

- NOTES:
- * Discharge waste to connection point
 - * Provide sediment control to site where req'd
 - * Discharge stormwater to TANK, where possible, all other stormwater & overflow to kerb & channel
 - * Meter box position T.B.C on site
 - * All retaining walls by owner

****NOTE**** ALL STORMWATER & DRAINAGE TO BE IN COMPLIANCE WITH NCC PARTS 3.1.2. & 3.5.2. AS WELL AS ASNZS3500

- * GUTTERS TO BE 125MM D-SECTION COLORBOND GUTTERS
- * 2 DOWNPIPES MAX. TO EACH 100mm STORMWATER PIPE, SUBSURFACE PIPES TO BE 100mm DIAMETER, ANY UNDERSLAB PIPING TO HAVE AN INSPECTION OPENING AT UPPER END, THEN TO BE 100mm SEWER GRADE PIPING WITH NO JOINS UNDER SLAB.

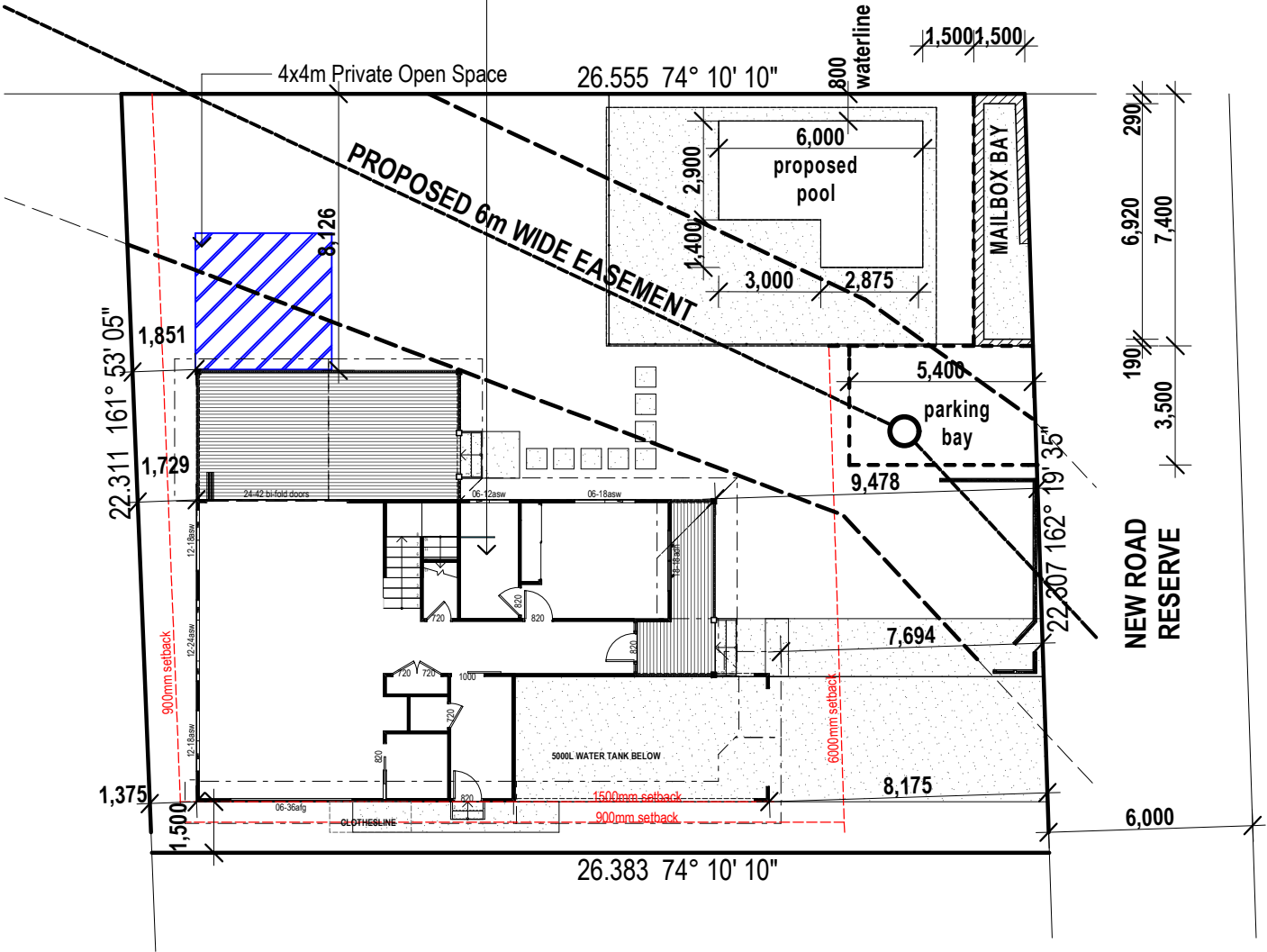
**** 1:5 MAX DRIVEWAY SLOPE TO LOCAL GOVERNMENT REQUIREMENTS AND STANDARDS ****

SITE PLAN - GROUND FLOOR

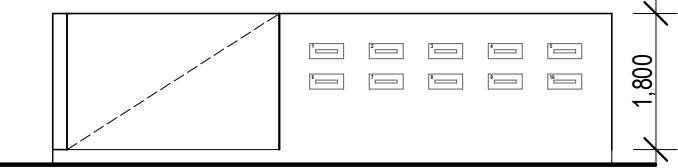
SCALE 1:200 SHEET 4 OF 91 JOB NUMBER - 7890

