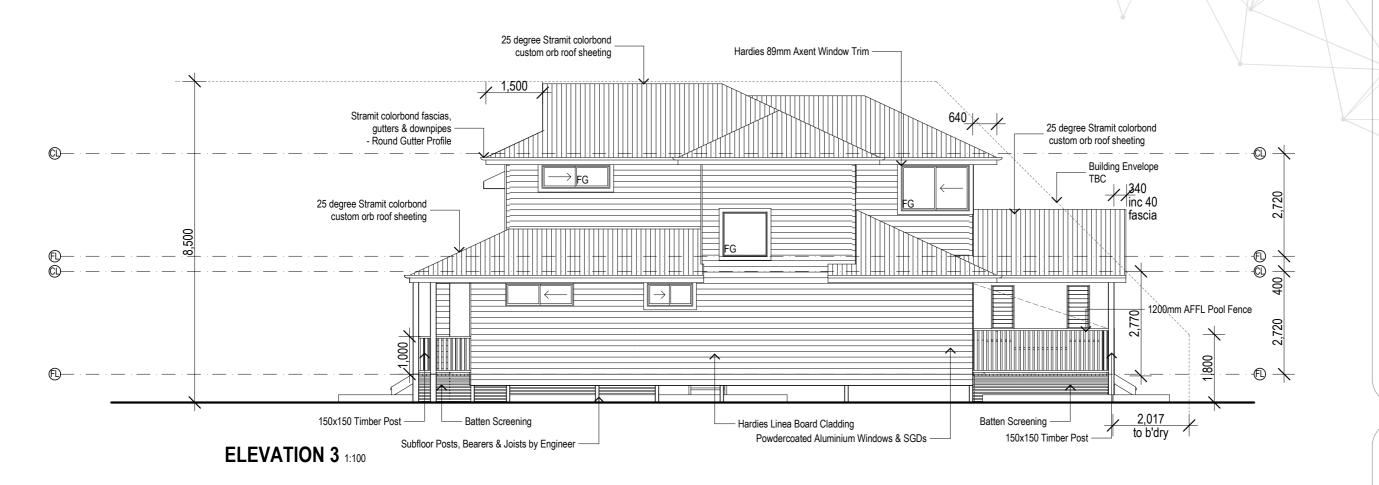
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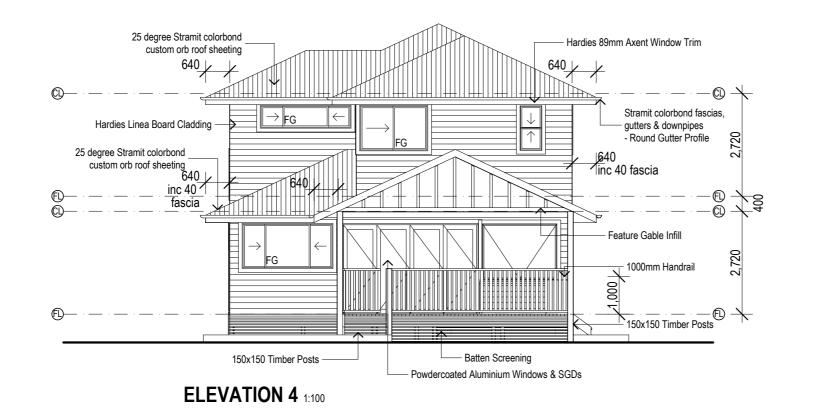
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PRELIMINARY PLANS ONLY NOT FOR CONSTRUCTION

ELEVATION 2B 1:100





- * Lift off hinges to WC door, as per N.C.C 3.8.3
- * Provide GPO & cold water provisions to DW space
- * ALL External and Internal doors & windows to be measured on site and confirmed by builder
- * Sarking to external walls
- * Insulation to ceiling (living only) R2.5 batts
- * All windows & SGD to be tinted
- * Mechanically vent rooms without natural ventilation
- * All shower roses to be AAA rated
- * Maximum water supply pressure not to exceed 500kpa at any outlet
- * Hot water system shall be heat pump, solar or gas *Water supply outlets to have WELs rating
- * Toilet cisterns to have dual flush. 6/3 Litre
- * ALL handrails to be 1000mm above finished floor level * Bedroom windows w. 2m fall height from FL to ground below must comply with N.C.C 3.9.2.5. To be fitted with non-removable screens or restricted to 125mm opening * If more than one smoke alarm is required they must be
- interconnected as per N.C.C 3.7.2

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T.B.C.

LOT 2

CUSTOM

7890

PROPOSED RESIDENCES

BUILDER:

CLIENT: MR. Z. KENNEDY

PROJECT:

KEATS STREET BYRON BAY

DRAWN BY: RH/MB

CHECKED BY:

DESIGN:

A 12/11/2019 DATE:

SCALES:

1:100 @ A3

AMENDMENTS:

B251119 G200320 C111219 H170420 D310120 i200420

E140220 J210520 F260220

SHEET NUMBER: 10 of 91

JOB NUMBER:

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PRELIMINARY PLANS ONLY NOT FOR CONSTRUCTION

* Discharge waste to connection point

* Provide sediment control to site where req'd

* Discharge stormwater to TANK, where possible, all other stormwater & overflow to kerb & channel

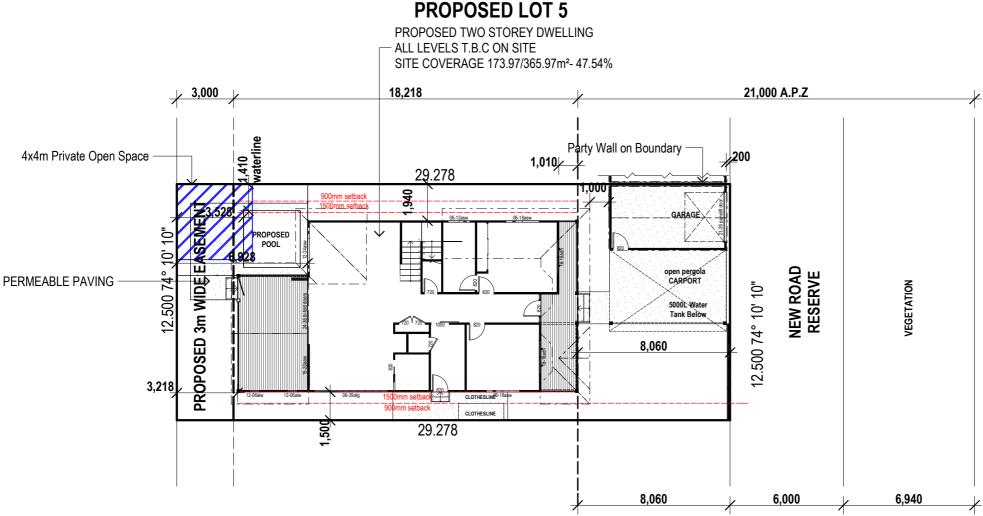
* Meter box position T.B.C on site

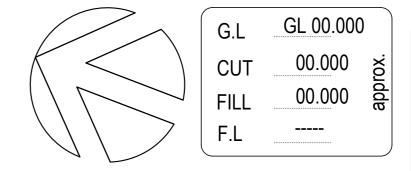
NOTE ALL STORMWATER & DRAINAGE TO BE IN COMPLIANCE WITH NCC PARTS 3.1.2. & 3.5.2. AS WELL AS ASNZS3500

* GUTTERS TO BE 125MM D-SECTION COLORBOND GUTTERS

* 2 DOWNPIPES MAX. TO EACH 100mm STORMWATER PIPE, SUBSURFACE PIPES TO BE 100mm DIAMETER, ANY UNDERSLAB PIPING TO HAVE AN INSPECTION OPENING AT UPPER END, THEN TO BE 100mm SEWER GRADE PIPING WITH NO JOINS UNDER SLAB.

** 1:5 MAX DRIVEWAY SLOPE TO LOCAL GOVERNMENT REQUIREMENTS AND STANDARDS **







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PROPOSED RESIDENCES

BUILDER:

CLIENT:

PROJECT:

MR. Z. KENNEDY

LOT 5 **KEATS STREET**

BYRON BAY

RH/MB

CUSTOM

1:100 @ A3

SO

T.B.C

DRAWN BY:

CHECKED BY: DESIGN:

DATE: A 12/11/2019

SCALES:

AMENDMENTS:

B251119 F270220 J021120 C111219 G170420 K021120 D310120 H170820

E170220 i170820

SHEET NUMBER:

JOB NUMBER:

of 11 7890

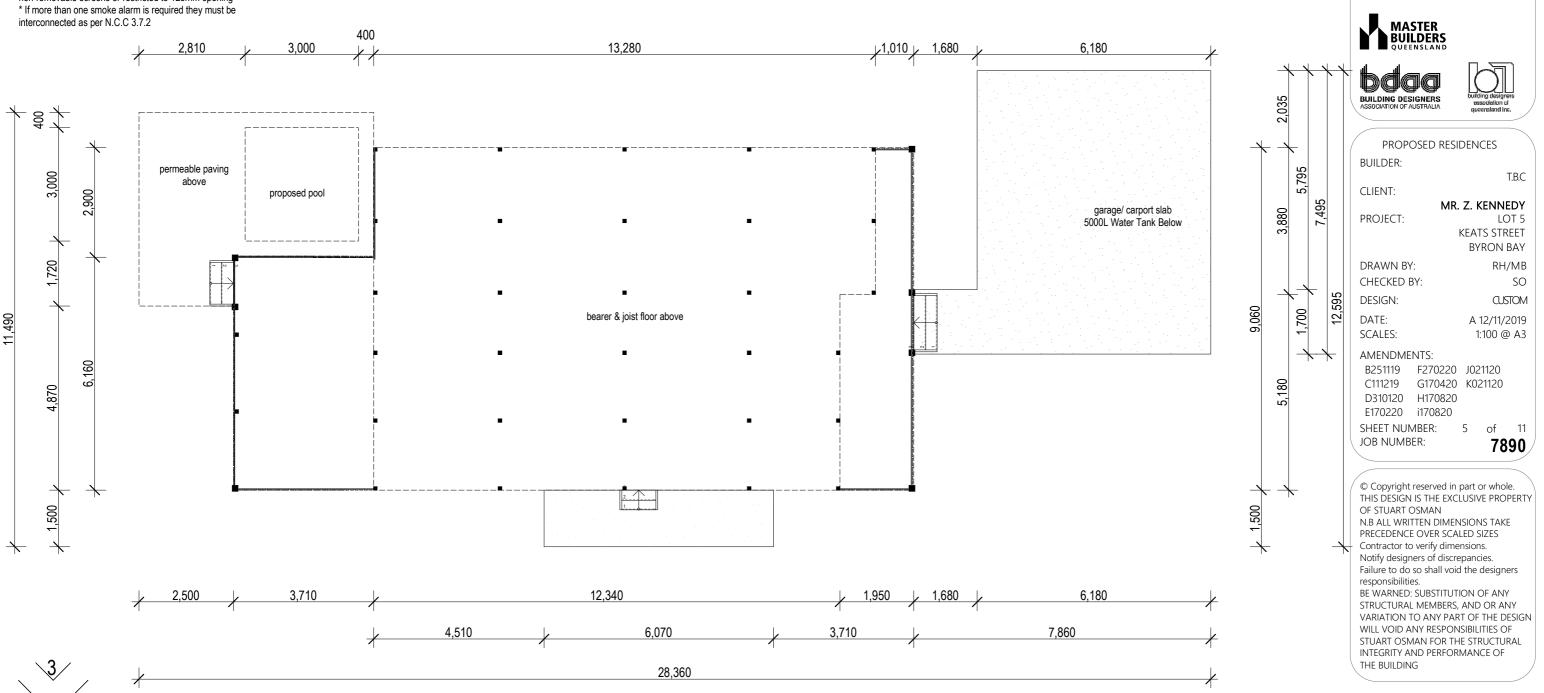
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^{*} All retaining walls by owner

- * Lift off hinges to WC door, as per N.C.C 3.8.3
- * Provide GPO & cold water provisions to DW space
- * ALL External and Internal doors & windows to be measured on site and confirmed by builder
- * Sarking to external walls
- * Insulation to ceiling (living only) R2.5 batts
- * All windows & SGD to be tinted
- * Mechanically vent rooms without natural ventilation
- * All shower roses to be AAA rated
- * Maximum water supply pressure not to exceed 500kpa at any outlet
- * Hot water system shall be heat pump, solar or gas *Water supply outlets to have WELs rating
- * Toilet cisterns to have dual flush. 6/3 Litre
- * ALL handrails to be 1000mm above finished floor level * Bedroom windows w. 2m fall height from FL to ground below must comply with N.C.C 3.9.2.5. To be fitted with
- non-removable screens or restricted to 125mm opening



ELEVATIONS

SUB-FLOOR PLAN

Stuart

Osman

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West Burleigh, QLD 4219

ABN 73 097 995 616

Burleigh Heads DC QLD 4220

QBCC License No: 1129687

- * Lift off hinges to WC door, as per N.C.C 3.8.3
- * Provide GPO & cold water provisions to DW space
- * ALL External and Internal doors & windows to be
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- Sarking to external walls
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- non-removable screens or restricted to 125mm opening * If more than one smoke alarm is required they must be interconnected as per N.C.C 3.7.2

1,000 1/90

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8

400 90 90

90

00,

650

3,710

3,710

3,290

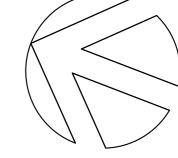
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300 [600]

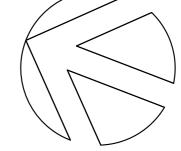
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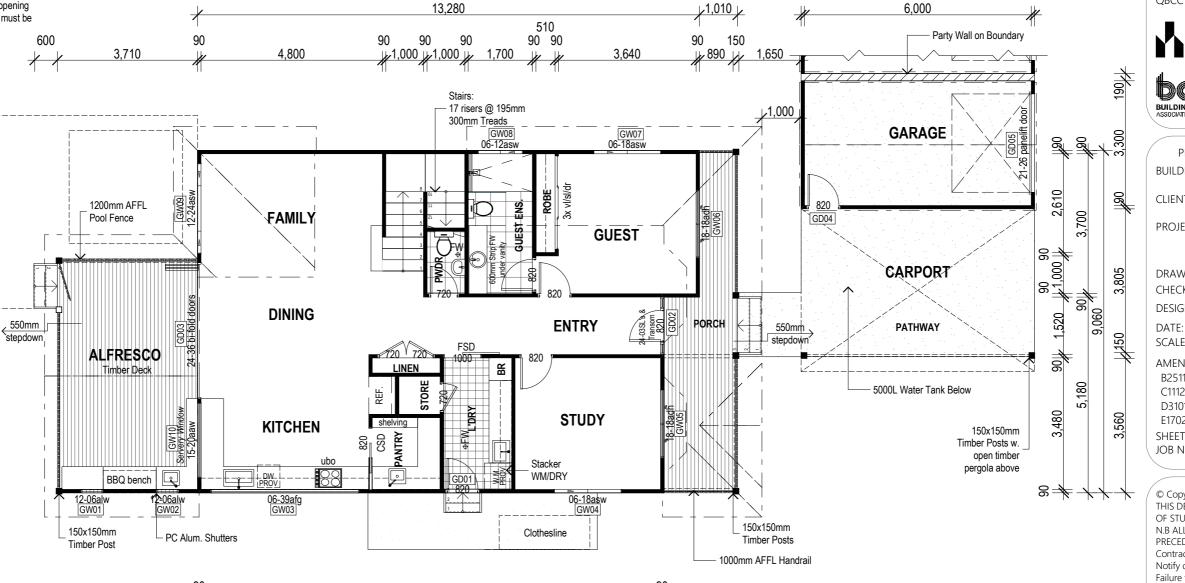
150



90



90



3,850

3,850

1,950

1,950

1,830

1,950

12,160

12,340

را 1,100 <u>الم</u>را700م

18,060

90

4,440

3,840



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F 07 55 203 033

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PO BOX 2845

Burleigh Heads DC QLD 4220 ABN 73 097 995 616

QBCC License No: 1129687







PROPOSED RESIDENCES

BUILDER:

CLIENT:

MR. Z. KENNEDY

PROJECT:

LOT 5 **KEATS STREET**

BYRON BAY

RH/MB

CUSTOM

SO

T.B.C

DRAWN BY:

CHECKED BY: DESIGN:

A 12/11/2019 1:100 @ A3 SCALES:

AMENDMENTS:

B251119 F270220 J021120 C111219 G170420 K021120

D310120 H170820 E170220 i170820

SHEET NUMBER: 6

JOB NUMBER:

of 11 7890

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THE BUILDING

ELEVATIONS

GROUND FLOOR PLAN

5,880

150

Area (m2)

115.45

93.51

21.54

22.96

14.02 267.48 m²

FLOOR AREAS

LOWER LIVING

UPPER LIVING

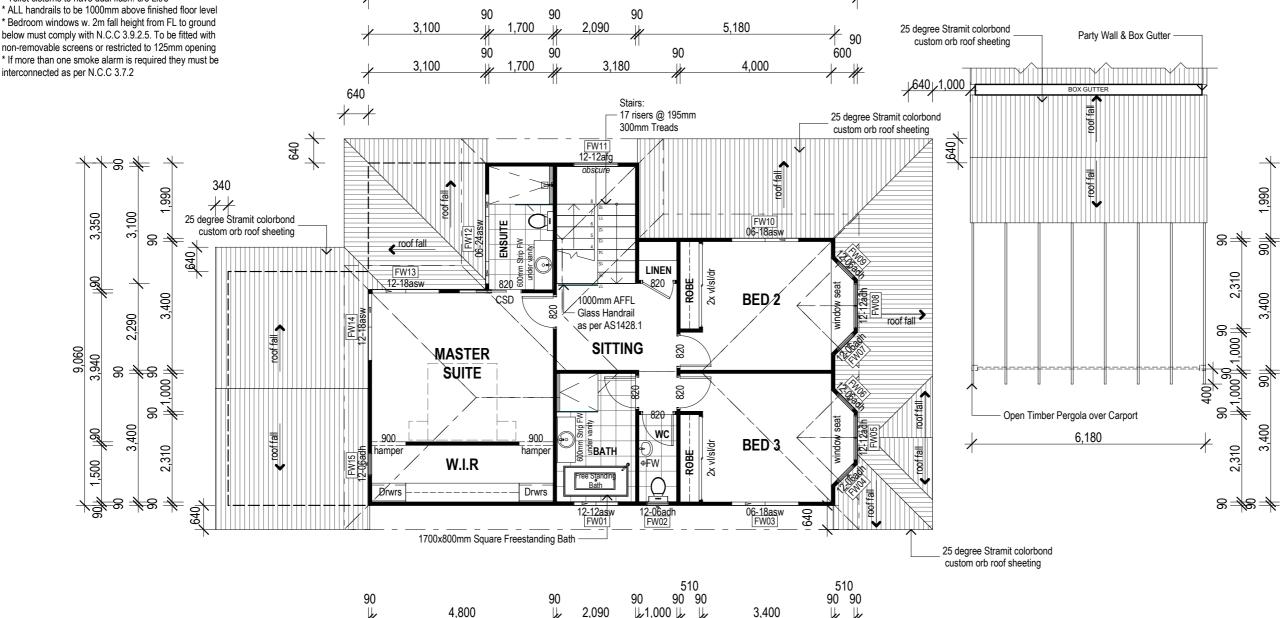
CARPORT

ALFRESCO

PORCH

TOTAL

- * Lift off hinges to WC door, as per N.C.C 3.8.3
- * Provide GPO & cold water provisions to DW space
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12,940



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PO BOX 2845

Burleigh Heads DC QLD 4220 ABN 73 097 995 616

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PROPOSED RESIDENCES

BUILDER:

CLIENT:

PROJECT:

MR. Z. KENNEDY LOT 5

KEATS STREET BYRON BAY

T.B.C

SO

DRAWN BY: RH/MB

CHECKED BY:

DESIGN: CUSTOM

DATE: A 12/11/2019

1:100 @ A3 SCALES:

AMENDMENTS:

B251119 F270220 J021120 C111219 G170420 K021120

D310120 H170820

E170220 i170820

SHEET NUMBER: JOB NUMBER:

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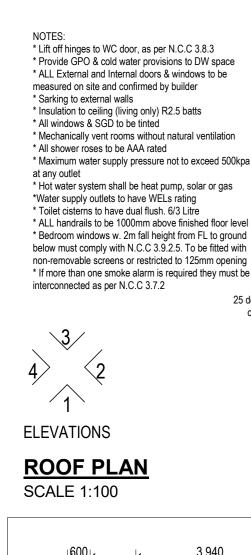
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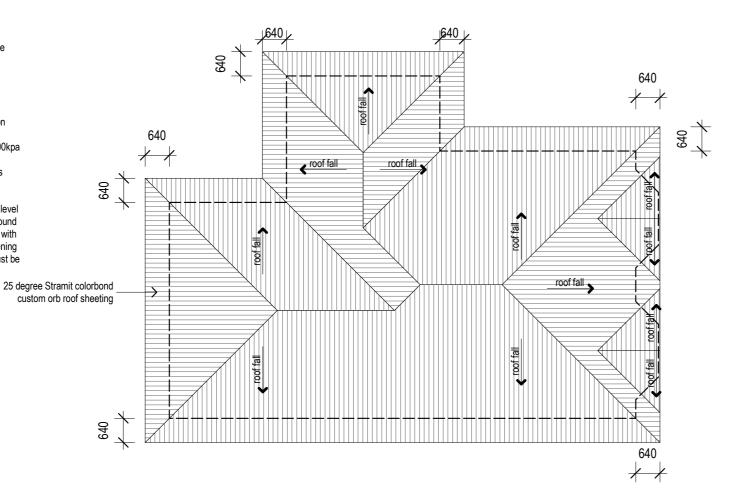
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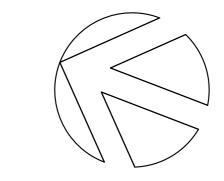