PROPOSED LOT 1

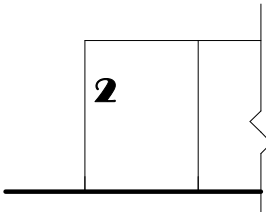
PROPOSED TWO STOREY DWELLING
ALL LEVELS T.B.C ON SITE
SITE COVERAGE -170.62/590.15m² 28.91%



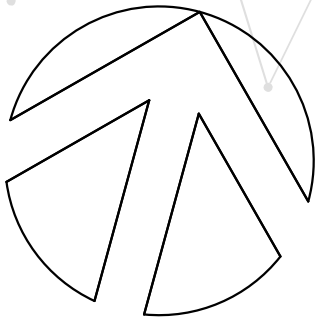
MAILBOX ELEVATION 1:100



STREET ELEVATION 1:100



PRELIMINARY PLANS ONLY NOT FOR CONSTRUCTION



G.L	GL 00.000	approx.
CUT	00.000	
FILL	00.000	
F.L	----	



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Burleigh Heads DC QLD 4220
ABN 73 097 995 616
QBCC License No: 1129687



PROPOSED RESIDENCES

BUILDER: T.B.C.

CLIENT: **MR. Z. KENNEDY**

PROJECT: LOT 1
KEATS STREET
BYRON BAY

DRAWN BY: RH/MB

CHECKED BY: SO

DESIGN: CUSTOM

DATE: A 18/12/2019

SCALES: 1:100 @ A3

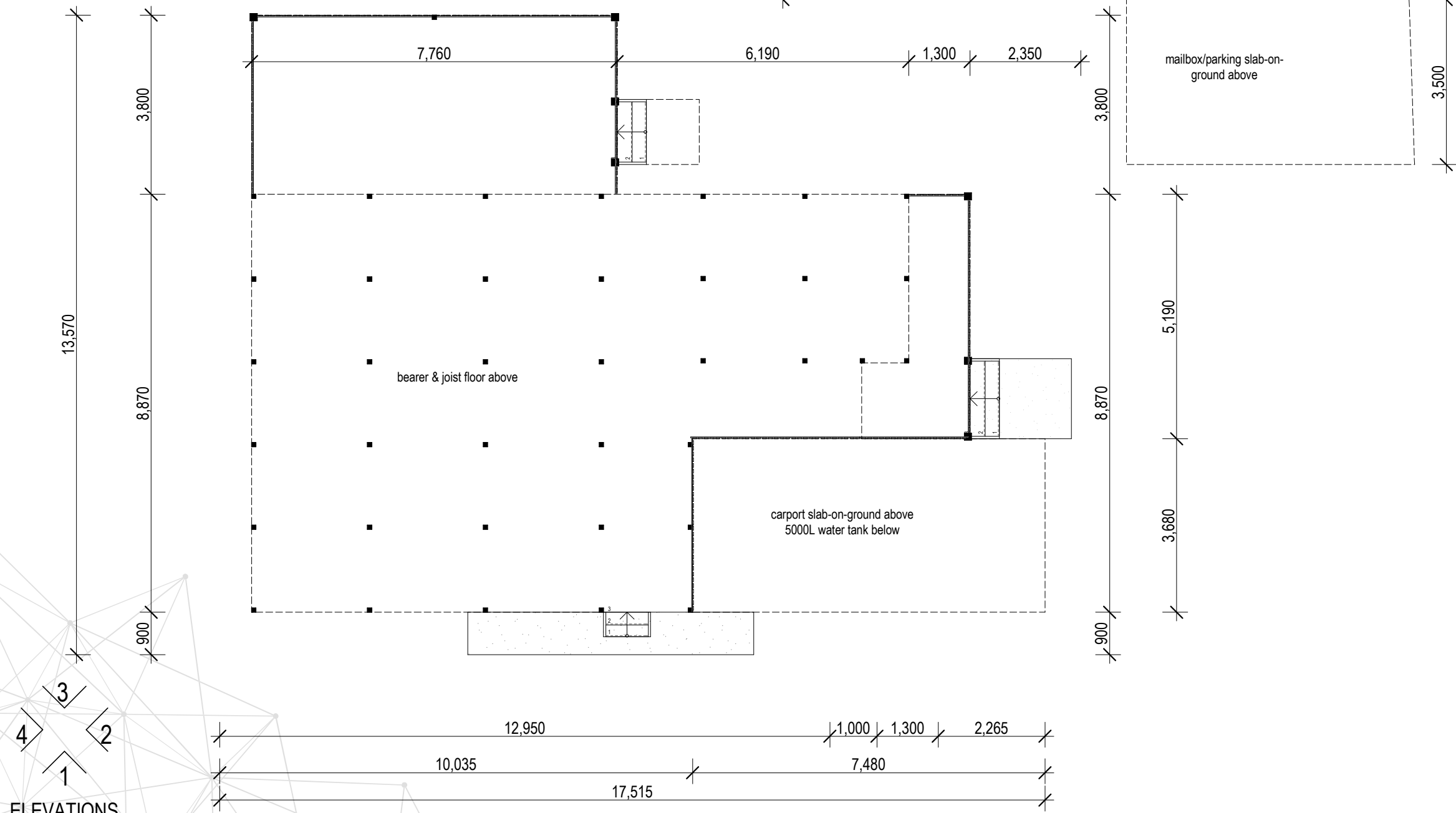
AMENDMENTS:
B030220 G200420
C140220 H210520
D250220
E200320
F170420

SHEET NUMBER: 4 of 91

JOB NUMBER: **7890**

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AND PERFORMANCE OF THE BUILDING

- NOTES:
- * Lift off hinges to WC door, as per N.C.C 3.8.3
 - * Provide GPO & cold water provisions to DW space
 - * ALL External and Internal doors & windows to be measured on site and confirmed by builder
 - * Sarking to external walls
 - * Insulation to ceiling (living only) R2.5 batts
 - * All windows & SGD to be tinted
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 - * If more than one smoke alarm is required they must be interconnected as per N.C.C 3.7.2



ELEVATIONS

SUB-FLOOR PLAN

SCALE 1:100

PRELIMINARY PLANS ONLY NOT FOR CONSTRUCTION



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**MASTER
BUILDERS
QUEENSLAND**



**BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA**

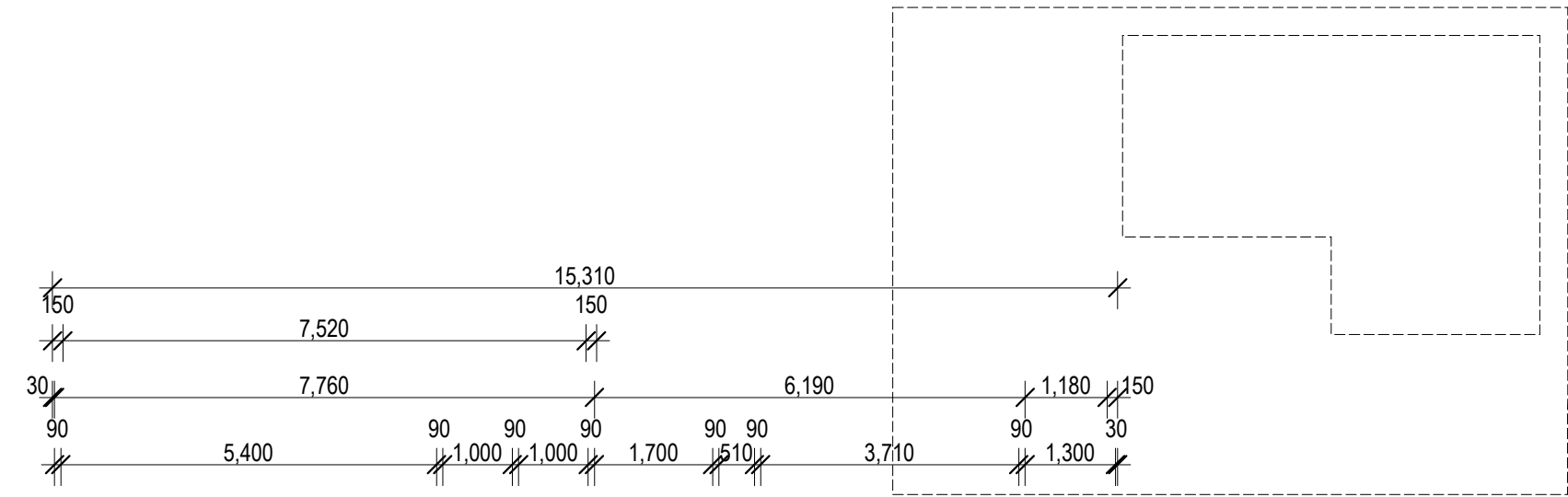


**building designers
association of
queensland inc.**

PROPOSED RESIDENCES	
BUILDER:	T.B.C.
CLIENT:	MR. Z. KENNEDY
PROJECT:	LOT 1 KEATS STREET BYRON BAY
DRAWN BY:	RH/MB
CHECKED BY:	SO
DESIGN:	CUSTOM
DATE:	A 18/12/2019
SCALES:	1:100 @ A3
AMENDMENTS: B030220 G200420 C140220 H210520 D250220 E200320 F170420	
SHEET NUMBER:	5 of 91
JOB NUMBER:	7890

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PROPOSED RESIDENCES

BUILDER: T.B.C.