FIRST FLOOR PLAN

ELEVATIONS









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PO BOX 2845

Burleigh Heads DC QLD 4220 ABN 73 097 995 616

QBCC License No: 1129687







PROPOSED RESIDENCES BUILDER: T.B.C

CLIENT:

PROJECT:

MR. Z. KENNEDY LOT 5

KEATS STREET

BYRON BAY

SO

CUSTOM

RH/MB

CHECKED BY:

DATE: A 12/11/2019 1:100 @ A3

AMENDMENTS:

B251119 F270220 J021120 C111219 G170420 K021120

D310120 H170820 E170220 i170820

SHEET NUMBER: 8

JOB NUMBER:

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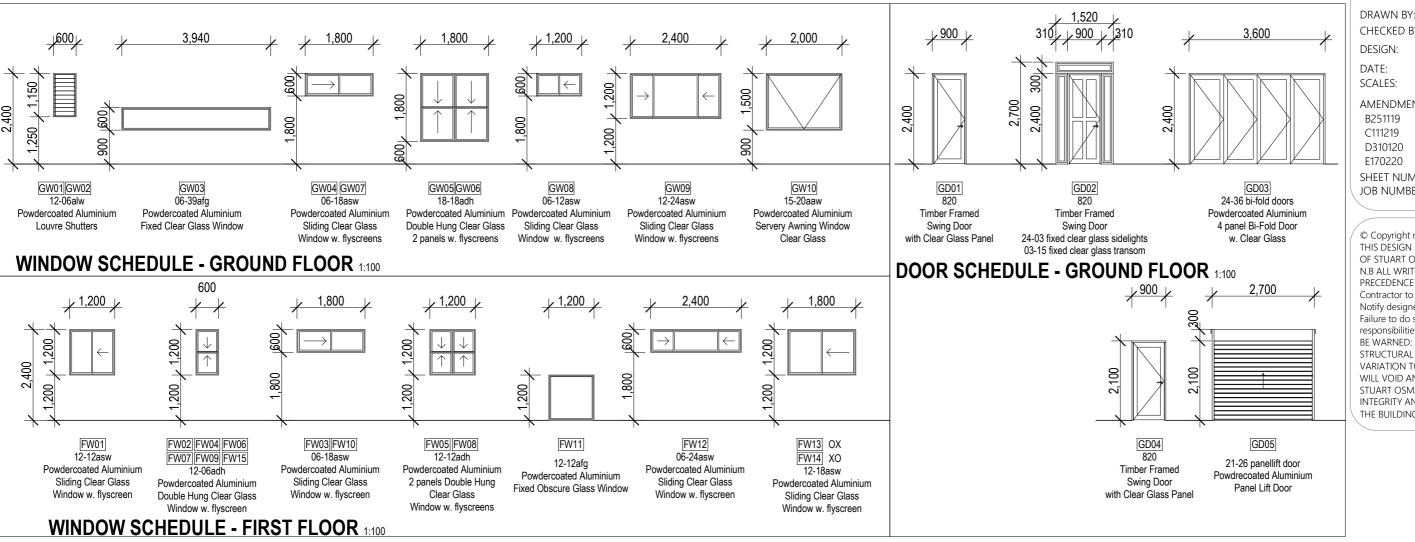
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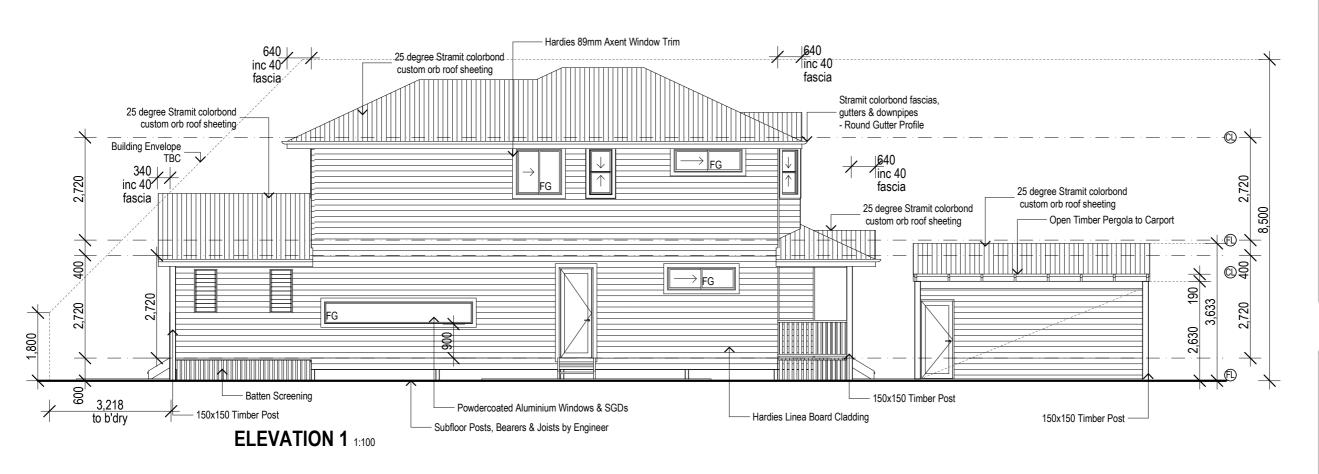
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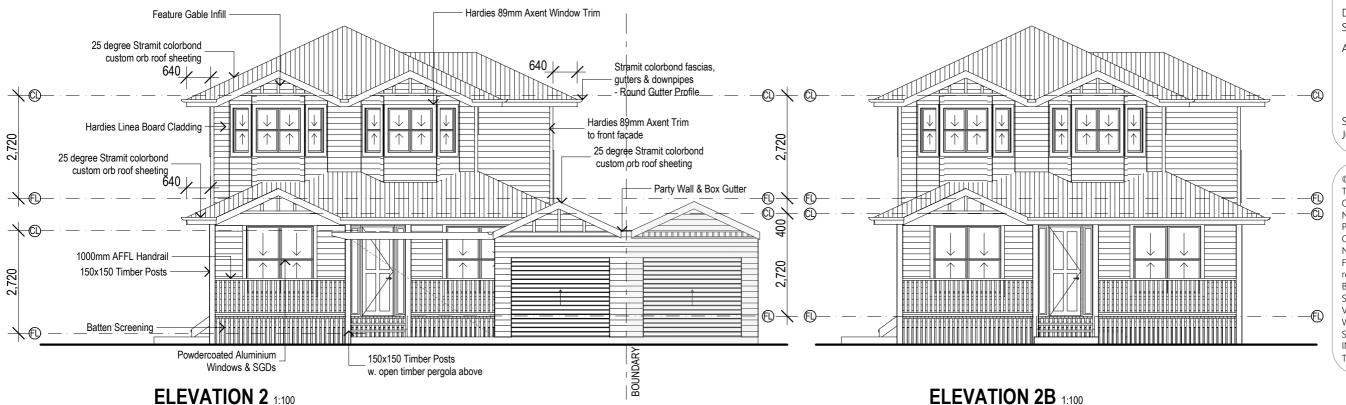
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PO BOX 2845

Burleigh Heads DC QLD 4220 ABN 73 097 995 616

QBCC License No: 1129687







PROPOSED RESIDENCES

BUILDER:

CLIENT:

MR. Z. KENNEDY

PROJECT:

LOT 5 **KEATS STREET**

BYRON BAY

RH/MB

CUSTOM

SO

T.B.C

DRAWN BY:

CHECKED BY:

DESIGN:

DATE: A 12/11/2019

SCALES: 1:100 @ A3

AMENDMENTS:

B251119 F270220 J021120 C111219 G170420 K021120

H170820 D310120

E170220 i170820

SHEET NUMBER:

JOB NUMBER:

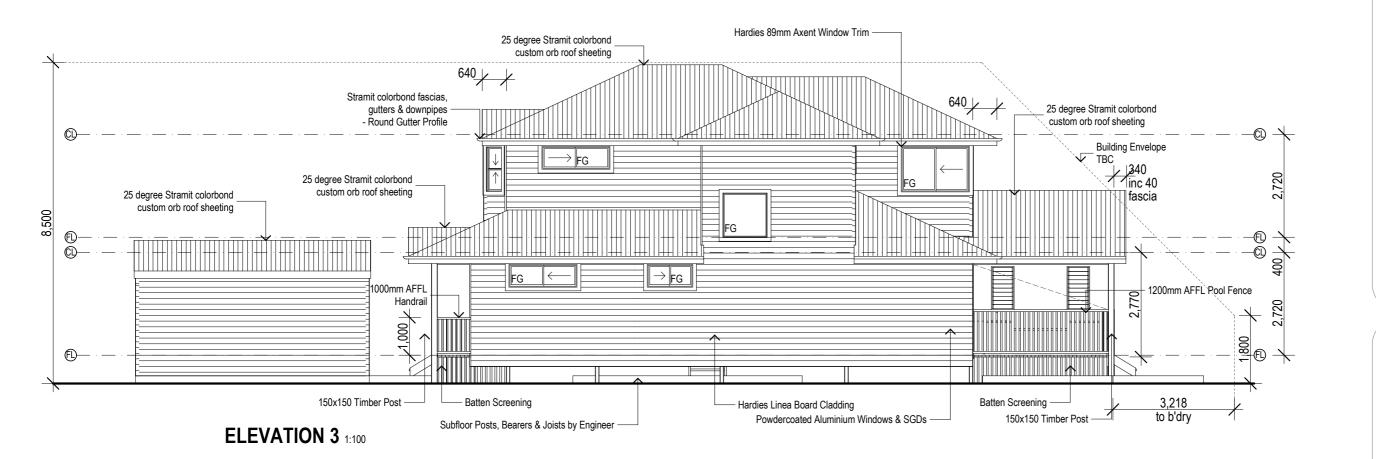
of 11 7890

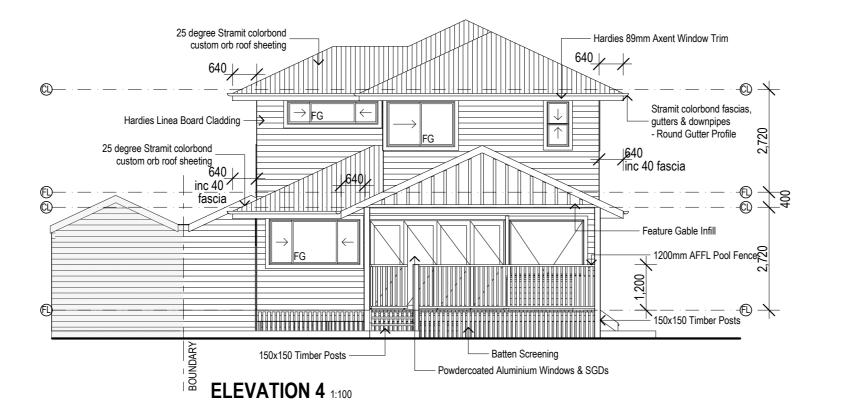
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THE BUILDING





B251119 F270220 J021120 C111219 G170420 K021120 D310120 H170820

E170220 i170820

SHEET NUMBER: JOB NUMBER:

UMBER: **7890**

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STUART OSMAN FOR THE STRUCTURAL
INTEGRITY AND PERFORMANCE OF
THE BUILDING

- * Lift off hinges to WC door, as per N.C.C 3.8.3
- * Provide GPO & cold water provisions to DW space
- * ALL External and Internal doors & windows to be measured on site and confirmed by builder
- * Sarking to external walls
- * Insulation to ceiling (living only) R2.5 batts
 * All windows & SGD to be tinted
- * Mechanically vent rooms without natural ventilation
- * All shower roses to be AAA rated

 * Maximum water supply pressure not to exceed 500kpa
- at any outlet

 * Hot water system shall be heat pump, solar or gas

 *Water supply outlets to have WELs rating
- * Toilet cisterns to have dual flush. 6/3 Litre

interconnected as per N.C.C 3.7.2

- * ALL handrails to be 1000mm above finished floor level
- * Bedroom windows w. 2m fall height from FL to ground below must comply with N.C.C 3.9.2.5. To be fitted with non-removable screens or restricted to 125mm opening * If more than one smoke alarm is required they must be

Stuart Osman

P 07 55 203 022

F 07 55 203 033

E design@stuartosman.com.au Studio 2/71 Township Dr, West Burleigh, QLD 4219

PO BOX 2845

Burleigh Heads DC QLD 4220 ABN 73 097 995 616

PROPOSED RESIDENCES

QBCC License No: 1129687





BUILDER:

CLIENT:

PROJECT:

DRAWN BY:

DESIGN:

DATE:

SCALES:

CHECKED BY:

AMENDMENTS:



MR. Z. KENNEDY

KEATS STREET

BYRON BAY

T.B.C

LOT 5

RH/MB

CUSTOM

A 12/11/2019 1:100 @ A3

of 11

SO

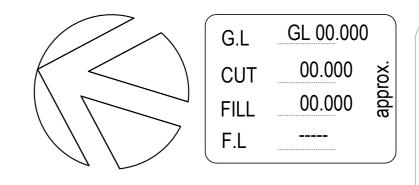
PRELIMINARY PLANS ONLY NOT FOR CONSTRUCTION

- * Discharge waste to connection point
- * Provide sediment control to site where reg'd
- * Discharge stormwater to TANK, where possible, all other stormwater & overflow to kerb & channel
- * Meter box position T.B.C on site
- * All retaining walls by owner

NOTE ALL STORMWATER & DRAINAGE TO BE IN COMPLIANCE WITH NCC PARTS 3.1.2. & 3.5.2. AS WELL AS ASNZS3500

- * GUTTERS TO BE 125MM D-SECTION COLORBOND GUTTERS
- * 2 DOWNPIPES MAX. TO EACH 100mm STORMWATER PIPE, SUBSURFACE PIPES TO BE 100mm DIAMETER, ANY UNDERSLAB PIPING TO HAVE AN INSPECTION OPENING AT UPPER END, THEN TO BE 100mm SEWER GRADE PIPING WITH NO JOINS UNDER SLAB.

** 1:5 MAX DRIVEWAY SLOPE TO LOCAL GOVERNMENT REQUIREMENTS AND STANDARDS **

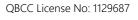




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PO BOX 2845 Burleigh Heads DC QLD 4220 ABN 73 097 995 616









PROPOSED RESIDENCES
BUILDER:
T.B.C
CLIENT:
MR. Z. KENNEDY

PROJECT: LOT 6
KEATS STREET
BYRON BAY

 CHECKED BY:
 SO

 DESIGN:
 CUSTOM

 DATE:
 A 17/12/2019

 SCALES:
 1:100 @ A3

AMENDMENTS: B050220 F170820 C140220 G021120 D270220 H021120

E170420 SHEET NUMBER:

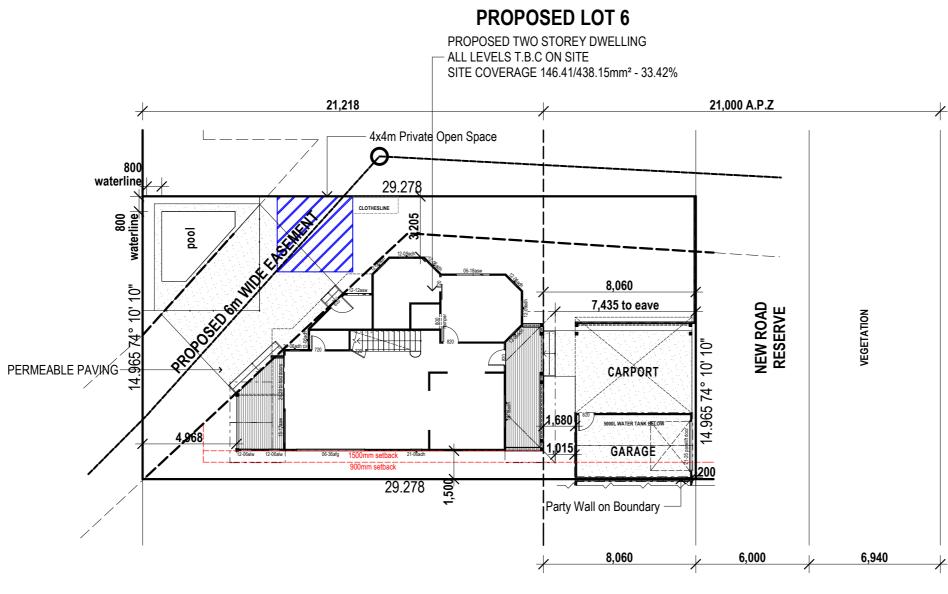
DRAWN BY:

SHEET NUMBER: 4 of 11 7890

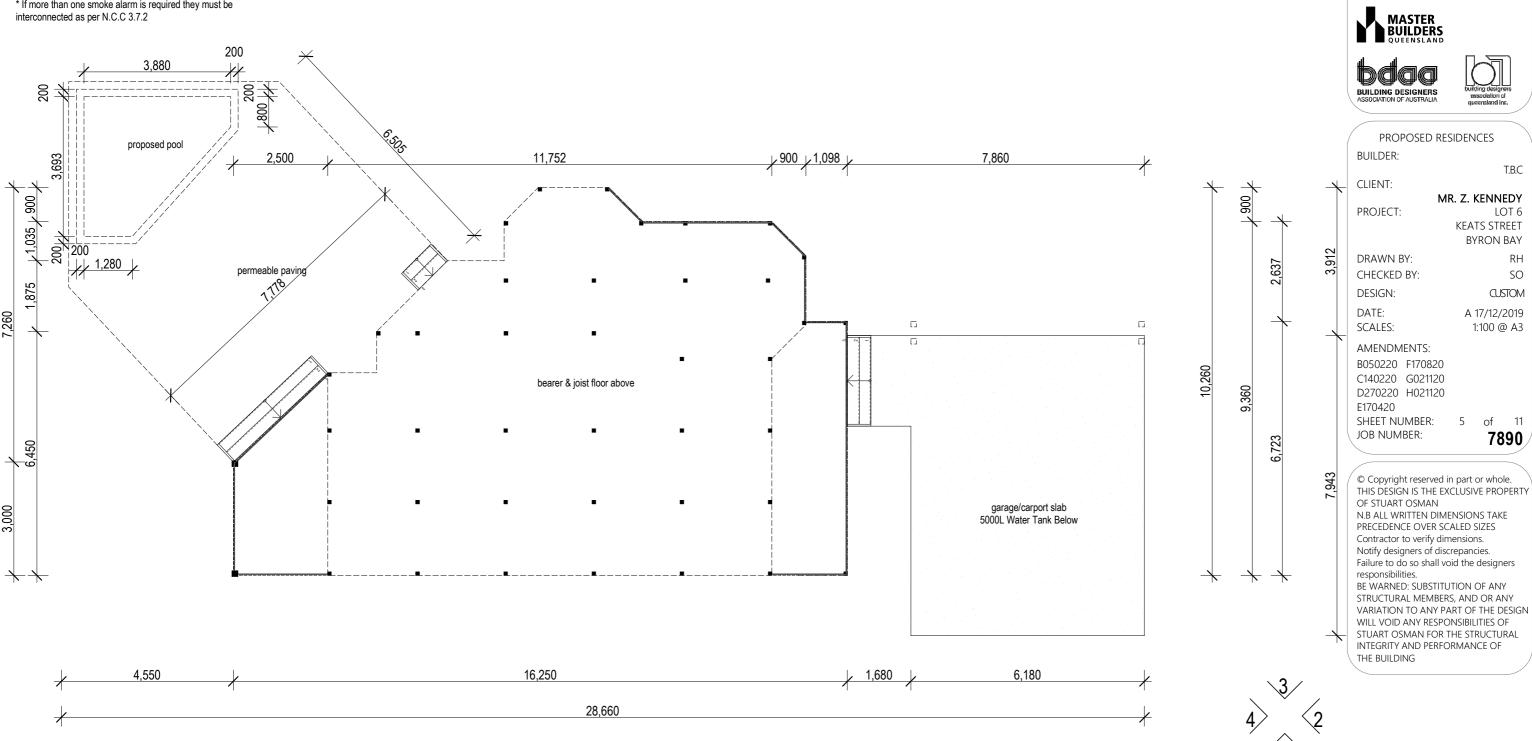
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INTEGRITY AND PERFORMANCE OF
THE BUILDING



- * Lift off hinges to WC door, as per N.C.C 3.8.3
- * Provide GPO & cold water provisions to DW space
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- *Water supply outlets to have WELs rating
- * Toilet cisterns to have dual flush. 6/3 Litre
- * ALL handrails to be 1000mm above finished floor level * Bedroom windows w. 2m fall height from FL to ground below must comply with N.C.C 3.9.2.5. To be fitted with non-removable screens or restricted to 125mm opening
- * If more than one smoke alarm is required they must be