CLIENT: MR. Z. KENNEDY

PROJECT: LOT 1
KEATS STREET
BYRON BAY

DRAWN BY: RH/MB

CHECKED BY: SO

DESIGN: CUSTOM

DATE: A 18/12/2019

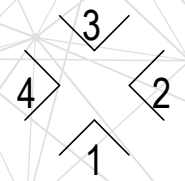
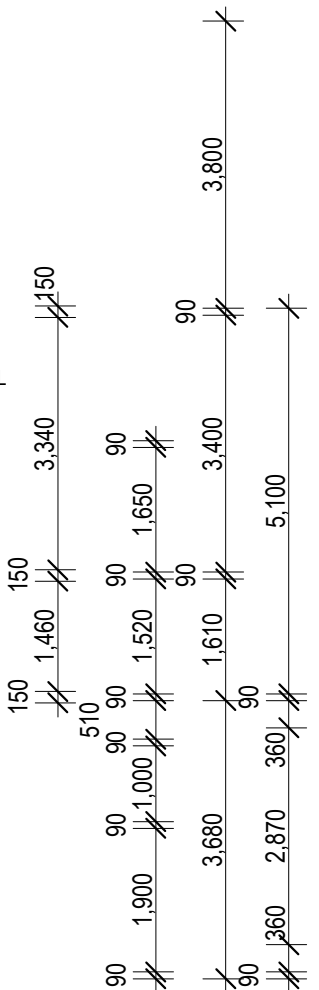
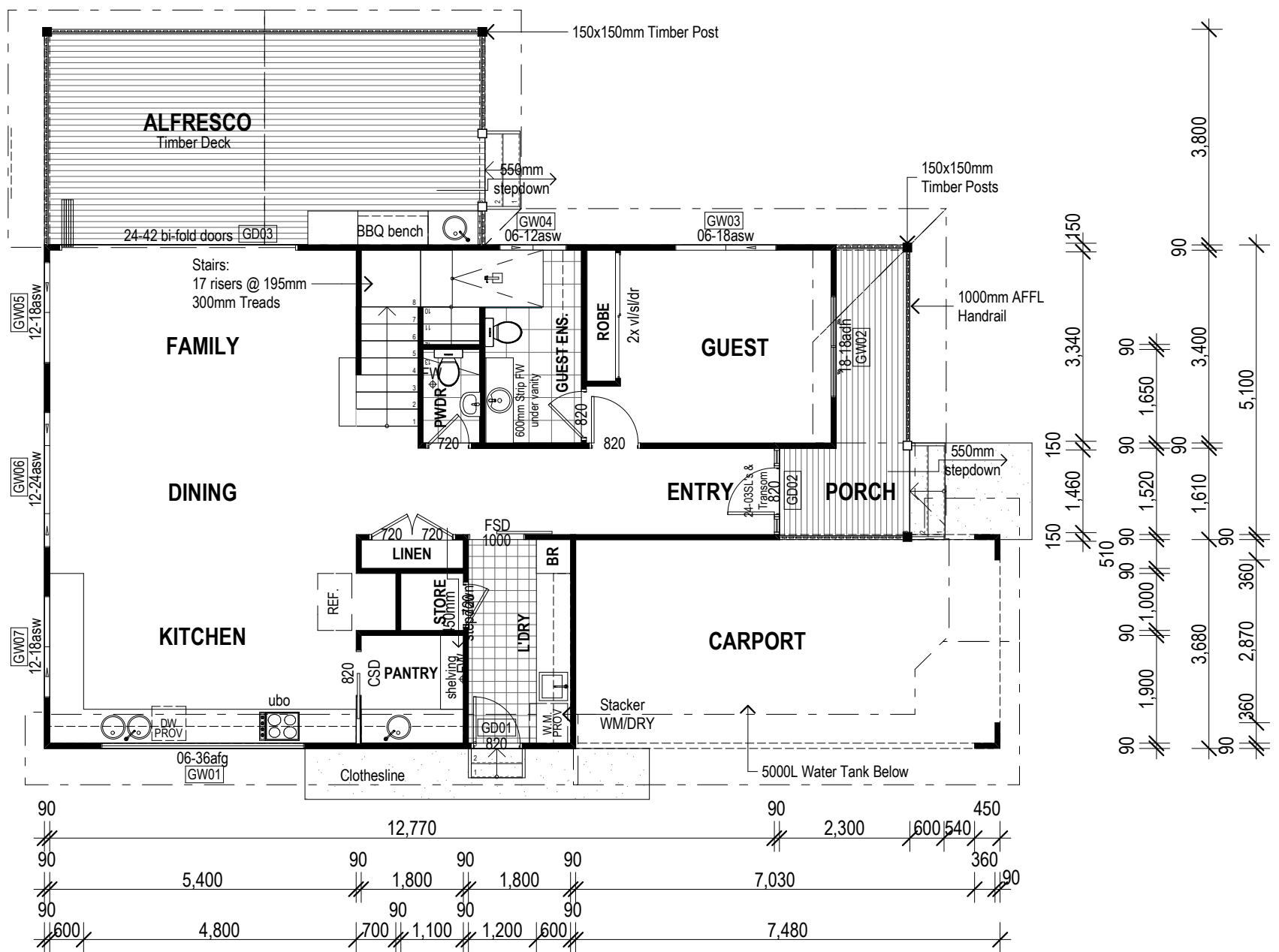
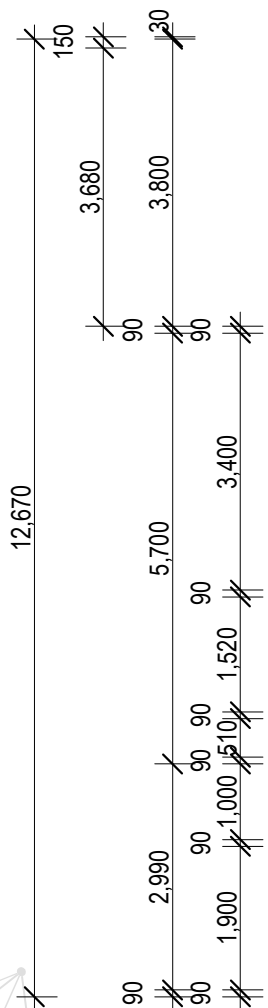
SCALES: 1:100 @ A3

AMENDMENTS:
B030220 G200420
C140220 H210520
D250220
E200320
F170420

SHEET NUMBER: 6 of 91

JOB NUMBER: 7890

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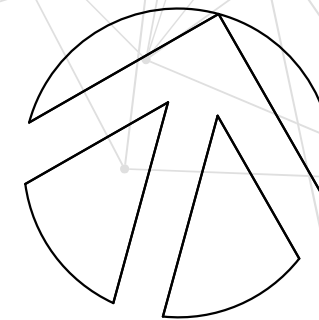
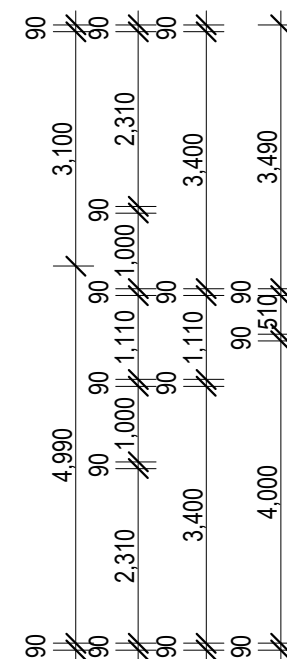


ELEVATIONS
GROUND FLOOR PLAN
SCALE 1:100

FLOOR AREAS	
	Area (m2)
LOWER LIVING	105.24
UPPER LIVING	122.14
CARPORT	27.53
ALFRESCO	29.49
PORCH	8.36
TOTAL	292.76 m ²

PRELIMINARY PLANS ONLY NOT FOR CONSTRUCTION

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Burleigh Heads DC QLD 4220

ABN 73 097 995 616

QBCC License No: 1129687



BUILDER: T.B.C.