ELEVATIONS

Stuart Osman

P 07 55 203 022

F 07 55 203 033

PO BOX 2845

E design@stuartosman.com.au

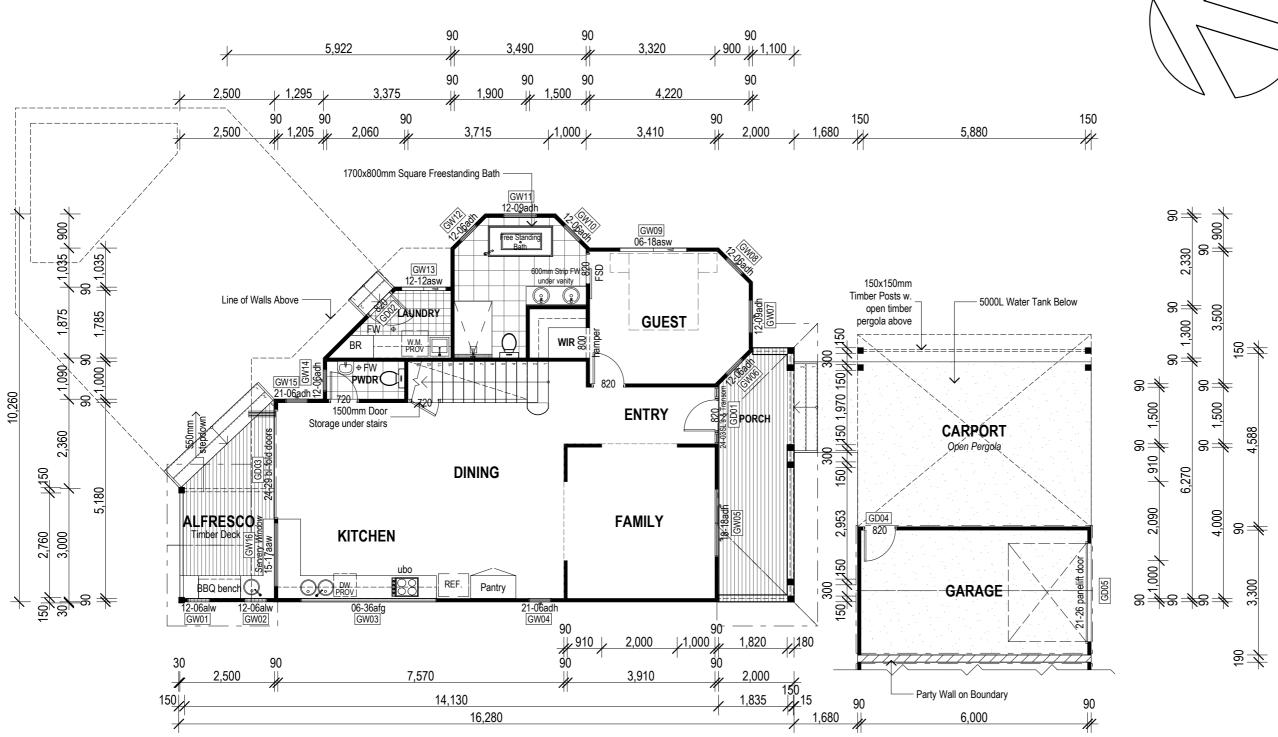
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West Burleigh, QLD 4219

ABN 73 097 995 616

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QBCC License No: 1129687







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PO BOX 2845

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Burleigh Heads DC QLD 4220





T.B.C

RH

SO

Stuart Osman

PROPOSED RESIDENCES

BUILDER:

CLIENT:

PROJECT:

MR. Z. KENNEDY LOT 6

KEATS STREET BYRON BAY

DRAWN BY:

CHECKED BY: DESIGN:

CUSTOM DATE: A 17/12/2019 1:100 @ A3

SCALES:

AMENDMENTS: B050220 F170820 C140220 G021120

D270220 H021120

E170420 SHEET NUMBER:

JOB NUMBER:

of 11 7890

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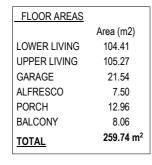
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ELEVATIONS

below must comply with N.C.C 3.9.2.5. To be fitted with GROUND FLOOR PLAN below must comply with N.C.C 3.9.2.5. To be fitted with non-removable screens or restricted to 125mm opening

SCALE 1:100



* Lift off hinges to WC door, as per N.C.C 3.8.3

measured on site and confirmed by builder

* Insulation to ceiling (living only) R2.5 batts

*Water supply outlets to have WELs rating

* Toilet cisterns to have dual flush. 6/3 Litre

* Sarking to external walls

* All windows & SGD to be tinted

* All shower roses to be AAA rated

interconnected as per N.C.C 3.7.2

* Provide GPO & cold water provisions to DW space

* Mechanically vent rooms without natural ventilation

* Hot water system shall be heat pump, solar or gas

* Maximum water supply pressure not to exceed 500kpa

* ALL handrails to be 1000mm above finished floor level

* Bedroom windows w. 2m fall height from FL to ground

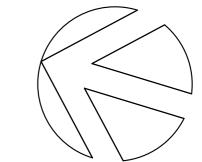
* If more than one smoke alarm is required they must be

* ALL External and Internal doors & windows to be

PRELIMINARY PLANS ONLY NOT FOR CONSTRUCTION

N.B ALL WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED SIZES

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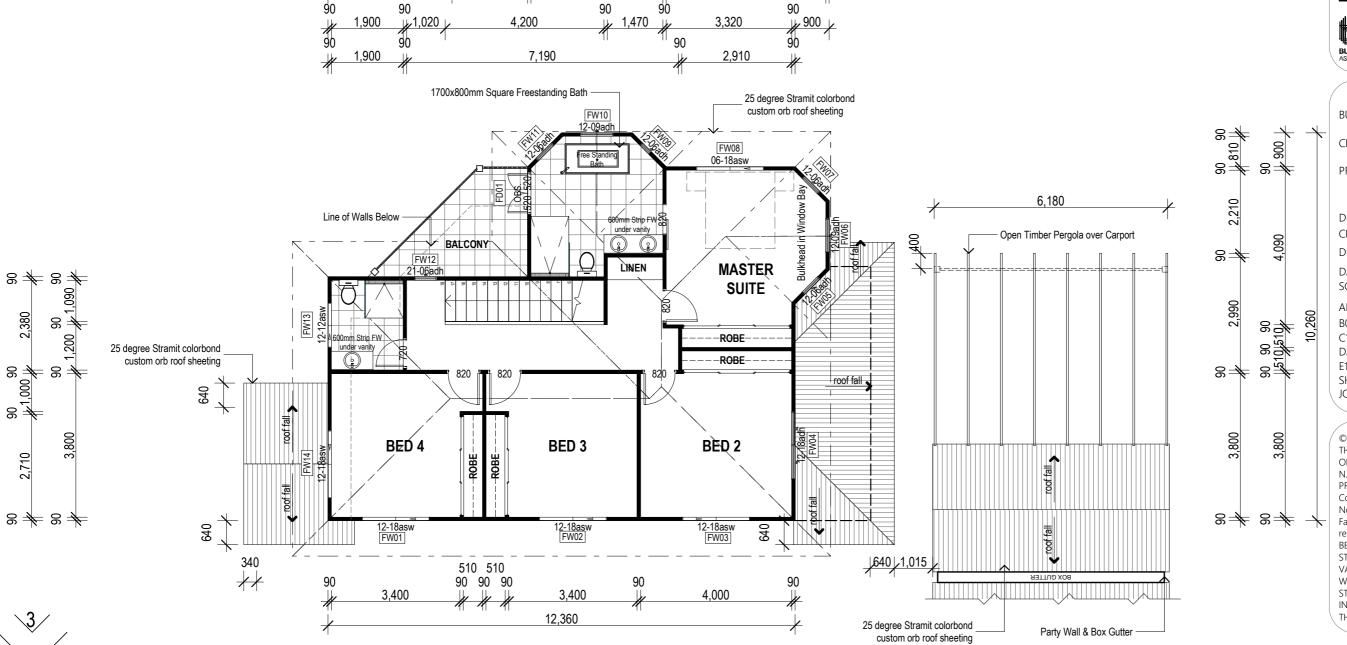
Burleigh Heads DC QLD 4220 ABN 73 097 995 616

QBCC License No: 1129687









90

4,220

90

3,490

3,280

90

BUILDER: T.B.C CLIENT: MR. Z. KENNEDY PROJECT: LOT 6 **KEATS STREET** BYRON BAY DRAWN BY: RH CHECKED BY: SO DESIGN: CUSTOM DATE: A 17/12/2019 SCALES: 1:100 @ A3 AMENDMENTS: B050220 F170820 C140220 G021120 D270220 H021120 E170420 SHEET NUMBER: of 11 JOB NUMBER: 7890

PROPOSED RESIDENCES

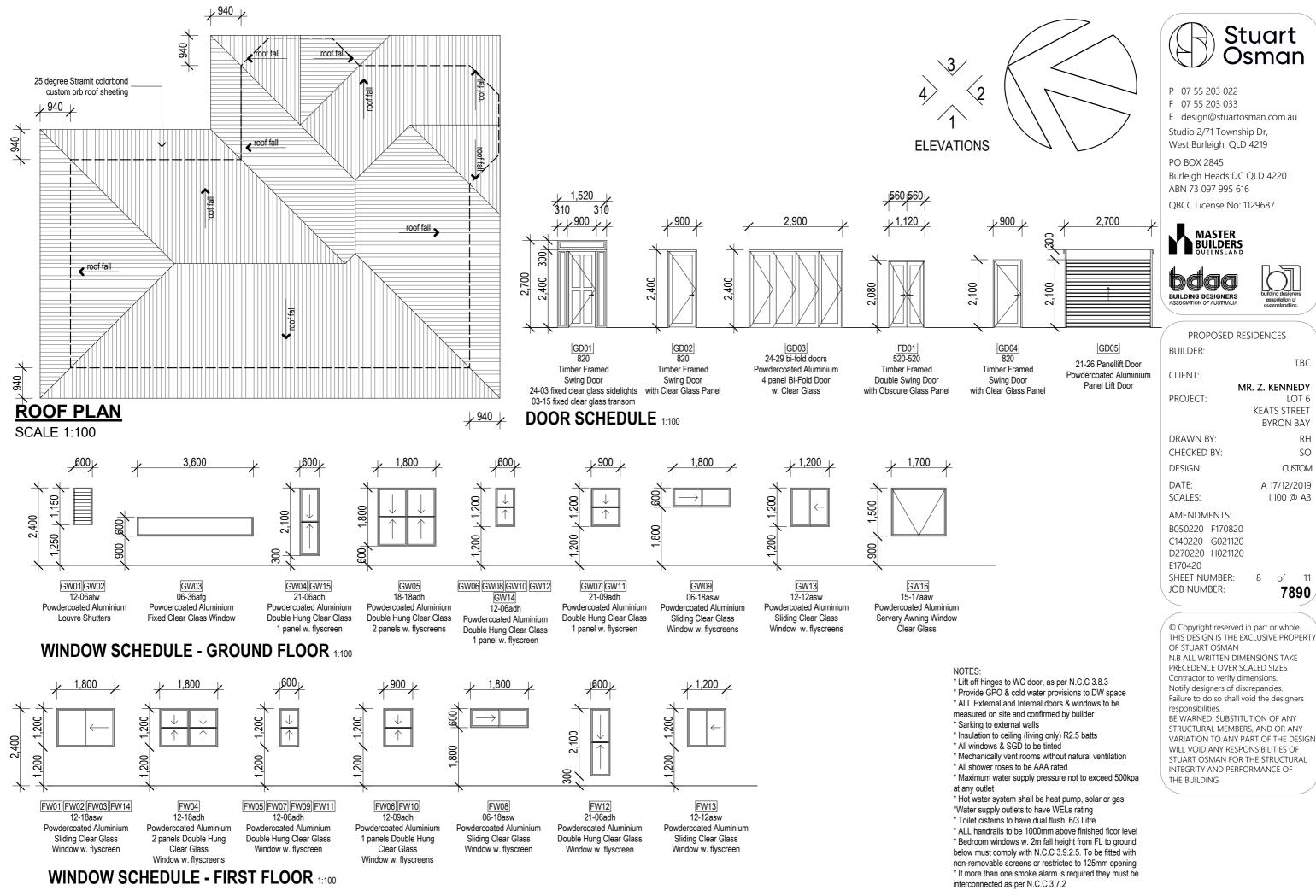
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ELEVATIONS

FIRST FLOOR PLAN



PRELIMINARY PLANS ONLY NOT FOR CONSTRUCTION

T.B.C

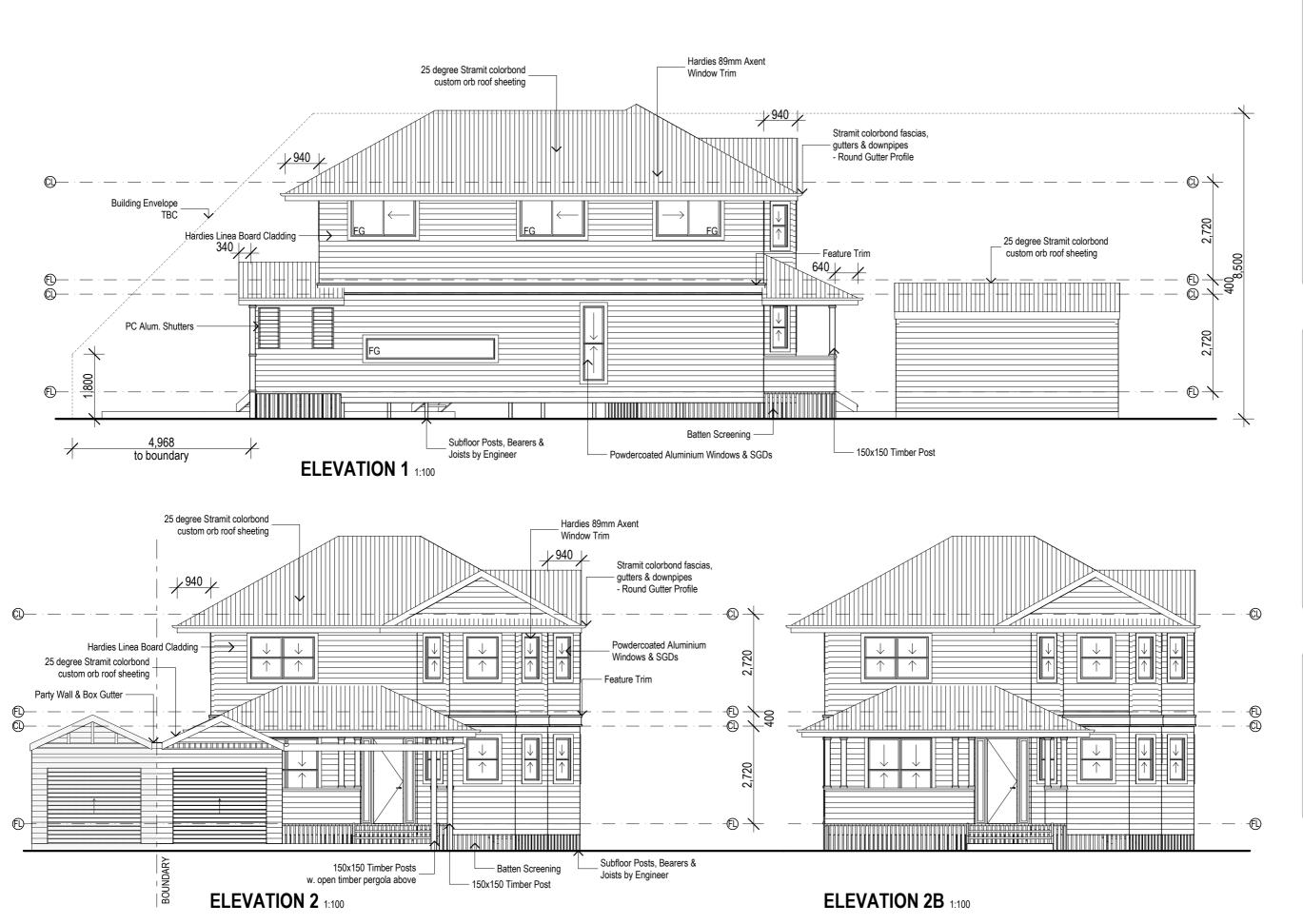
LOT 6

SO

CUSTOM

of

7890

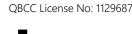




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PROPOSED RESIDENCES

BUILDER:

CLIENT:

PROJECT:

MR. Z. KENNEDY

KEATS STREET BYRON BAY

T.B.C

LOT 6

RH

SO

CUSTOM

of 11

7890

DRAWN BY:

CHECKED BY:

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DATE: A 17/12/2019

SCALES:

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D270220 H021120

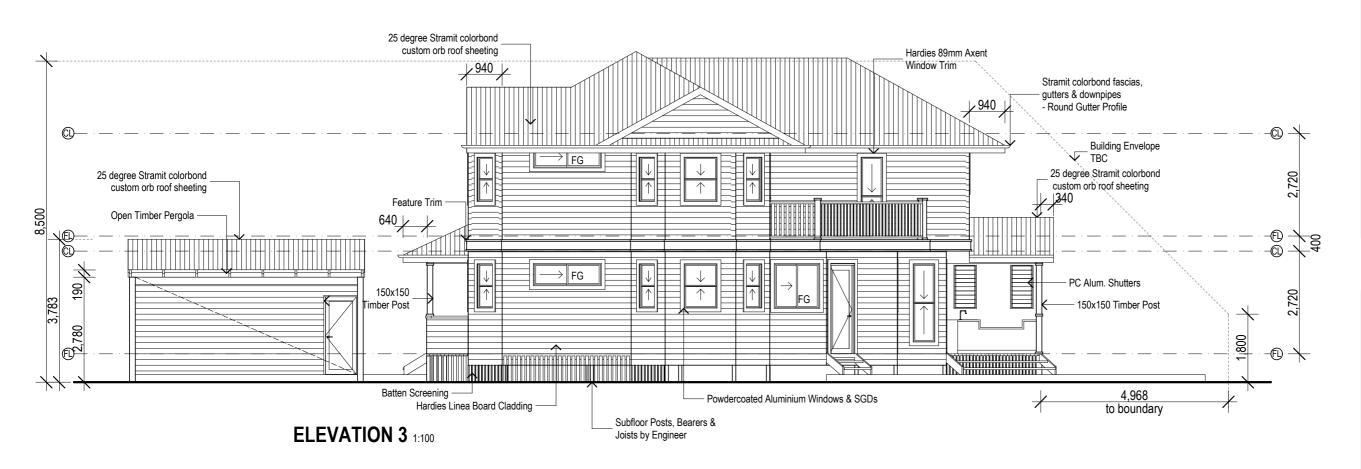
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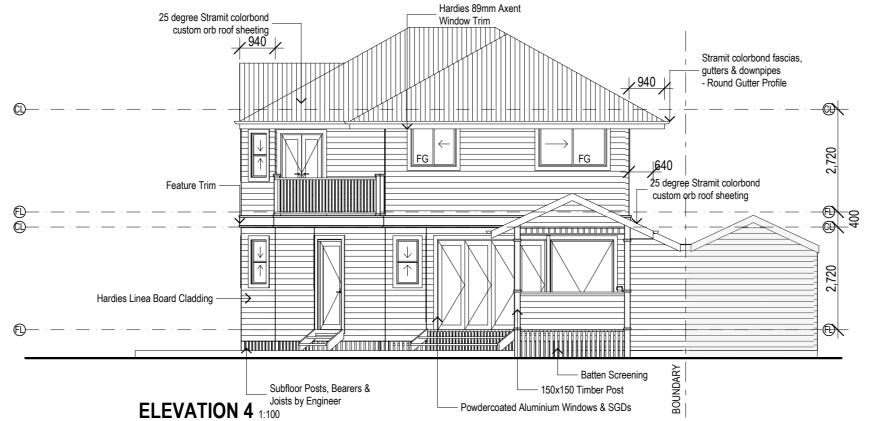
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PROPOSED RESIDENCES

BUILDER:

CLIENT:

ILINI.

MR. Z. KENNEDY
PROJECT: LOT 6

LOT 6 KEATS STREET

T.B.C

CUSTOM

1:100 @ A3

BYRON BAY

DRAWN BY: RH
CHECKED BY: SO

DESIGN:

DATE: A 17/12/2019

SCALES:

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B050220 F170820 C140220 G021120

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E170420 SHEET NUMBER:

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10 of 11 **7890**

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NOTES

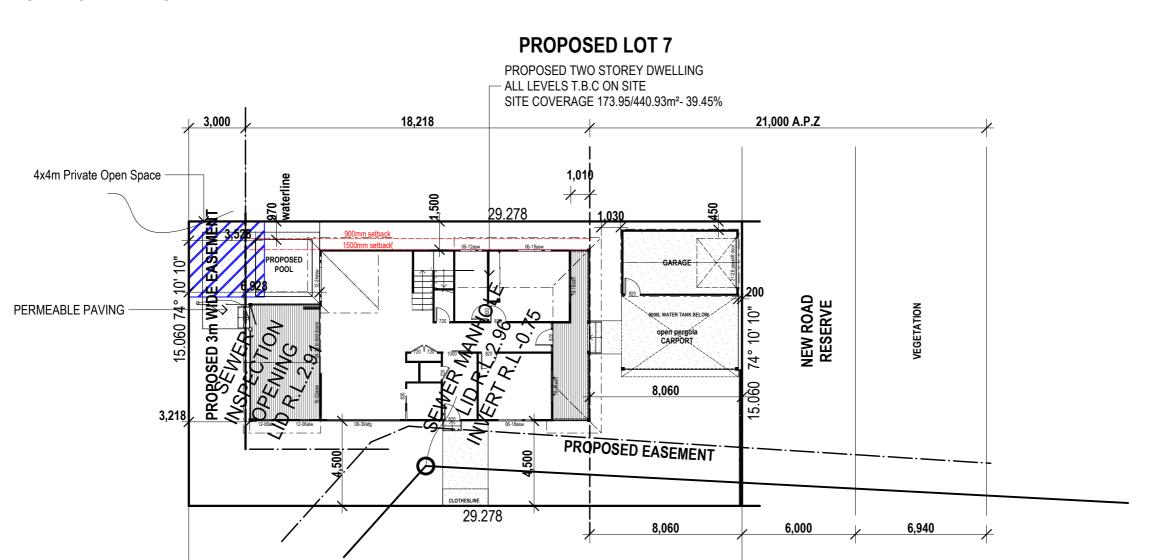
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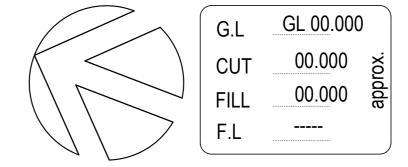
- * Discharge waste to connection point
- * Provide sediment control to site where req'd
- * Discharge stormwater to TANK, where possible, all other stormwater & overflow to kerb & channel
- * Meter box position T.B.C on site
- * All retaining walls by owner

NOTE ALL STORMWATER & DRAINAGE TO BE IN COMPLIANCE WITH NCC PARTS 3.1.2. & 3.5.2. AS WELL AS ASNZS3500

- * GUTTERS TO BE 125MM D-SECTION COLORBOND GUTTERS
- * 2 DOWNPIPES MAX. TO EACH 100mm STORMWATER PIPE, SUBSURFACE PIPES TO BE 100mm DIAMETER, ANY UNDERSLAB PIPING TO HAVE AN INSPECTION OPENING AT UPPER END, THEN TO BE 100mm SEWER GRADE PIPING WITH NO JOINS UNDER SLAB.