CLIENT: MR. Z. KENNEDY

PROJECT: LOT 1
KEATS STREET
BYRON BAY

DRAWN BY: RH/ME

CHECKED BY: SC

DESIGN: CUSTOM

DATE: A 18/12/2019

SCALES: 1:100 @ A3

AMENDMENTS:
B030220 G200420
C140220 H210520
D250220
E200320
F170420

SHEET NUMBER: 7 of 91

JOB NUMBER: 7890

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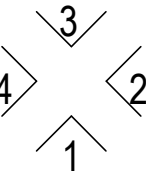
ELEVATIONS

FIRST FLOOR PLAN

SCALE 1:100

PRELIMINARY PLANS ONLY NOT FOR CONSTRUCTION

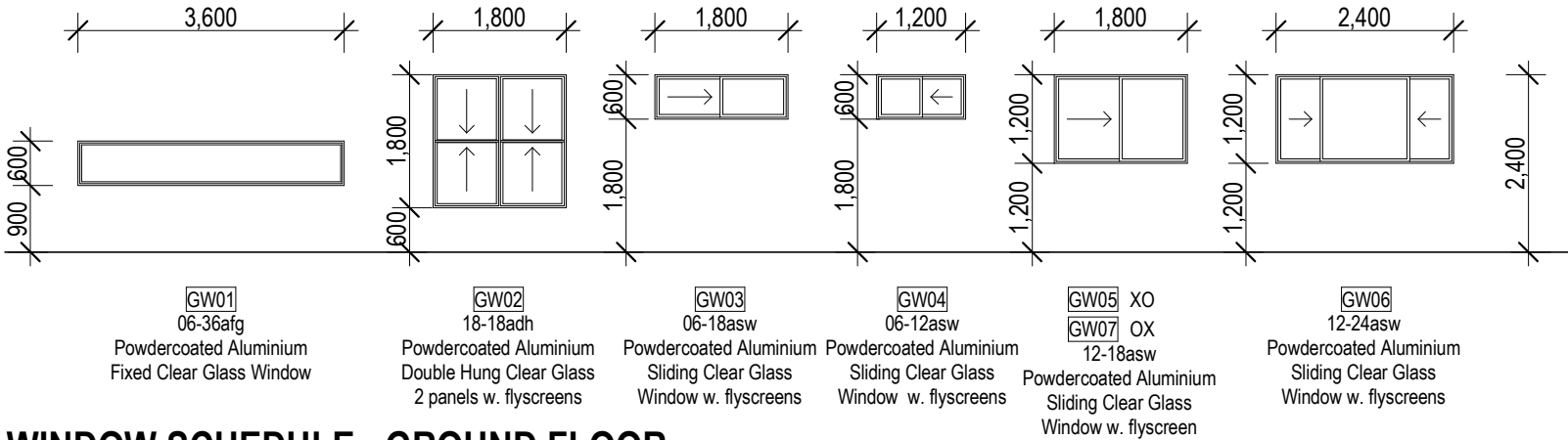
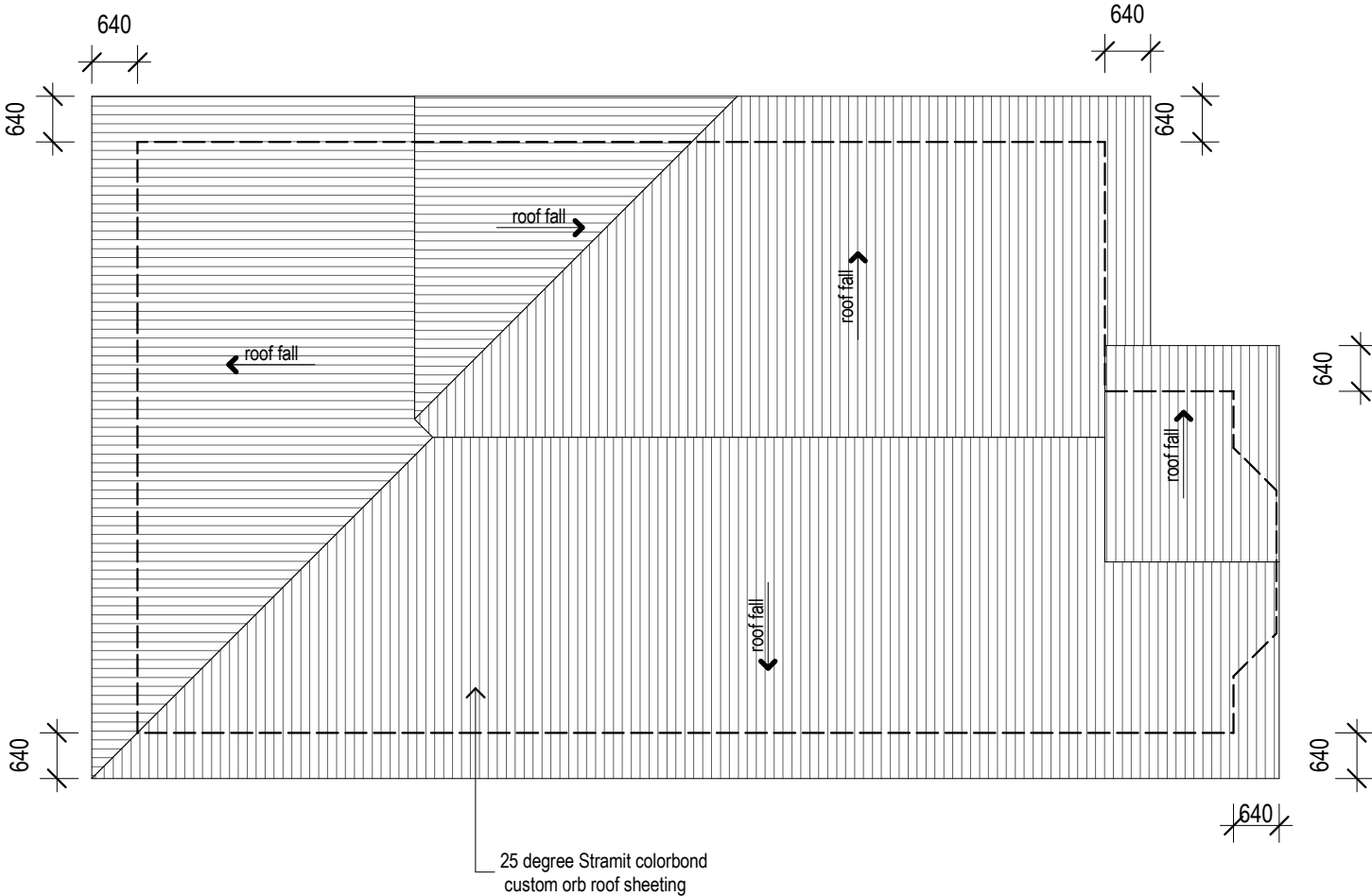
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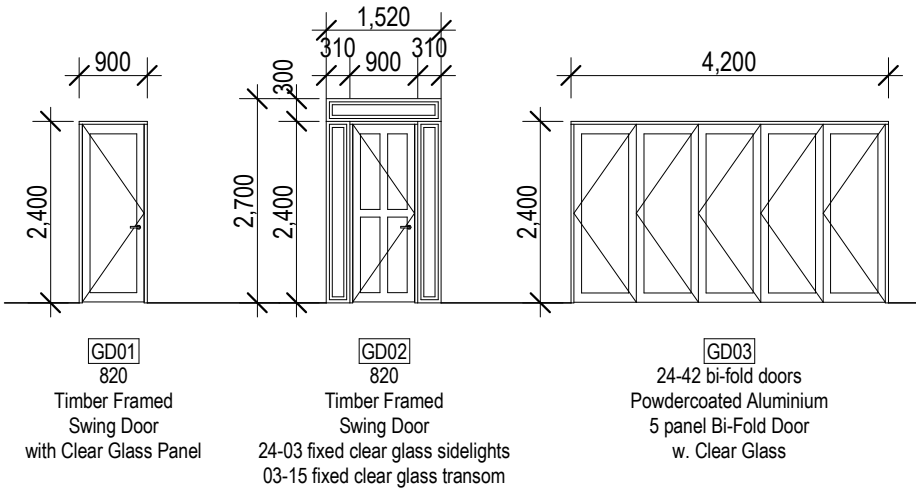
ELEVATIONS

ROOF PLAN

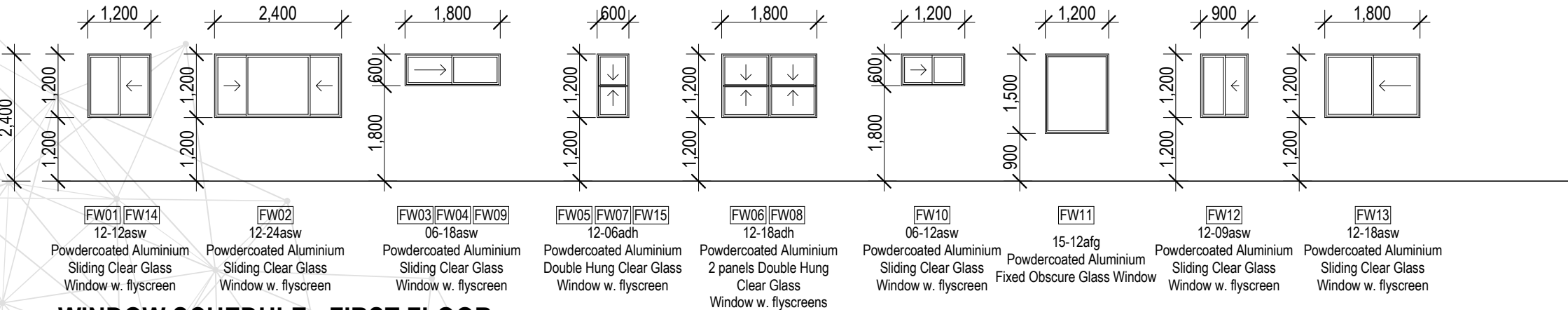
SCALE 1:100



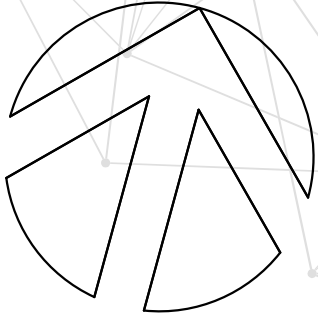
WINDOW SCHEDULE - GROUND FLOOR 1:100



DOOR SCHEDULE - GROUND FLOOR 1:100



WINDOW SCHEDULE - FIRST FLOOR 1:100



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Burleigh Heads DC QLD 4220
ABN 73 097 995 616
QBCC License No: 1129687



PROPOSED RESIDENCES

BUILDER: T.B.C.