** 1:5 MAX DRIVEWAY SLOPE TO LOCAL GOVERNMENT REQUIREMENTS AND STANDARDS **







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QBCC License No: 1129687







PROPOSED RESIDENCES

BUILDER:

CLIENT:

PROJECT:

_....

KEATS STREET BYRON BAY

MR. Z. KENNEDY

T.B.C

LOT 7

SO

CUSTOM

RH/MB

DRAWN BY: CHECKED BY:

DESIGN:

DESIGN.

DATE: A 12/11/2019 SCALES: 1:100 @ A3

JC/ (LLJ.

AMENDMENTS:

B251119 F270220 J021120 C111219 G170420

D310120 H180820

E140220 i021120

SHEET NUMBER:

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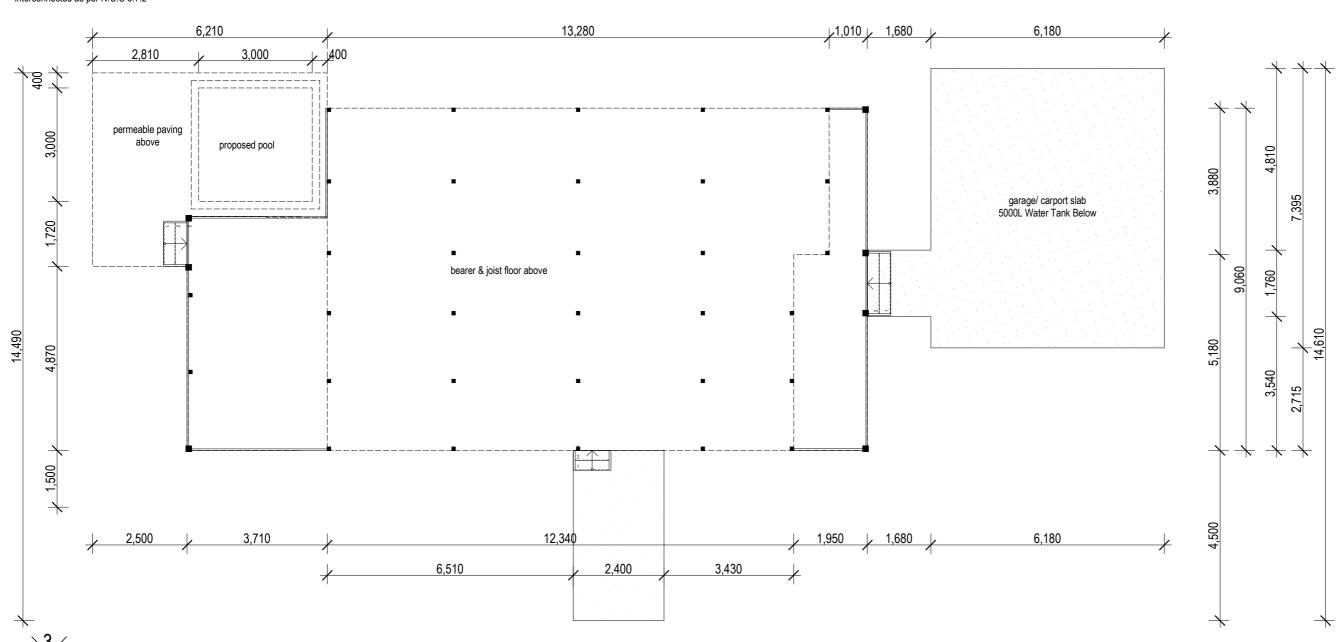
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PO BOX 2845 Burleigh Heads DC QLD 4220 ABN 73 097 995 616

West Burleigh, QLD 4219

QBCC License No: 1129687







PROPOSED RESIDENCES

BUILDER:

CLIENT:

PROJECT:

INI.

MR. Z. KENNEDY

LOT 7 KEATS STREET

T.B.C

SO

CUSTOM

1:100 @ A3

BYRON BAY RH/MB

DRAWN BY: CHECKED BY:

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DATE: A 12/11/2019

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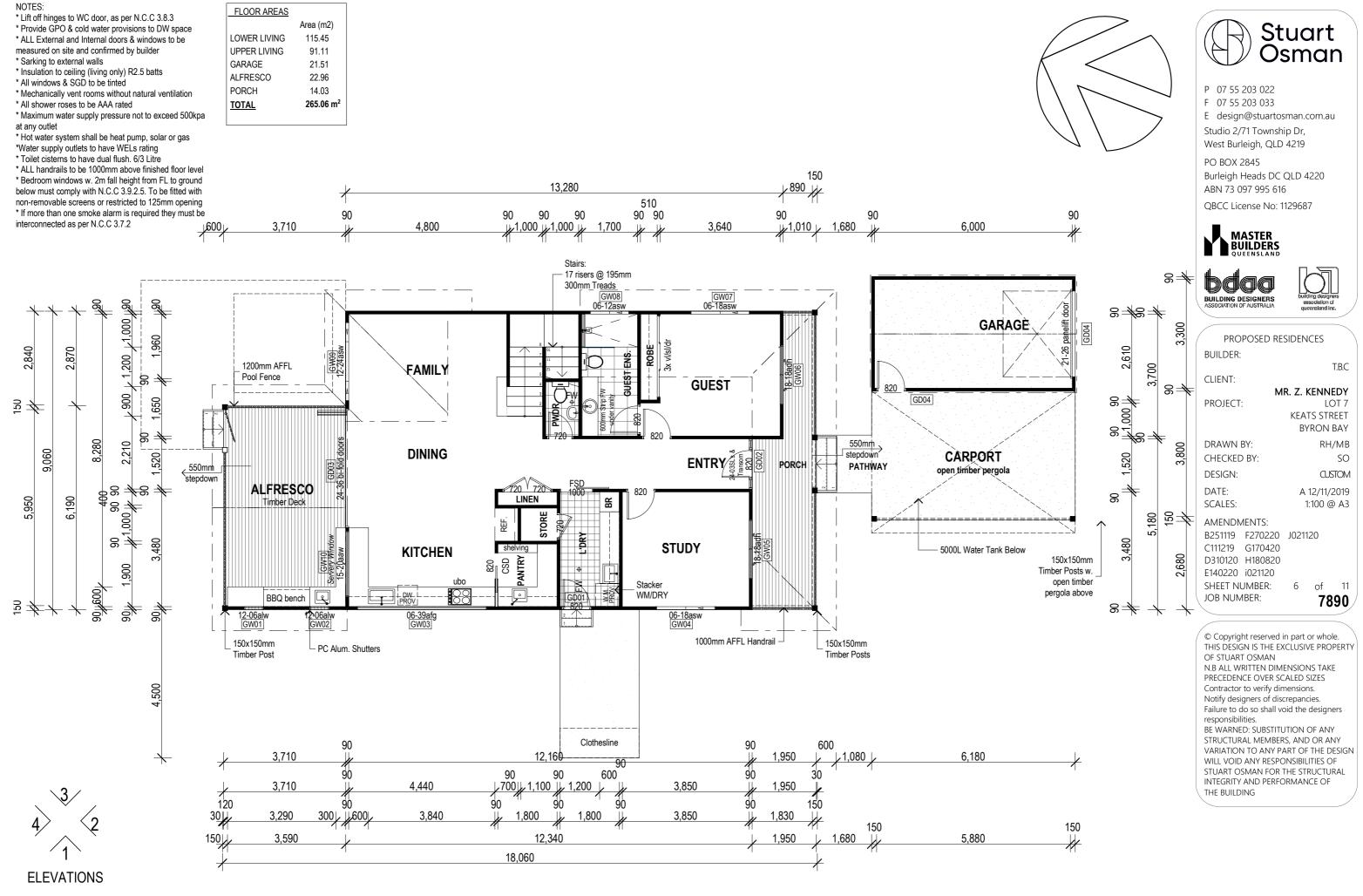
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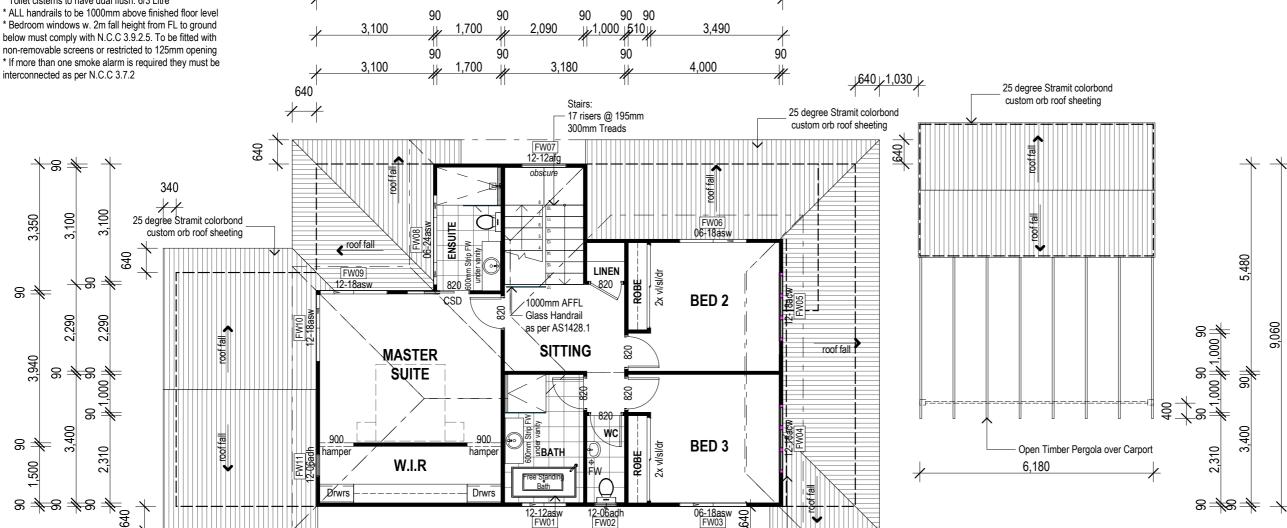
THE BUILDING

ELEVATIONS





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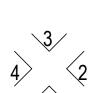
Fabric Window Awnings

90 90

12,340

12,340

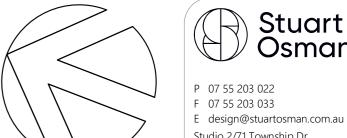
1700x800mm Square Freestanding Bath



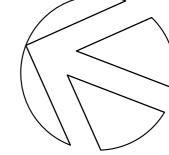
ELEVATIONS

FIRST FLOOR PLAN

SCALE 1:100







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Stuart Osman

PROPOSED RESIDENCES

BUILDER:

CLIENT:

PROJECT:

KEATS STREET BYRON BAY

MR. Z. KENNEDY

T.B.C

LOT 7

SO

DRAWN BY: RH/MB

CHECKED BY:

DESIGN: CUSTOM DATE:

A 12/11/2019 1:100 @ A3 SCALES:

AMENDMENTS:

B251119 F270220 J021120

C111219 G170420 D310120 H180820

E140220 i021120

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ELEVATIONS

ROOF PLAN

ر 1,200 ر

FW01

12-12asw

Powdercoated Aluminium

Sliding Clear Glass

FW02 FW11

12-06adh

Powdercoated Aluminium

Double Hung Clear Glass

Window w. flyscreen

WINDOW SCHEDULE - FIRST FLOOR 1:100

FW03 FW06

06-18asw

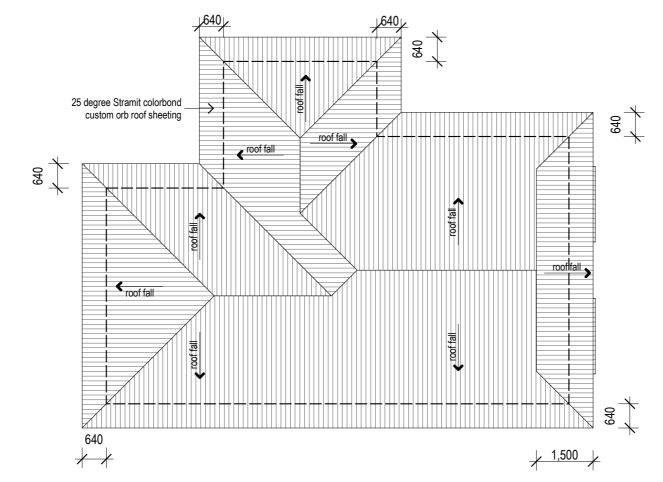
Powdercoated Aluminium

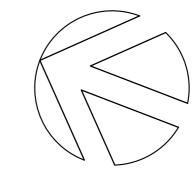
Sliding Clear Glass

Window w. flyscreen

1,200 1,200

SCALE 1:100







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QBCC License No: 1129687







PROPOSED RESIDENCES

BUILDER:

CLIENT:

PROJECT:

MR. Z. KENNEDY

LOT 7 **KEATS STREET**

BYRON BAY

T.B.C

SO CUSTOM

DRAWN BY: RH/MB

CHECKED BY:

DESIGN:

DATE: A 12/11/2019

SCALES: 1:100 @ A3

AMENDMENTS:

B251119 F270220 J021120

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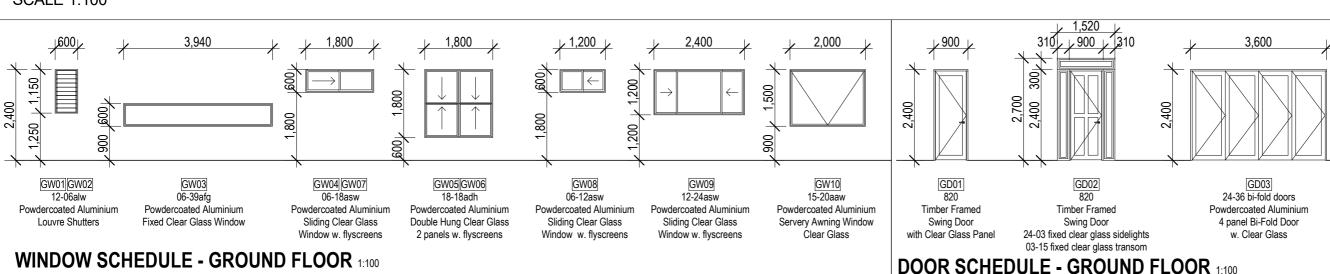
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FW08

06-24asw

Powdercoated Aluminium

Sliding Clear Glass

Window w. flyscreen

FW09 OX FW10 XO

12-18asw

Powdercoated Aluminium

Sliding Clear Glass

Window w. flyscreen

1,200

FW07

12-12afg

Powdercoated Aluminium

Fixed Obscure Glass Window

FW04 FW05

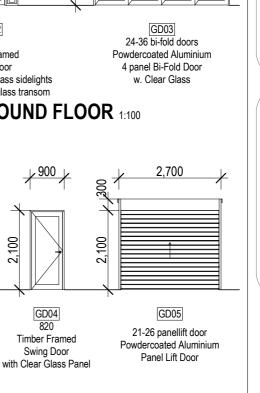
12-18acw

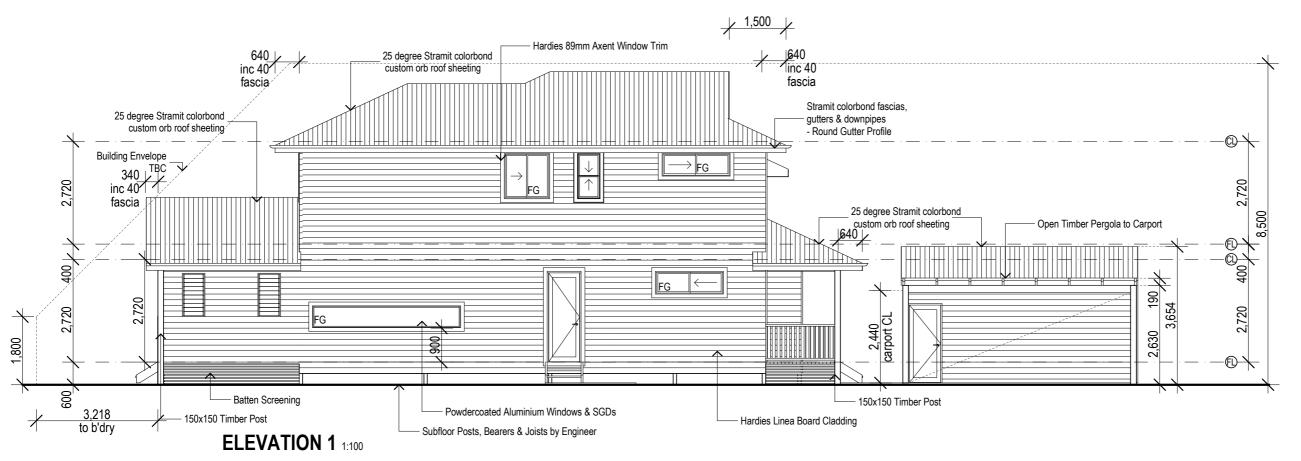
Powdercoated Aluminium

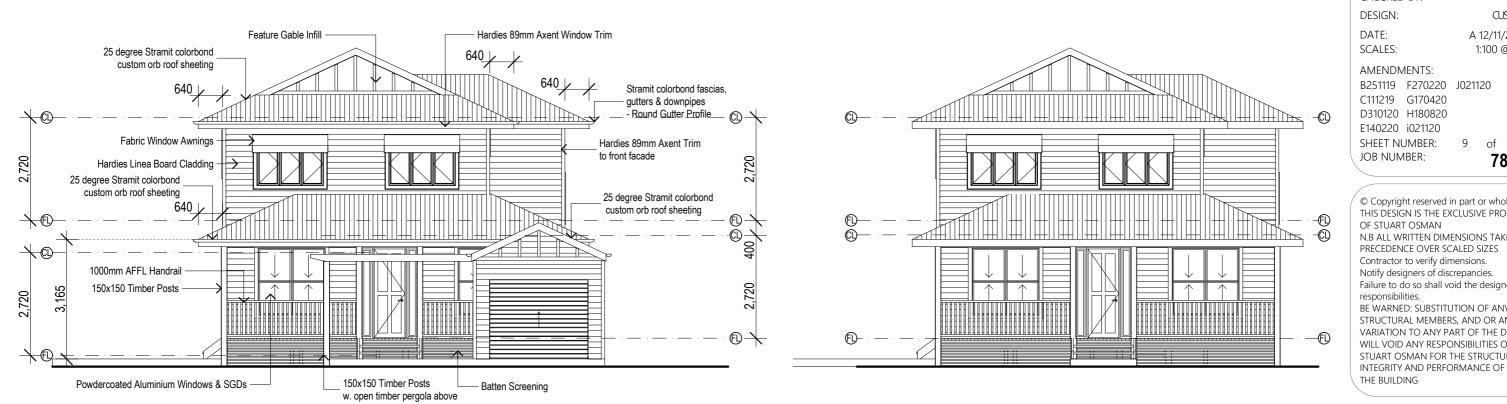
3 panels Casement

Clear Glass

Window w. flyscreens







ELEVATION 2 1:100

Stuart Osman

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PROPOSED RESIDENCES

BUILDER:

CLIENT:

PROJECT:

DRAWN BY:

MR. Z. KENNEDY LOT 7

> **KEATS STREET** BYRON BAY

T.B.C

SO

RH/MB

CHECKED BY:

DESIGN: CUSTOM

DATE: A 12/11/2019 SCALES: 1:100 @ A3

AMENDMENTS:

B251119 F270220 J021120 C111219 G170420

D310120 H180820

E140220 i021120

SHEET NUMBER: JOB NUMBER:

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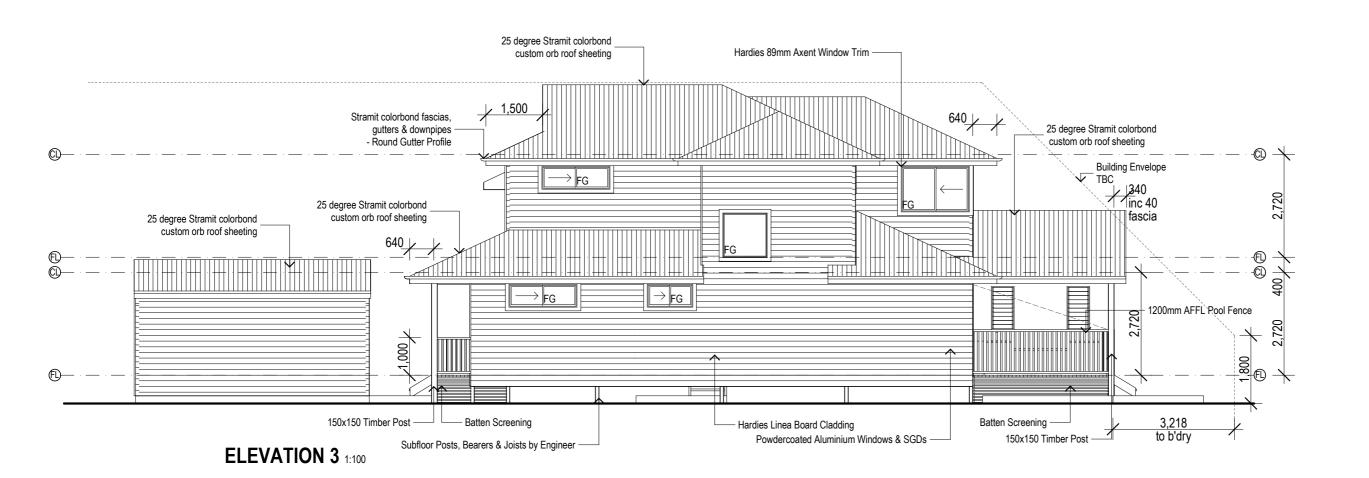
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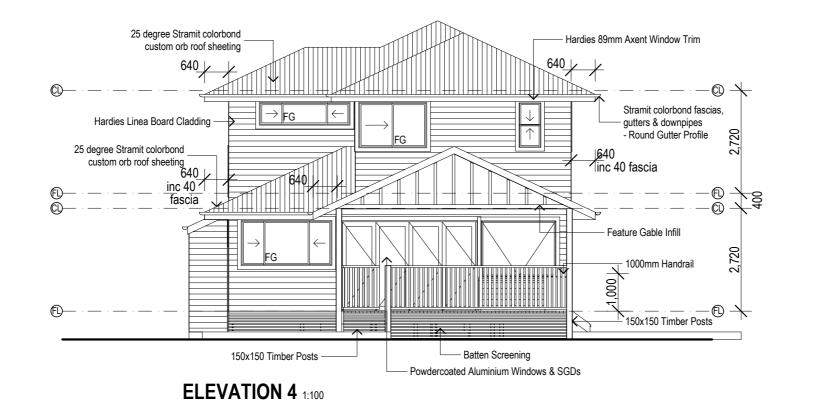
Contractor to verify dimensions. Notify designers of discrepancies. Failure to do so shall void the designers

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THE BUILDING

ELEVATION 2B 1:100





- * Lift off hinges to WC door, as per N.C.C 3.8.3
- * Provide GPO & cold water provisions to DW space
- * ALL External and Internal doors & windows to be measured on site and confirmed by builder
- * Sarking to external walls
- * Insulation to ceiling (living only) R2.5 batts
- * All windows & SGD to be tinted
- * Mechanically vent rooms without natural ventilation
- * All shower roses to be AAA rated
- * Maximum water supply pressure not to exceed 500kpa at any outlet
- * Hot water system shall be heat pump, solar or gas *Water supply outlets to have WELs rating
- * Toilet cisterns to have dual flush. 6/3 Litre

interconnected as per N.C.C 3.7.2

* ALL handrails to be 1000mm above finished floor level * Bedroom windows w. 2m fall height from FL to ground below must comply with N.C.C 3.9.2.5. To be fitted with non-removable screens or restricted to 125mm opening * If more than one smoke alarm is required they must be Stuart

P 07 55 203 022

F 07 55 203 033

E design@stuartosman.com.au Studio 2/71 Township Dr,

PO BOX 2845

Burleigh Heads DC QLD 4220 ABN 73 097 995 616

QBCC License No: 1129687

West Burleigh, QLD 4219







PROPOSED RESIDENCES

BUILDER:

CLIENT:

MR. Z. KENNEDY PROJECT: LOT 7

KEATS STREET

T.B.C

SO

BYRON BAY

DRAWN BY: RH/MB CHECKED BY:

DESIGN: CUSTOM DATE:

A 12/11/2019 SCALES: 1:100 @ A3

AMENDMENTS:

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THE BUILDING

SHEET NUMBER: 10 of 11 JOB NUMBER:

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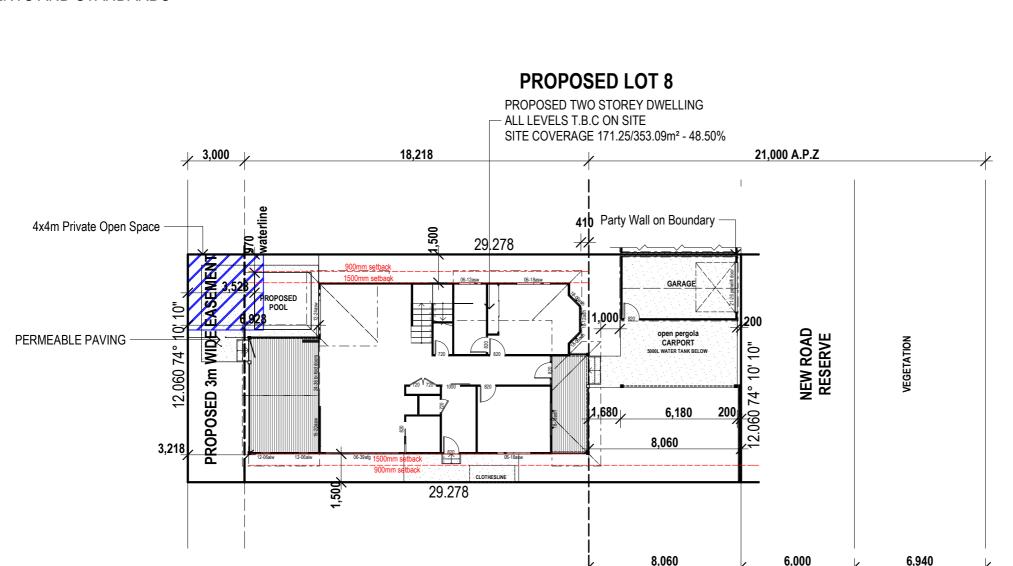
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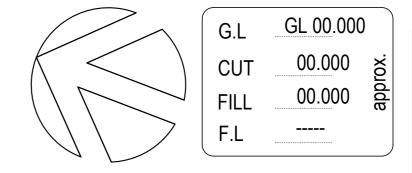
- * Discharge waste to connection point
- * Provide sediment control to site where reg'd
- * Discharge stormwater to TANK, where possible, all other stormwater & overflow to kerb & channel
- * Meter box position T.B.C on site
- * All retaining walls by owner

NOTE ALL STORMWATER & DRAINAGE TO BE IN COMPLIANCE WITH NCC PARTS 3.1.2. & 3.5.2. AS WELL AS ASNZS3500

- * GUTTERS TO BE 125MM D-SECTION COLORBOND GUTTERS
- * 2 DOWNPIPES MAX. TO EACH 100mm STORMWATER PIPE, SUBSURFACE PIPES TO BE 100mm DIAMETER, ANY UNDERSLAB PIPING TO HAVE AN INSPECTION OPENING AT UPPER END, THEN TO BE 100mm SEWER GRADE PIPING WITH NO JOINS UNDER SLAB.

** 1:5 MAX DRIVEWAY SLOPE TO LOCAL GOVERNMENT REQUIREMENTS AND STANDARDS **







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PROPOSED RESIDENCES

BUILDER:

CLIENT:

PROJECT:

MR. Z. KENNEDY

KEATS STREET

T.B.C

LOT 8

SO

CUSTOM

BYRON BAY RH/MB

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DESIGN:

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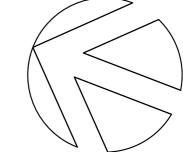
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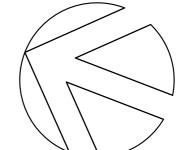
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- * Mechanically vent rooms without natural ventilation
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- * ALL handrails to be 1000mm above finished floor level * Bedroom windows w. 2m fall height from FL to ground below must comply with N.C.C 3.9.2.5. To be fitted with non-removable screens or restricted to 125mm opening
- * If more than one smoke alarm is required they must be interconnected as per N.C.C 3.7.2







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T.B.C

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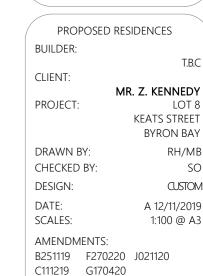
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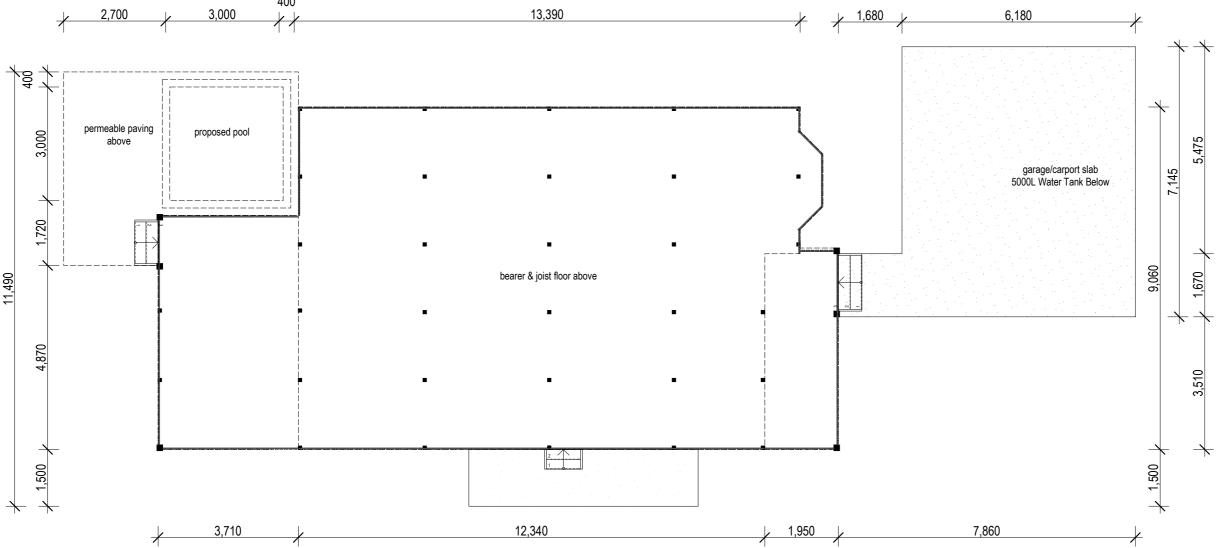
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THE BUILDING





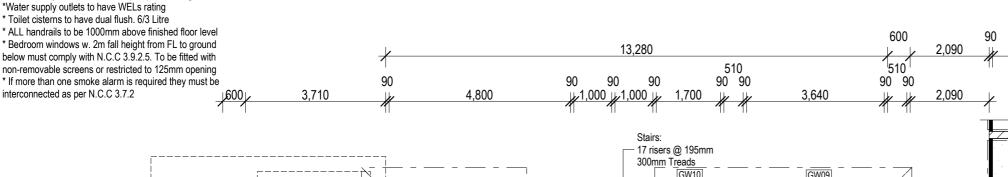


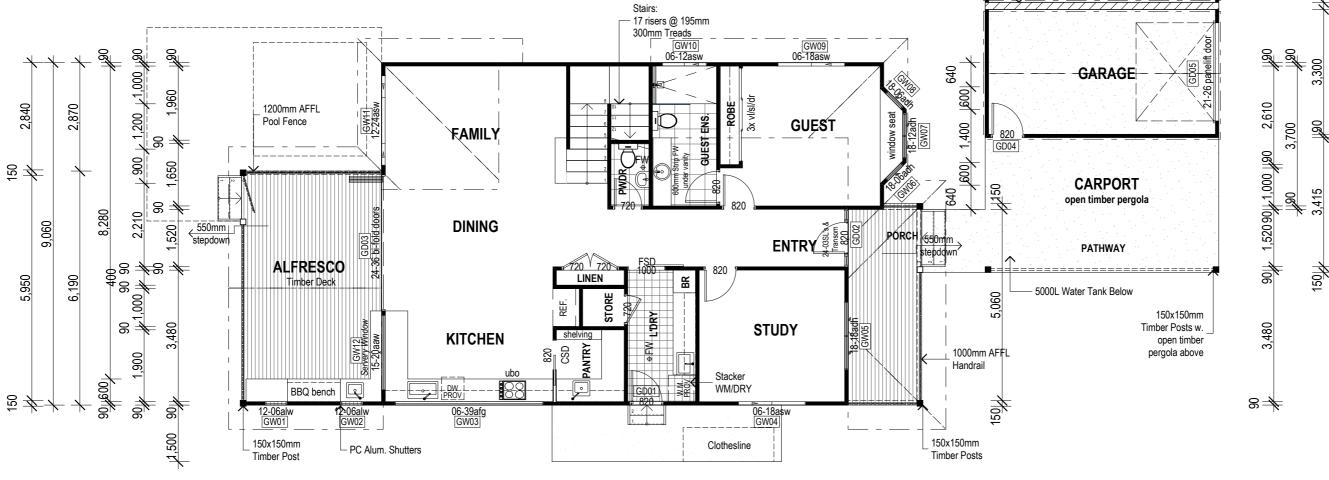
ELEVATIONS

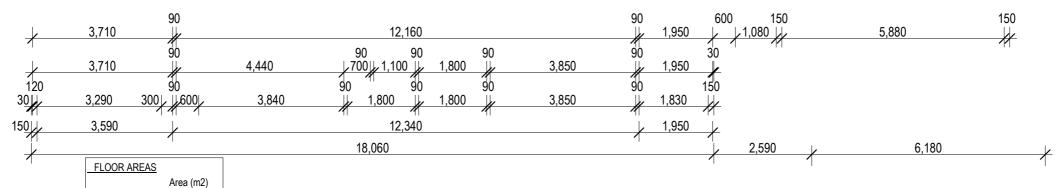
SUB-FLOOR PLAN

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90

6,000

Party Wall on Boundary

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QBCC License No: 1129687







PROPOSED RESIDENCES

BUILDER:

CLIENT:

PROJECT:

DRAWN BY:

MR. Z. KENNEDY

KEATS STREET BYRON BAY

T.B.C

LOT 8

SO

RH/MB

CHECKED BY:

DESIGN: CUSTOM

DATE: A 12/11/2019 1:100 @ A3

SCALES:

AMENDMENTS:

B251119 F270220 J021120 C111219 G170420

D300120 H180820

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PRELIMINARY PLANS ONLY NOT FOR CONSTRUCTION



GROUND FLOOR PLAN

LOWER LIVING

UPPER LIVING

GARAGE

PORCH

TOTAL

ALFRESCO

116.65

91.71

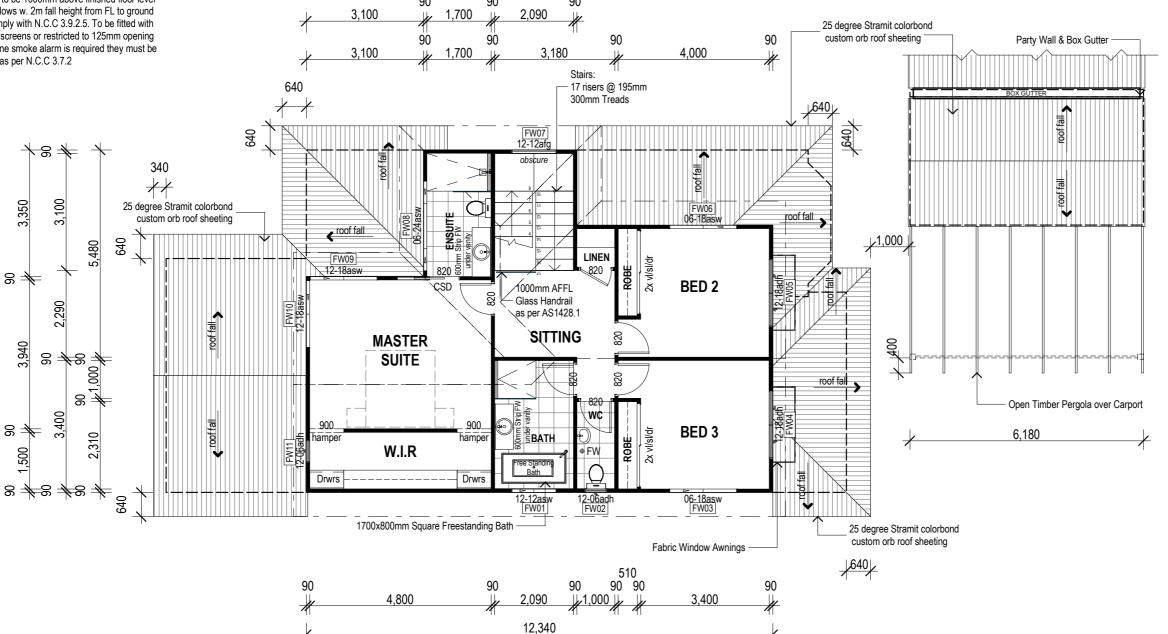
21.54

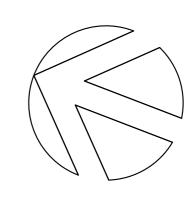
22.96

10.10

262.96 m²

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- * If more than one smoke alarm is required they must be interconnected as per N.C.C 3.7.2











BUILDER:

CLIENT:

90 90 90

2,310

8 1/8 1



T.B.C

MR. Z. KENNEDY PROJECT: LOT 8 **KEATS STREET** BYRON BAY DRAWN BY: RH/MB CHECKED BY: SO DESIGN: CUSTOM DATE: A 12/11/2019 SCALES: 1:100 @ A3 AMENDMENTS: B251119 F270220 J021120 C111219 G170420 D300120 H180820 E140220 i 021120 SHEET NUMBER: of 11 JOB NUMBER: 7890

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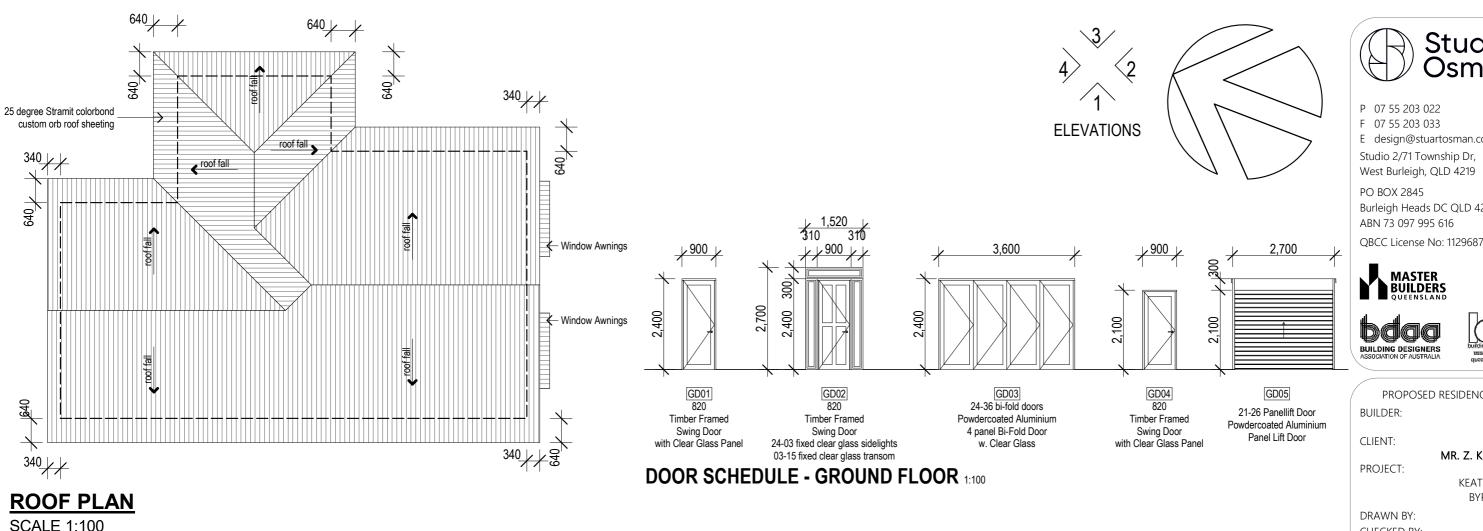
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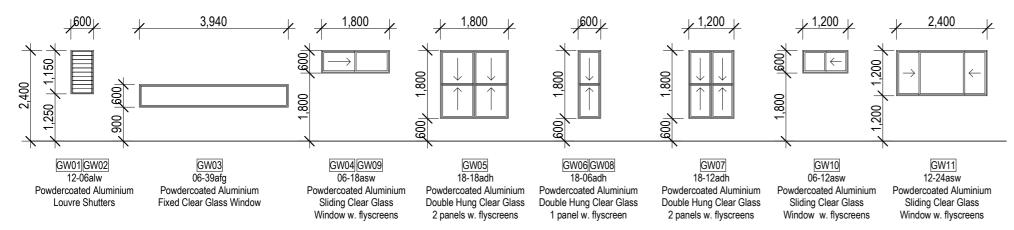
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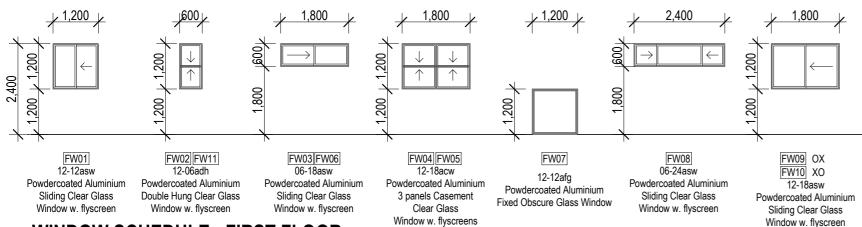
ELEVATIONS