CLIENT: MR. Z. KENNEDY

PROJECT: LOT 1
KEATS STREET
BYRON BAY

DRAWN BY: RH/MB

CHECKED BY: SO

DESIGN: CUSTOM

DATE: A 18/12/2019

SCALES: 1:100 @ A3

AMENDMENTS:
B030220 G200420
C140220 H210520
D250220
E200320
F170420

SHEET NUMBER: 8 of 91

JOB NUMBER: 7890

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PRELIMINARY PLANS ONLY NOT FOR CONSTRUCTION



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ABN 73 097 995 616

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PROPOSED RESIDENCES

BUILDER: T.B.C.

CLIENT: **MR. Z. KENNEDY**

PROJECT: LOT 1
KEATS STREET
BYRON BAY

DRAWN BY: RH/MB

CHECKED BY: SO

DESIGN: CUSTOM

DATE: A 18/12/2019

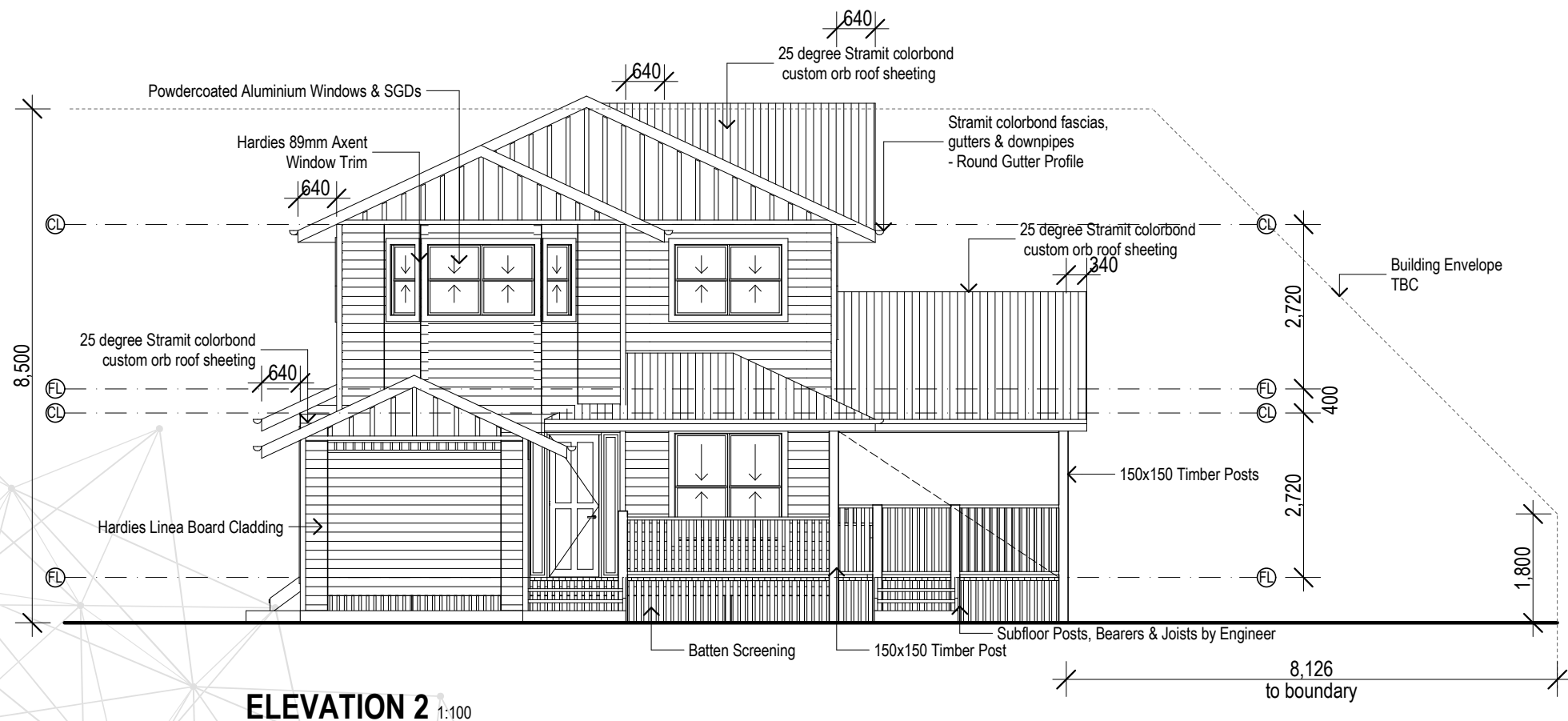
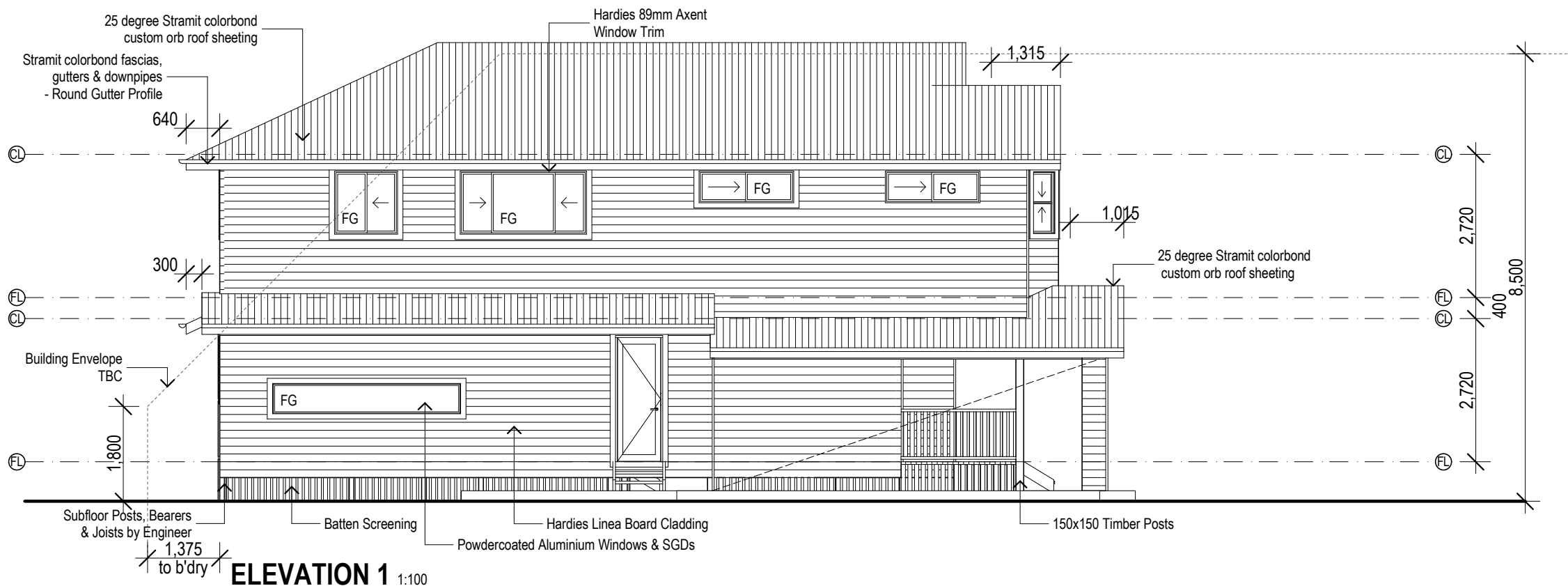
SCALES: 1:100 @ A3