FIRST FLOOR PLAN





WINDOW SCHEDULE - GROUND FLOOR 1:100



WINDOW SCHEDULE - FIRST FLOOR 1:100

Window w. flyscreen

Stuart Osman

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PO BOX 2845 Burleigh Heads DC QLD 4220 ABN 73 097 995 616







PROPOSED RESIDENCES

BUILDER:

MR. Z. KENNEDY

KEATS STREET

T.B.C

LOT 8

RH/MB

1:100 @ A3

SO

BYRON BAY

DRAWN BY:

CHECKED BY:

DESIGN:

CUSTOM DATE: A 12/11/2019

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B251119 F270220 J021120 C111219 G170420

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E140220 i 021120 8

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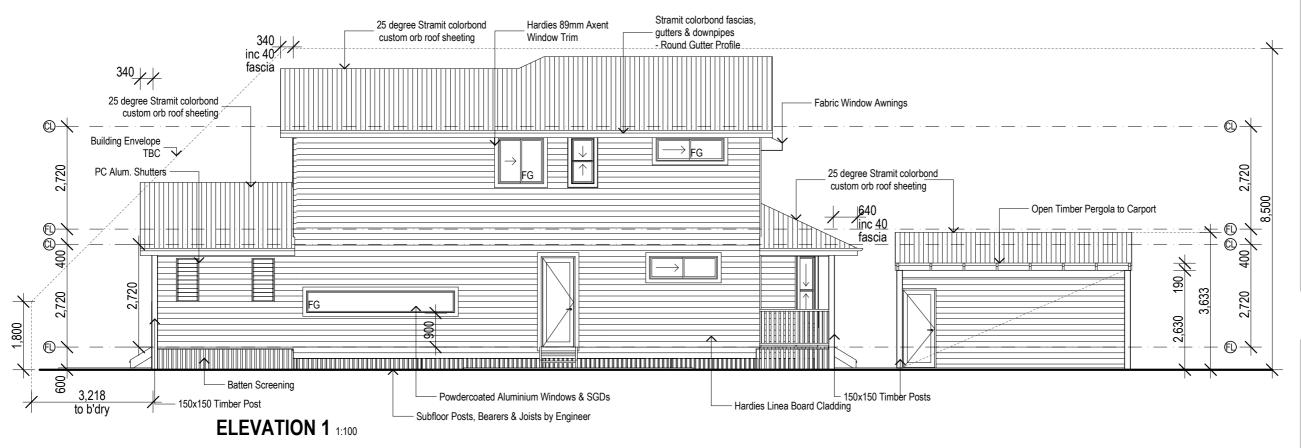
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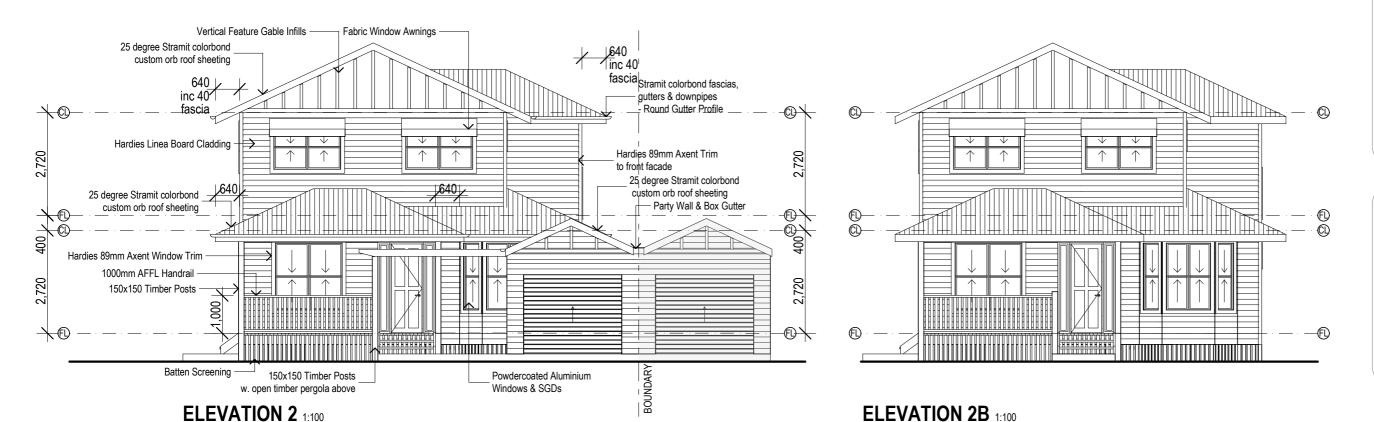
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PROPOSED RESIDENCES

BUILDER:

CLIENT:

PROJECT:

DRAWN BY:

LOT 8

KEATS STREET BYRON BAY

MR. Z. KENNEDY

T.B.C

SO

CUSTOM

RH/MB

CHECKED BY:

DESIGN:

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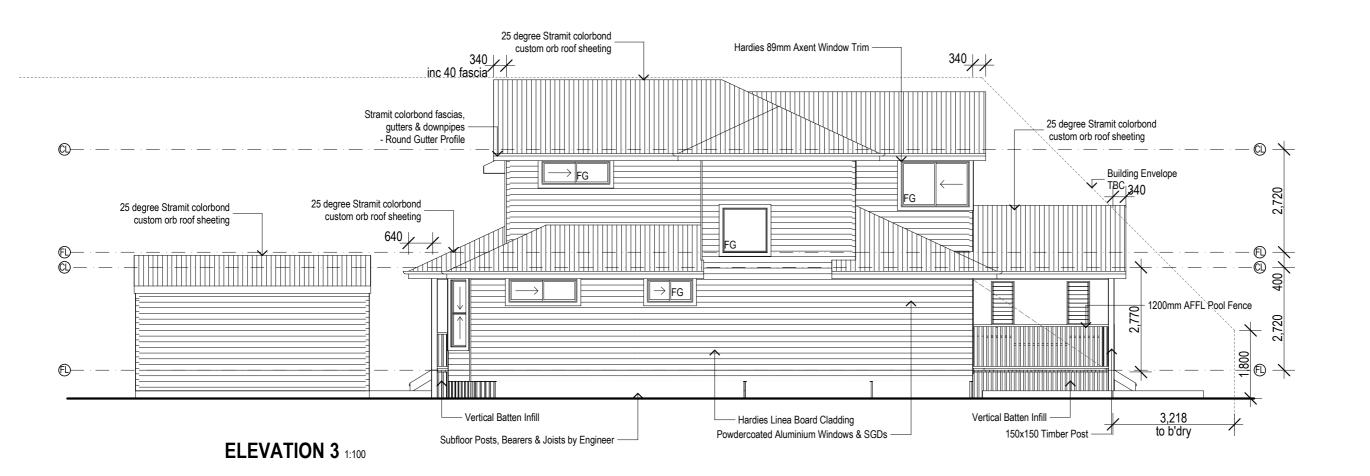
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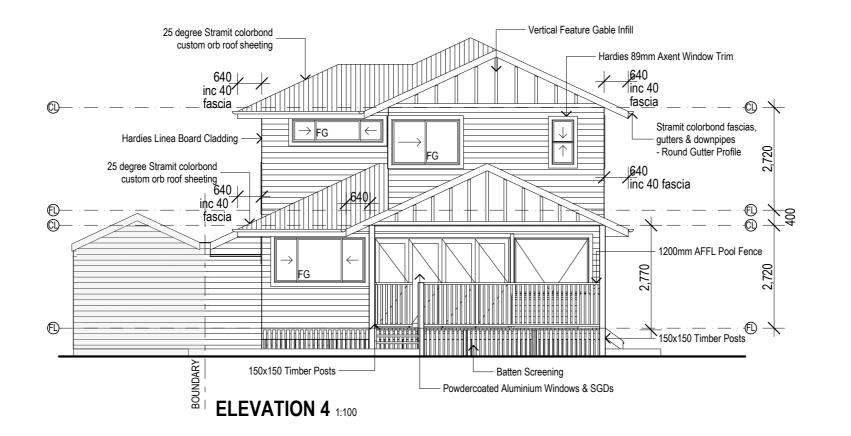
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PROPOSED RESIDENCES

BUILDER:

CLIENT:

PROJECT:

MR. Z. KENNEDY LOT 8

KEATS STREET BYRON BAY

RH/MB

CUSTOM

SO

T.B.C

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CHECKED BY:

DESIGN:

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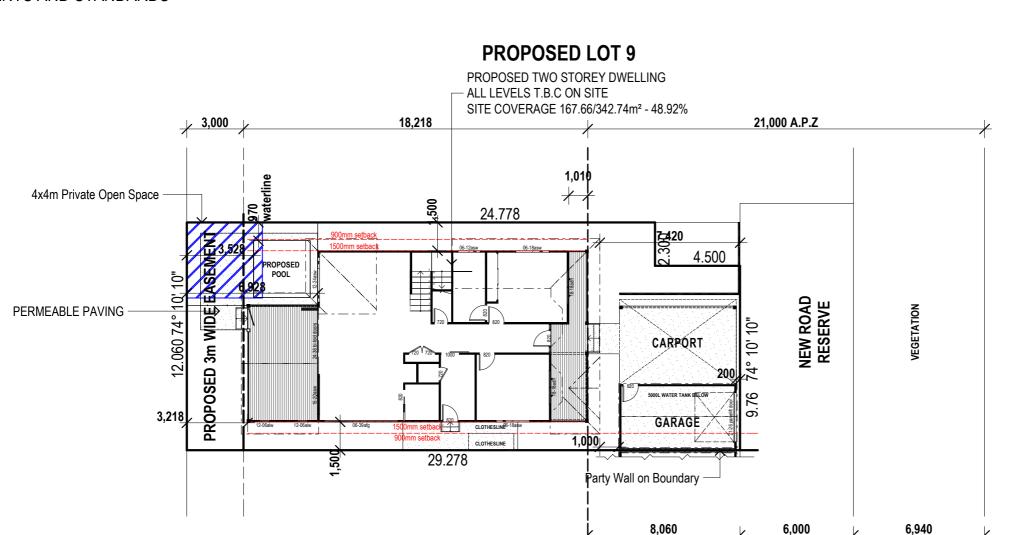
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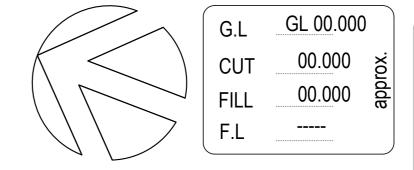
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PROPOSED RESIDENCES

BUILDER:

CLIENT:

PROJECT:

MR. Z. KENNEDY

KEATS STREET

T.B.C

LOT 9

SO

CUSTOM

BYRON BAY RH/MB

DRAWN BY: CHECKED BY:

DESIGN:

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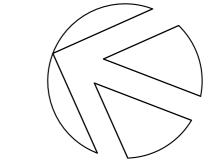
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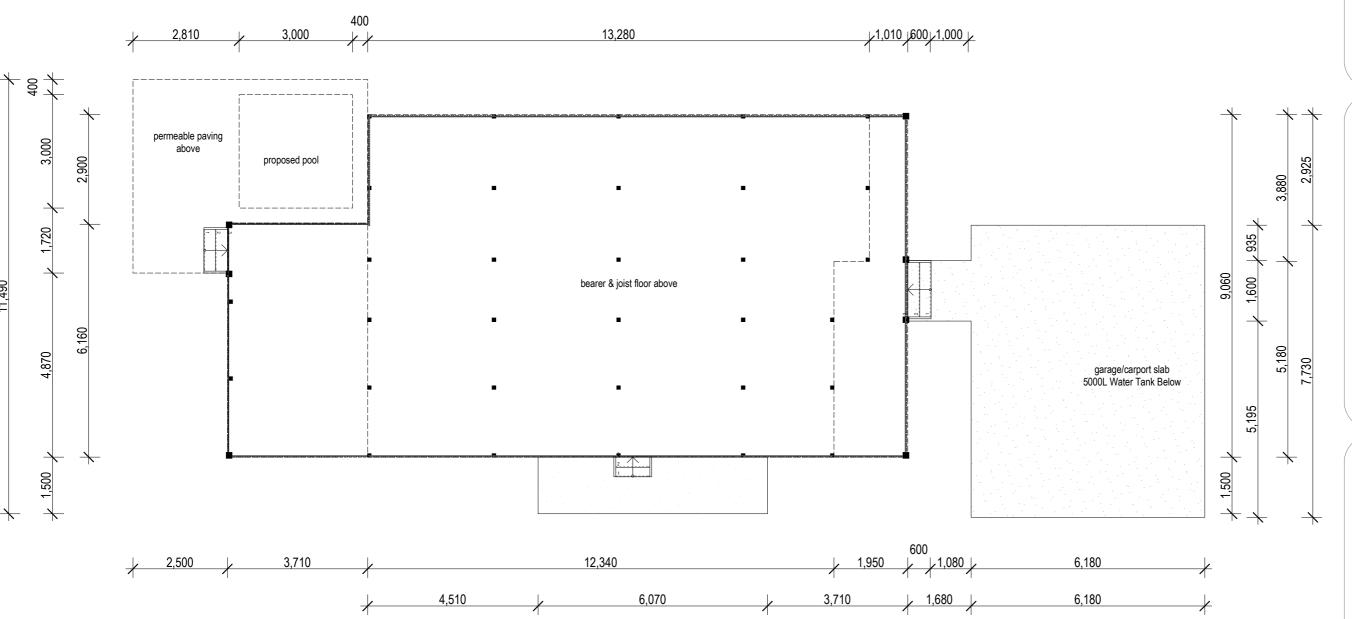
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QBCC License No: 1129687









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CLIENT:

MR. Z. KENNEDY

PROJECT:

KEATS STREET

T.B.C

LOT 9

RH/MB

CUSTOM

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BYRON BAY

DRAWN BY:

CHECKED BY:

DESIGN:

DATE: A 12/11/2019 1:100 @ A3

SCALES:

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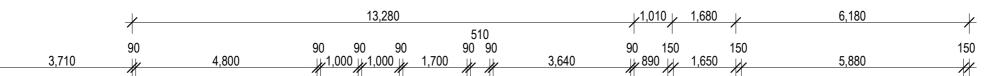
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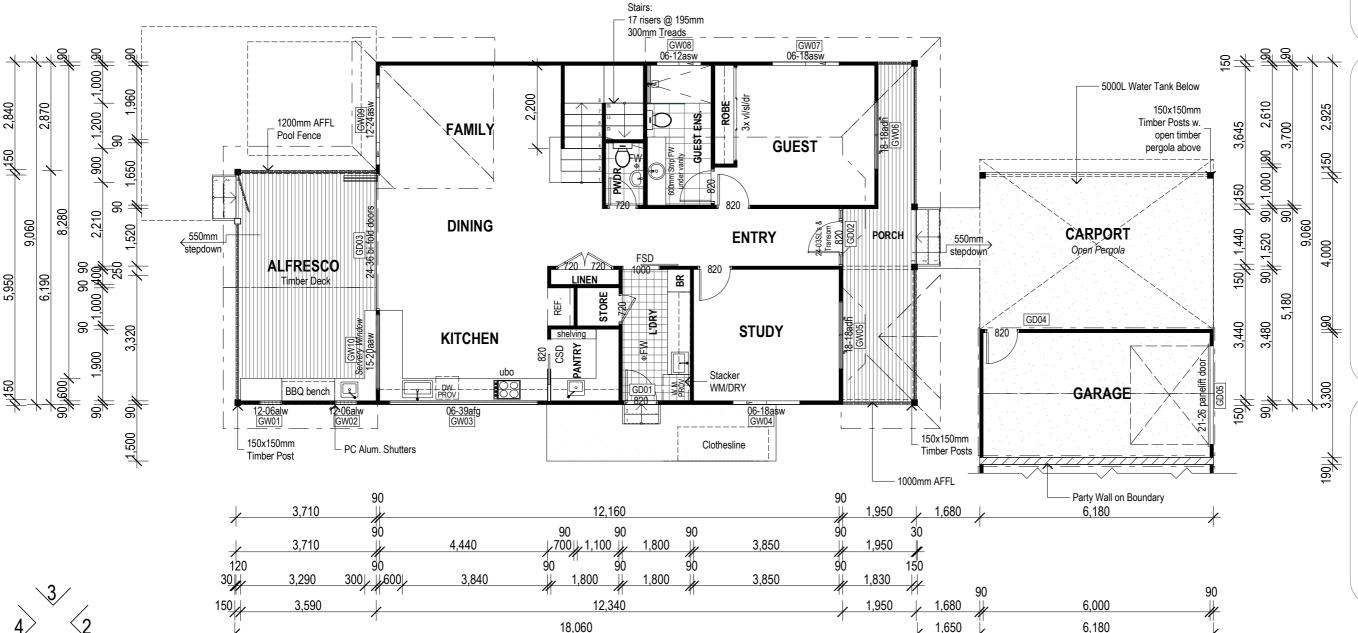
THE BUILDING

ELEVATIONS

SUB-FLOOR PLAN

- * Lift off hinges to WC door, as per N.C.C 3.8.3
- * Provide GPO & cold water provisions to DW space
- * ALL External and Internal doors & windows to be measured on site and confirmed by builder
- Sarking to external walls
- * Insulation to ceiling (living only) R2.5 batts
- * All windows & SGD to be tinted
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- * If more than one smoke alarm is required they must be interconnected as per N.C.C 3.7.2







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Studio 2/71 Township Dr, West Burleigh, QLD 4219

PO BOX 2845

Burleigh Heads DC QLD 4220 ABN 73 097 995 616

QBCC License No: 1129687







PROPOSED RESIDENCES

BUILDER:

CLIENT:

MR. Z. KENNEDY

PROJECT:

LOT 9

KEATS STREET BYRON BAY

T.B.C

SO

CUSTOM

of 11

7890

RH/MB

DRAWN BY:

CHECKED BY: DESIGN:

DATE:

A 12/11/2019 1:100 @ A3 SCALES:

AMENDMENTS:

B251119 F270220 J021120

C111219 G170420

D310120 H180820 E140220 i021120

6

SHEET NUMBER:

JOB NUMBER:

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STUART OSMAN FOR THE STRUCTURAL INTEGRITY AND PERFORMANCE OF

THE BUILDING

GROUND FLOOR PLAN

FLOOR AREAS

LOWER LIVING

UPPER LIVING

GARAGE

PORCH

TOTAL

ALFRESCO

Area (m2)

115.45

93.51

21.54

20.08

10.59

261.17 m²

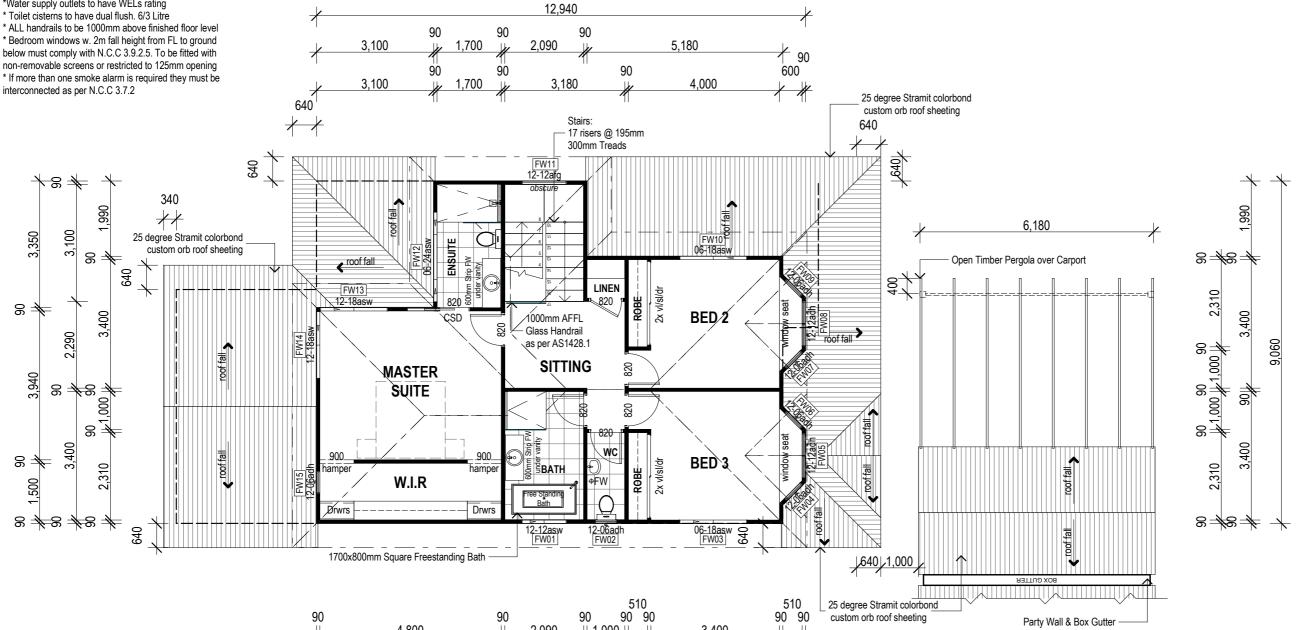
SCALE 1:100

ELEVATIONS

PRELIMINARY PLANS ONLY NOT FOR CONSTRUCTION

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PROPOSED RESIDENCES

BUILDER:

CLIENT:

MR. Z. KENNEDY PROJECT:

KEATS STREET

BYRON BAY

T.B.C

LOT 9

RH/MB

SO

DRAWN BY:

DESIGN:

CHECKED BY: CUSTOM

DATE:

A 12/11/2019 SCALES: 1:100 @ A3

AMENDMENTS:

B251119 F270220 J021120

C111219 G170420

D310120 H180820 E140220 i021120

SHEET NUMBER:

JOB NUMBER:

of 11 7890

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ELEVATIONS



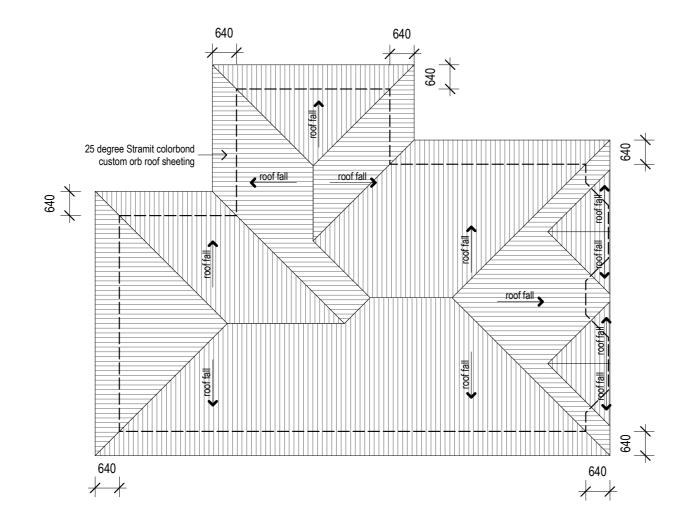
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- below must comply with N.C.C 3.9.2.5. To be fitted with non-removable screens or restricted to 125mm opening
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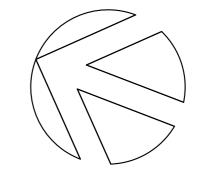


ELEVATIONS

ROOF PLAN

SCALE 1:100







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ABN 73 097 995 616 QBCC License No: 1129687







PROPOSED RESIDENCES

BUILDER:

CLIENT:

PROJECT:

MR. Z. KENNEDY

KEATS STREET

BYRON BAY

T.B.C

LOT 9

RH/MB

of 11

SO

DRAWN BY:

CHECKED BY:

DESIGN: CUSTOM

DATE: A 12/11/2019 1:100 @ A3

SCALES:

AMENDMENTS:

B251119 F270220 J021120

C111219 G170420

D310120 H180820

E140220 i021120 8

SHEET NUMBER: JOB NUMBER:

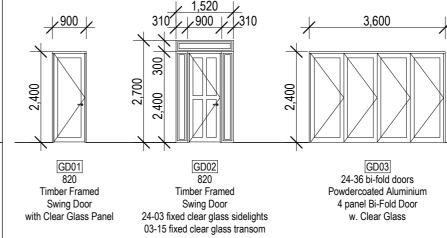
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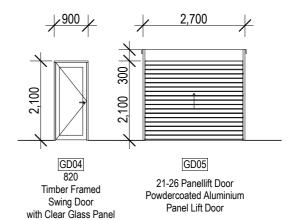
PRECEDENCE OVER SCALED SIZES Contractor to verify dimensions. Notify designers of discrepancies. Failure to do so shall void the designers responsibilities

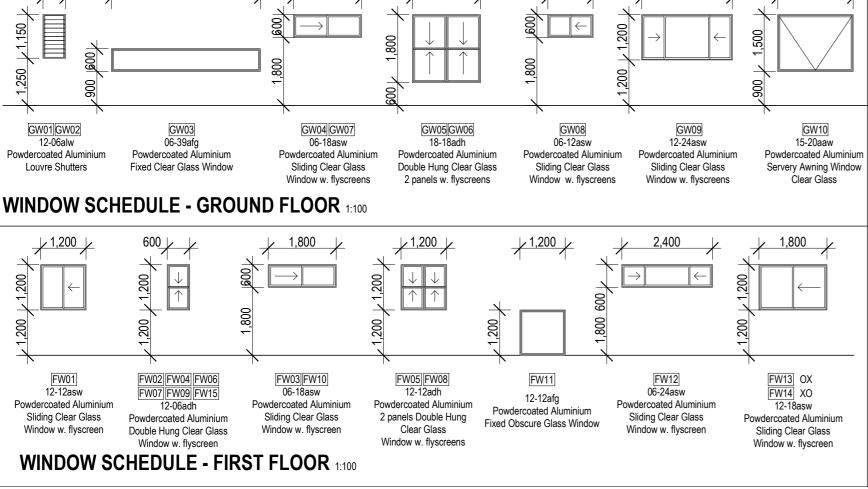
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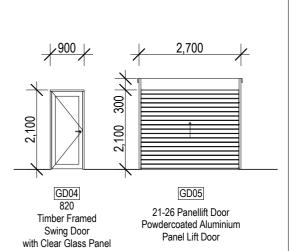
THE BUILDING

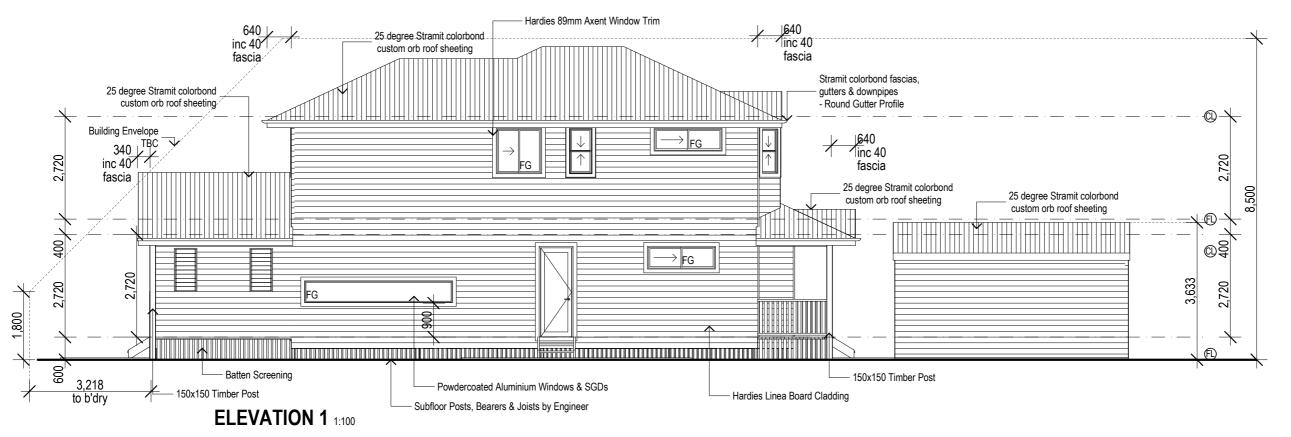


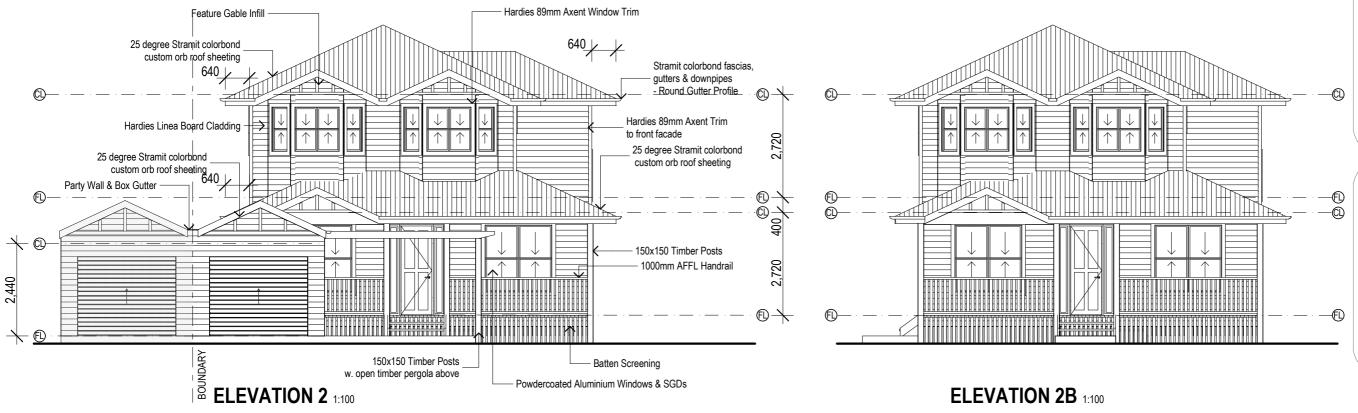
DOOR SCHEDULE - GROUND FLOOR 1:100











Powdercoated Aluminium Windows & SGDs



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QBCC License No: 1129687







PROPOSED RESIDENCES

BUILDER:

CLIENT:

MR. Z. KENNEDY PROJECT:

LOT 9 **KEATS STREET**

BYRON BAY

CUSTOM

T.B.C

DRAWN BY:

RH/MB CHECKED BY: SO

DESIGN:

DATE: A 12/11/2019 1:100 @ A3

SCALES:

AMENDMENTS:

B251119 F270220 J021120 C111219 G170420

D310120 H180820

E140220 i021120

SHEET NUMBER: JOB NUMBER:

of 11 7890

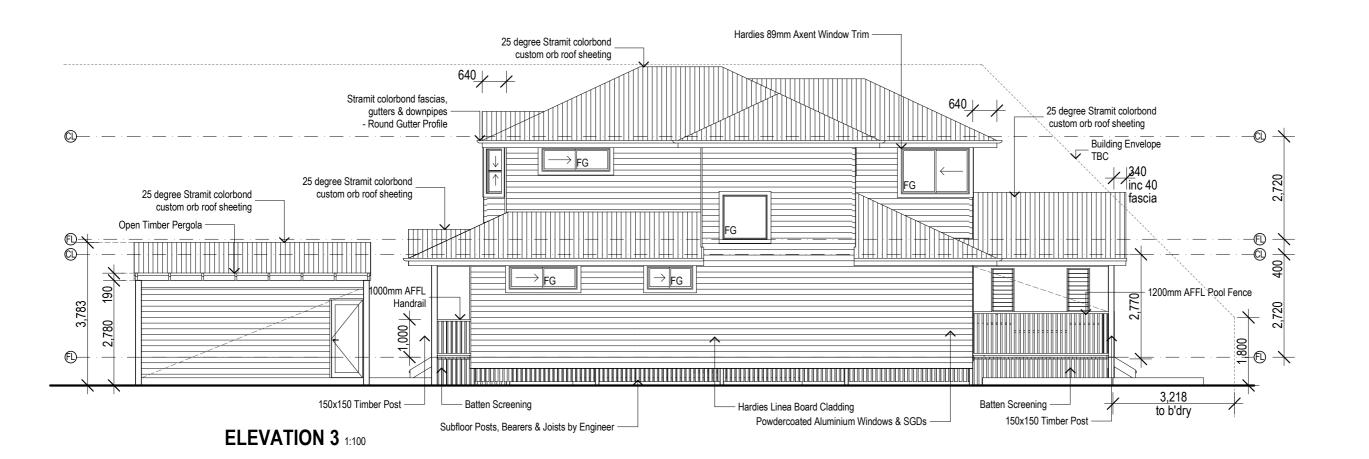
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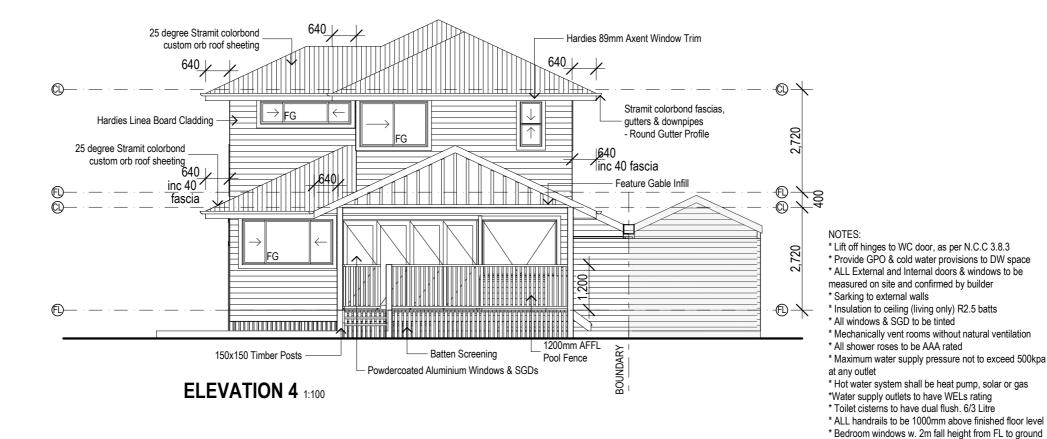
Contractor to verify dimensions. Notify designers of discrepancies. Failure to do so shall void the designers responsibilities.

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ELEVATION 2B 1:100







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West Burleigh, QLD 4219

PO BOX 2845 Burleigh Heads DC QLD 4220 ABN 73 097 995 616

QBCC License No: 1129687







PROPOSED RESIDENCES

BUILDER:

CLIENT:

PROJECT:

MR. Z. KENNEDY LOT 9

> **KEATS STREET** BYRON BAY

T.B.C

SO

CUSTOM

of 11

7890

RH/MB

DRAWN BY: CHECKED BY:

DESIGN:

DATE: A 12/11/2019

SCALES: 1:100 @ A3

AMENDMENTS:

B251119 F270220 J021120 C111219 G170420

D310120 H180820

E140220 i021120

SHEET NUMBER: JOB NUMBER:

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THE BUILDING

OF STUART OSMAN N.B ALL WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED SIZES Failure to do so shall void the designers responsibilities.

PRELIMINARY PLANS ONLY NOT FOR CONSTRUCTION

interconnected as per N.C.C 3.7.2

below must comply with N.C.C 3.9.2.5. To be fitted with non-removable screens or restricted to 125mm opening * If more than one smoke alarm is required they must be

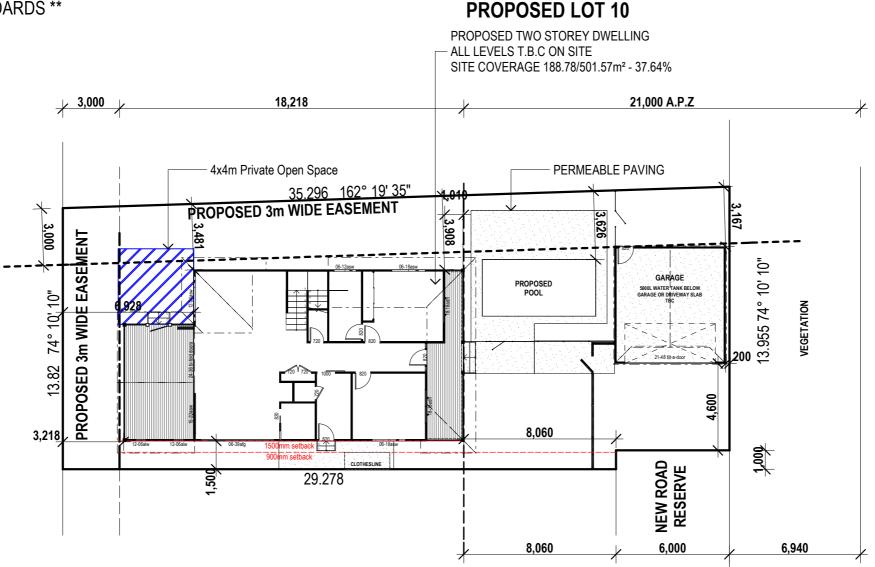
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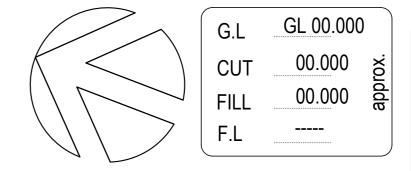
- * Discharge waste to connection point
- * Provide sediment control to site where reg'd
- * Discharge stormwater to TANK, where possible, all other stormwater & overflow to kerb & channel
- * Meter box position T.B.C on site
- * All retaining walls by owner



- * GUTTERS TO BE 125MM D-SECTION COLORBOND GUTTERS
- * 2 DOWNPIPES MAX. TO EACH 100mm STORMWATER PIPE, SUBSURFACE PIPES TO BE 100mm DIAMETER, ANY UNDERSLAB PIPING TO HAVE AN INSPECTION OPENING AT UPPER END, THEN TO BE 100mm SEWER GRADE PIPING WITH NO JOINS UNDER SLAB.

** 1:5 MAX DRIVEWAY SLOPE TO LOCAL GOVERNMENT REQUIREMENTS AND STANDARDS **







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PO BOX 2845

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QBCC License No: 1129687







PROPOSED RESIDENCES

BUILDER:

CLIENT:

PROJECT:

MR. Z. KENNEDY

KEATS STREET BYRON BAY

T.B.C.

LOT 10

SO

CUSTOM

of 12

7890

RH/MB

DRAWN BY: CHECKED BY:

DESIGN:

DATE: A 12/11/2019 1:100 @ A3

SCALES:

AMENDMENTS:

B251119 F270220 J021120 C111219 G170420 K021120

D310120 H210520

E170220 i170820

SHEET NUMBER:

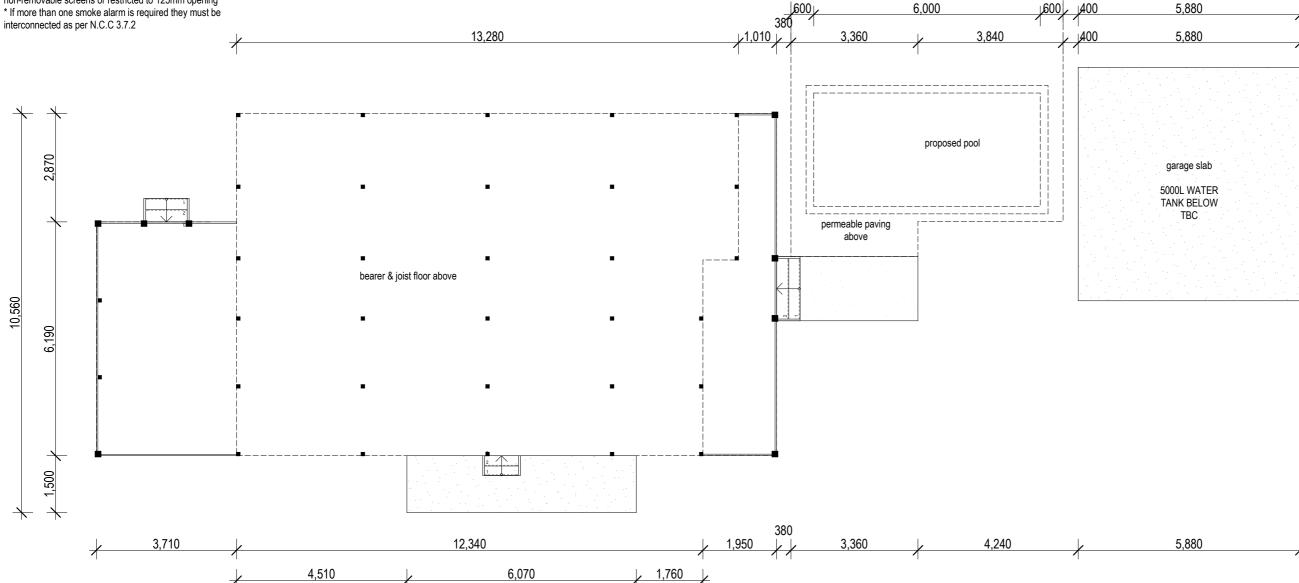
JOB NUMBER:

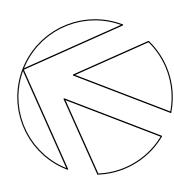
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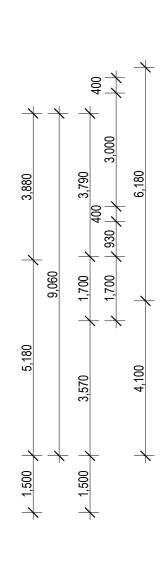
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- * Provide GPO & cold water provisions to DW space
- * ALL External and Internal doors & windows to be measured on site and confirmed by builder
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- * Insulation to ceiling (living only) R2.5 batts
- * All windows & SGD to be tinted
- * Mechanically vent rooms without natural ventilation
- * All shower roses to be AAA rated
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- * Bedroom windows w. 2m fall height from FL to ground below must comply with N.C.C 3.9.2.5. To be fitted with
- non-removable screens or restricted to 125mm opening * If more than one smoke alarm is required they must be







PRELIMINARY PLANS ONLY NOT FOR CONSTRUCTION



ELEVATIONS

SUB-FLOOR PLAN

SCALE 1:100



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F 07 55 203 033

E design@stuartosman.com.au

MASTER BUILDERS

Burleigh Heads DC QLD 4220 ABN 73 097 995 616 QBCC License No: 1129687



PROJECT:

PROPOSED RESIDENCES DRAWN BY: BUILDER:

CLIENT:

MR. Z. KENNEDY DESIGN:

LOT 10 DATE: KEATS STREET BYRON BAY SCALES:

T.B.C. CHECKED BY:

B251119 H210520 SO C111219 i170820 D310120 J021120 CUSTOM E170220 K021120 F270220

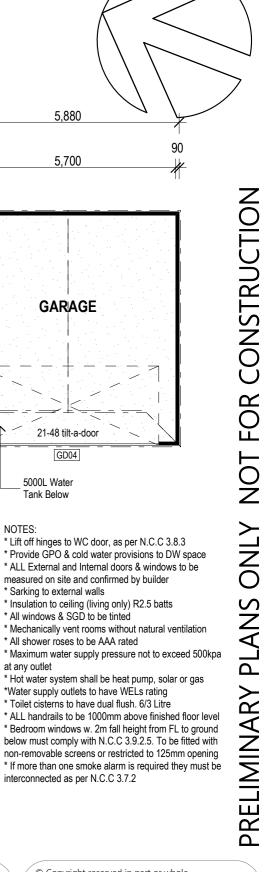
RH/MB AMENDMENTS0420

A 12/11/2019

1:100 @ A3 SHEET NUMBER: of 12 JOB NUMBER:

7890

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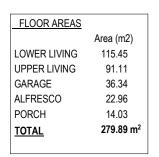


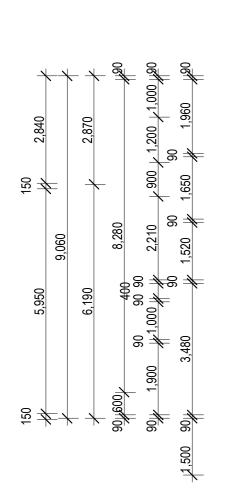
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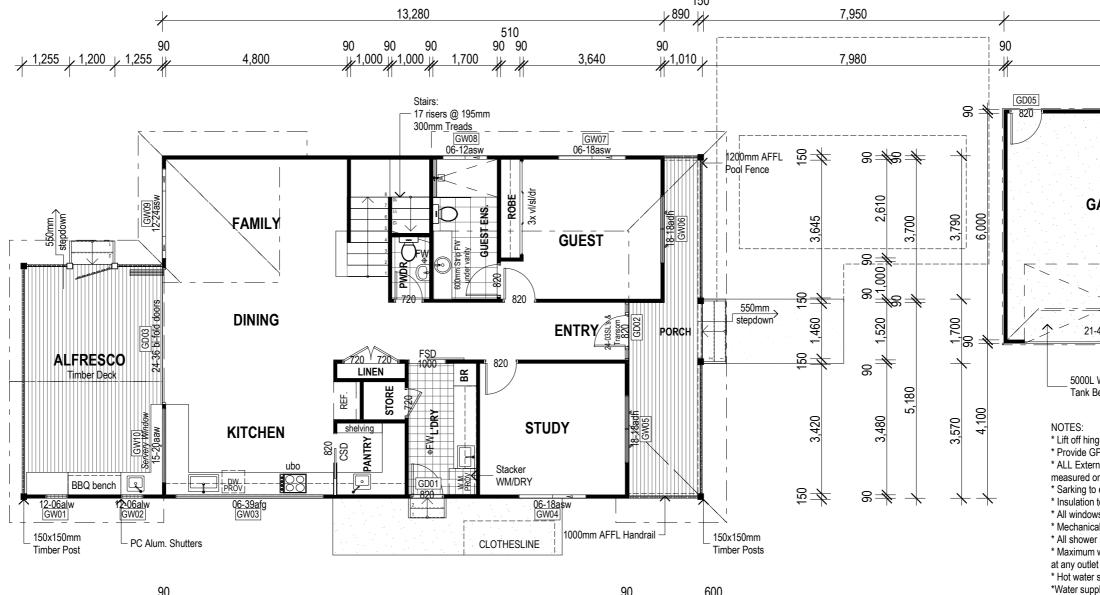
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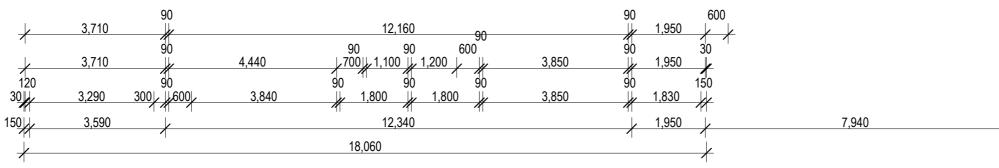
GD04

5000L Water Tank Below











ELEVATIONS

GROUND FLOOR PLAN

SCALE 1:100



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MASTER BUILDERS

bdaa

Burleigh Heads DC QLD 4220 ABN 73 097 995 616

QBCC License No: 1129687

PO BOX 2845





PROJECT:

PROPOSED RESIDENCES DRAWN BY:

BUILDER: T.B.C. CHECKED BY: CLIENT:

MR. Z. KENNEDY DESIGN:

150

LOT 10 DATE: KEATS STREET BYRON BAY SCALES:

RH/MB AMENDMENTS0420 B251119 H210520 i170820 D310120 J021120 CUSTOM E170220 K021120 F270220

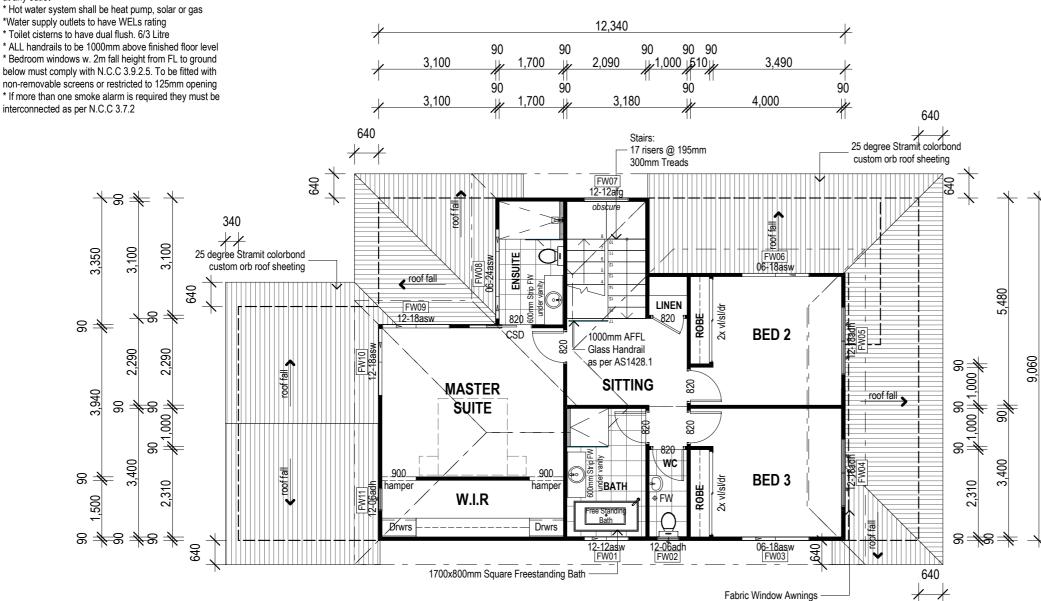
A 12/11/2019

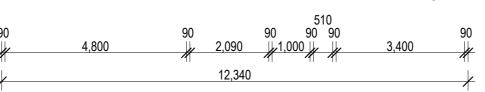
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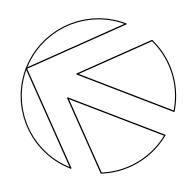
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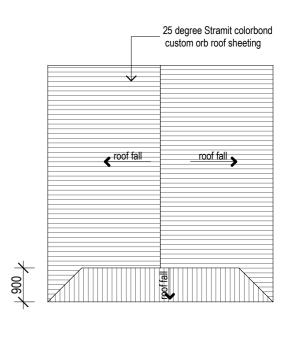
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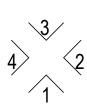
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ELEVATIONS

FIRST FLOOR PLAN

SCALE 1:100



P 07 55 203 022

F 07 55 203 033

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PO BOX 2845 Burleigh Heads DC QLD 4220

QBCC License No: 1129687





PROPOSED RESIDENCES DRAWN BY: RH/MB AMENDMENTS0420 B251119 H210520 BUILDER: SO C111219 i170820 T.B.C. CHECKED BY: CLIENT: D310120 J021120 CUSTOM E170220 MR. Z. KENNEDY DESIGN: K021120 F270220

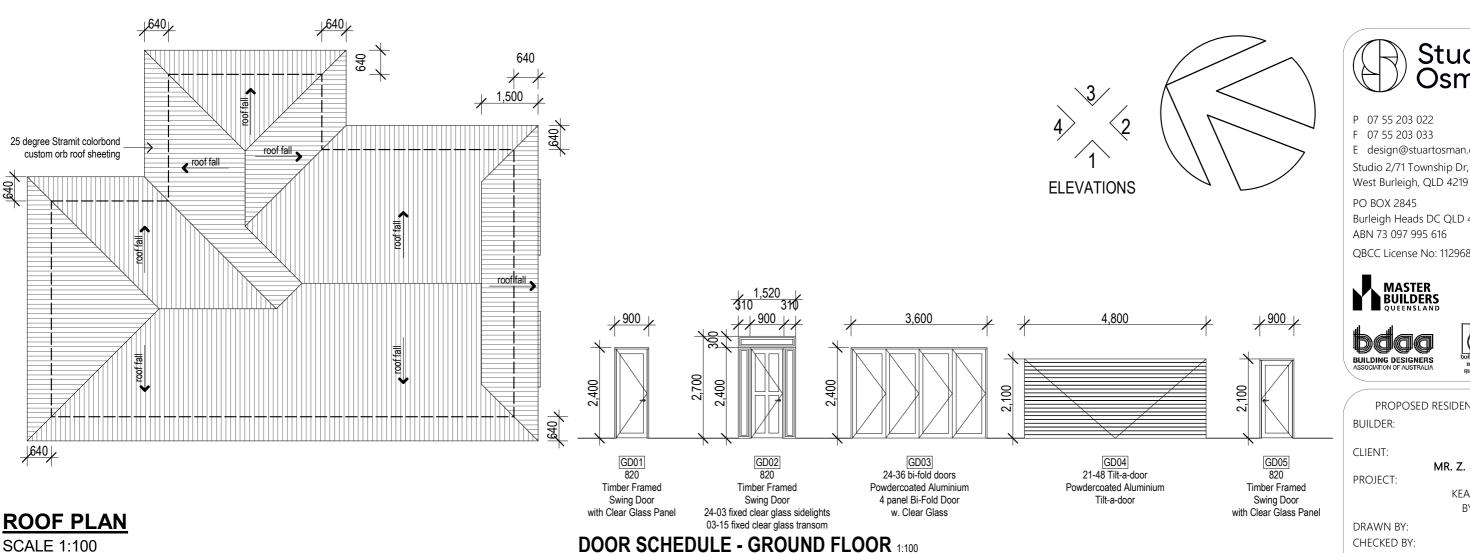
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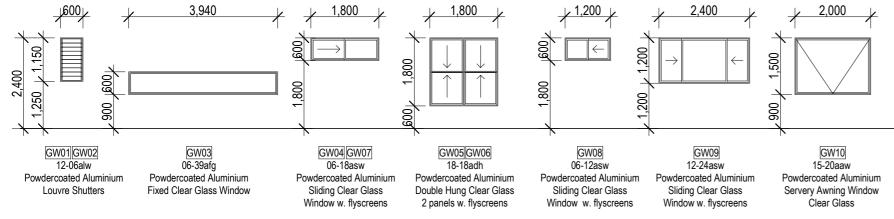
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A 12/11/2019

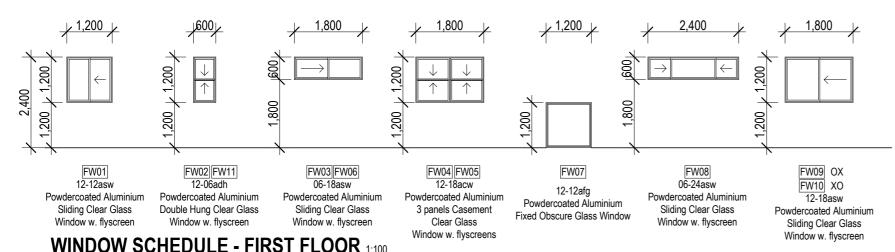
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WINDOW SCHEDULE - GROUND FLOOR 1:100



- * Lift off hinges to WC door, as per N.C.C 3.8.3
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PO BOX 2845

Burleigh Heads DC QLD 4220 ABN 73 097 995 616

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PROPOSED RESIDENCES

BUILDER:

CLIENT:

MR. Z. KENNEDY

LOT 10 **KEATS STREET**

BYRON BAY

of

7890

T.B.C.

DRAWN BY: RH/MB CHECKED BY: SO

DESIGN: CUSTOM

DATE: A 12/11/2019

SCALES: 1:100 @ A3

AMENDMENTS:

F270220 J021120 C111219 G170420 K021120

D310120 H210520

E170220 i170820 SHEET NUMBER: 8

JOB NUMBER:

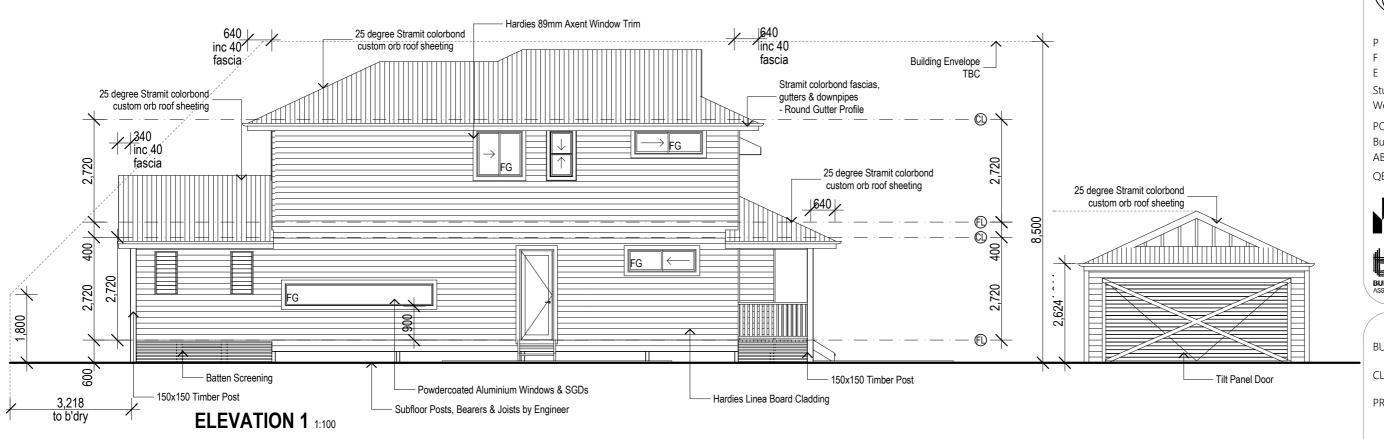
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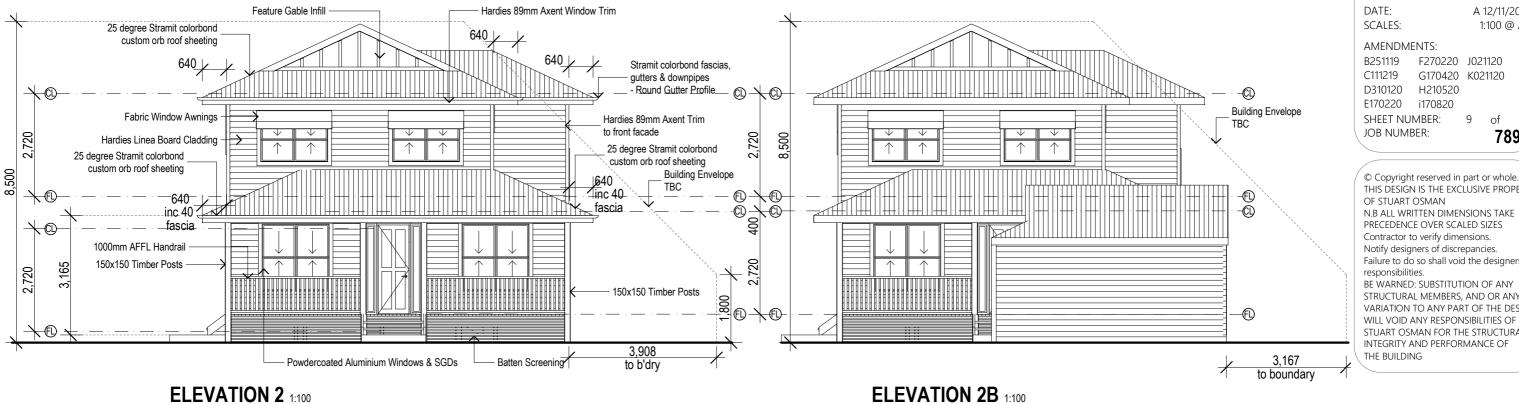
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THE BUILDING

PRELIMINARY PLANS ONLY NOT FOR CONSTRUCTION











PROPOSED RESIDENCES

BUILDER:

CLIENT:

MR. Z. KENNEDY LOT 10

PROJECT:

KEATS STREET

BYRON BAY RH/MB

SO

CUSTOM

T.B.C.

DRAWN BY: CHECKED BY:

DESIGN:

DATE: A 12/11/2019 1:100 @ A3

SCALES:

AMENDMENTS:

F270220 J021120 C111219 G170420 K021120

D310120 H210520

E170220 i170820

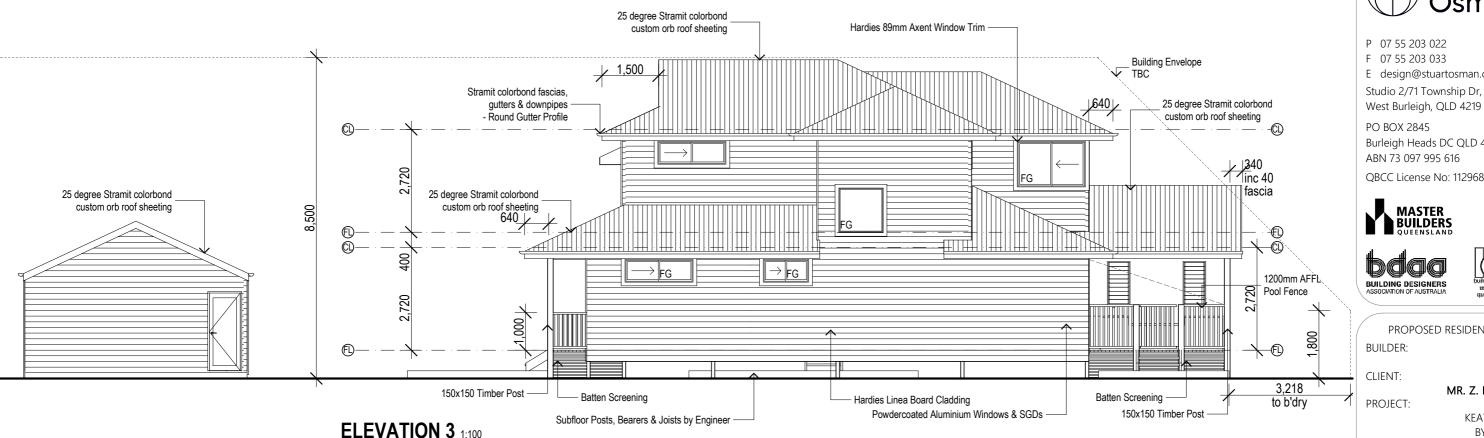
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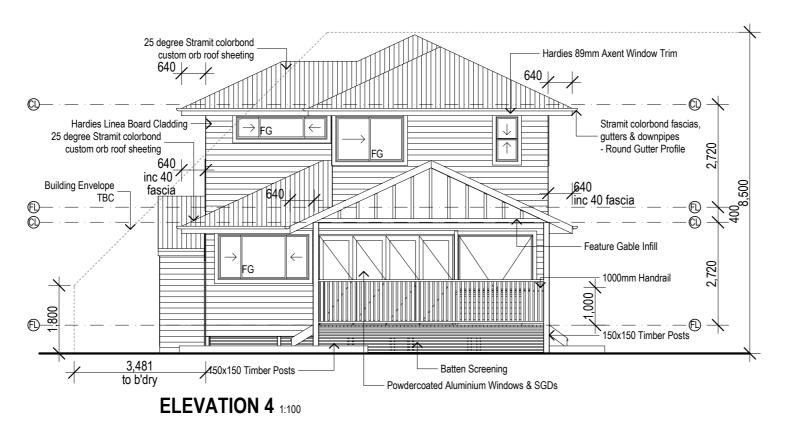
JOB NUMBER:

7890

of 12

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QBCC License No: 1129687







PROPOSED RESIDENCES

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DRAWN BY: CHECKED BY:

DESIGN: CUSTOM

DATE: A 12/11/2019 SCALES: 1:100 @ A3

AMENDMENTS:

B251119 F270220 J021120 C111219 G170420 K021120

D310120 H210520 E170220 i170820

SHEET NUMBER:

10 of 12 JOB NUMBER: 7890

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THE BUILDING

- * Lift off hinges to WC door, as per N.C.C 3.8.3
- * Provide GPO & cold water provisions to DW space
- * ALL External and Internal doors & windows to be measured on site and confirmed by builder
- * Sarking to external walls
- * Insulation to ceiling (living only) R2.5 batts
- * All windows & SGD to be tinted
- * Mechanically vent rooms without natural ventilation * All shower roses to be AAA rated

interconnected as per N.C.C 3.7.2

- * Maximum water supply pressure not to exceed 500kpa at any outlet
- * Hot water system shall be heat pump, solar or gas *Water supply outlets to have WELs rating
- * Toilet cisterns to have dual flush. 6/3 Litre
- * ALL handrails to be 1000mm above finished floor level * Bedroom windows w. 2m fall height from FL to ground below must comply with N.C.C 3.9.2.5. To be fitted with non-removable screens or restricted to 125mm opening * If more than one smoke alarm is required they must be

PRELIMINARY PLANS ONLY NOT FOR CONSTRUCTION