AMENDMENTS:
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C140220 H210520
D250220
E200320
F170420

SHEET NUMBER: 9 of 91

JOB NUMBER: **7890**

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PROPOSED RESIDENCES

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CLIENT: MR. Z. KENNEDY

PROJECT: LOT 1
KEATS STREET
BYRON BAY

DRAWN BY: RH/MB

CHECKED BY: SO

DESIGN: CUSTOM

DATE: A 18/12/2019

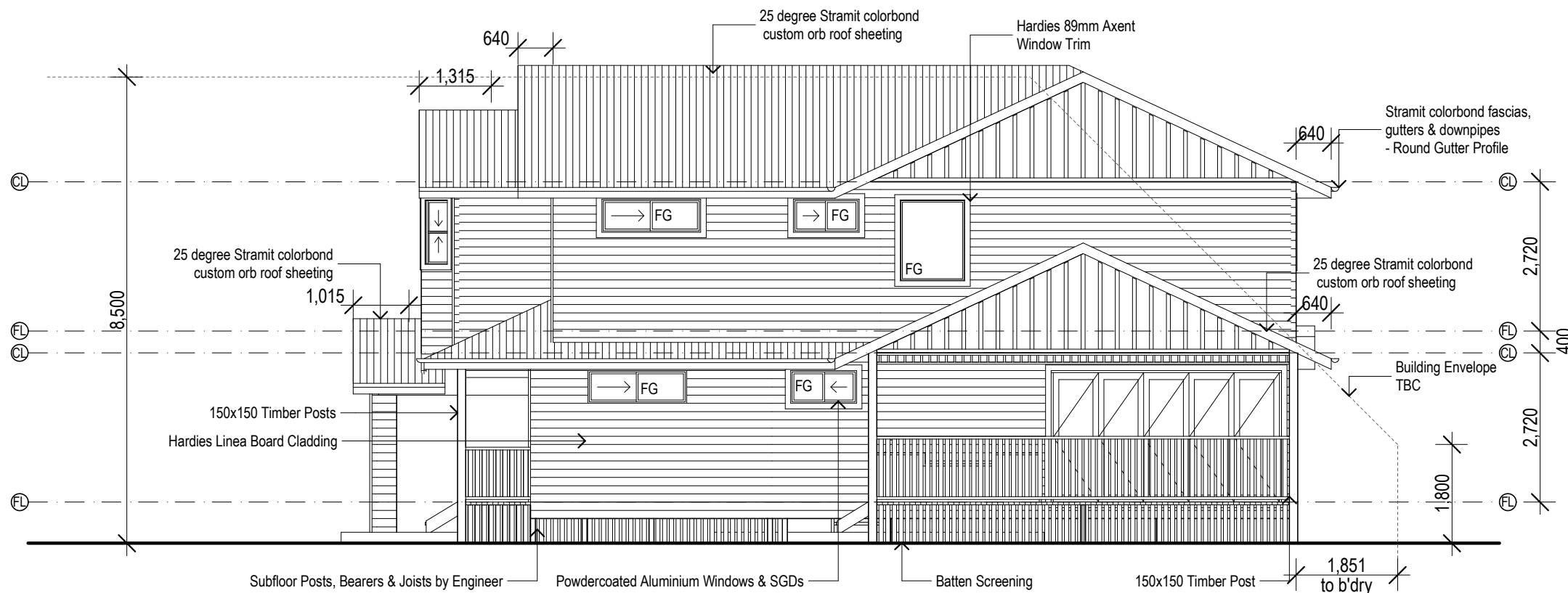
SCALES: 1:100 @ A3

AMENDMENTS:
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D250220
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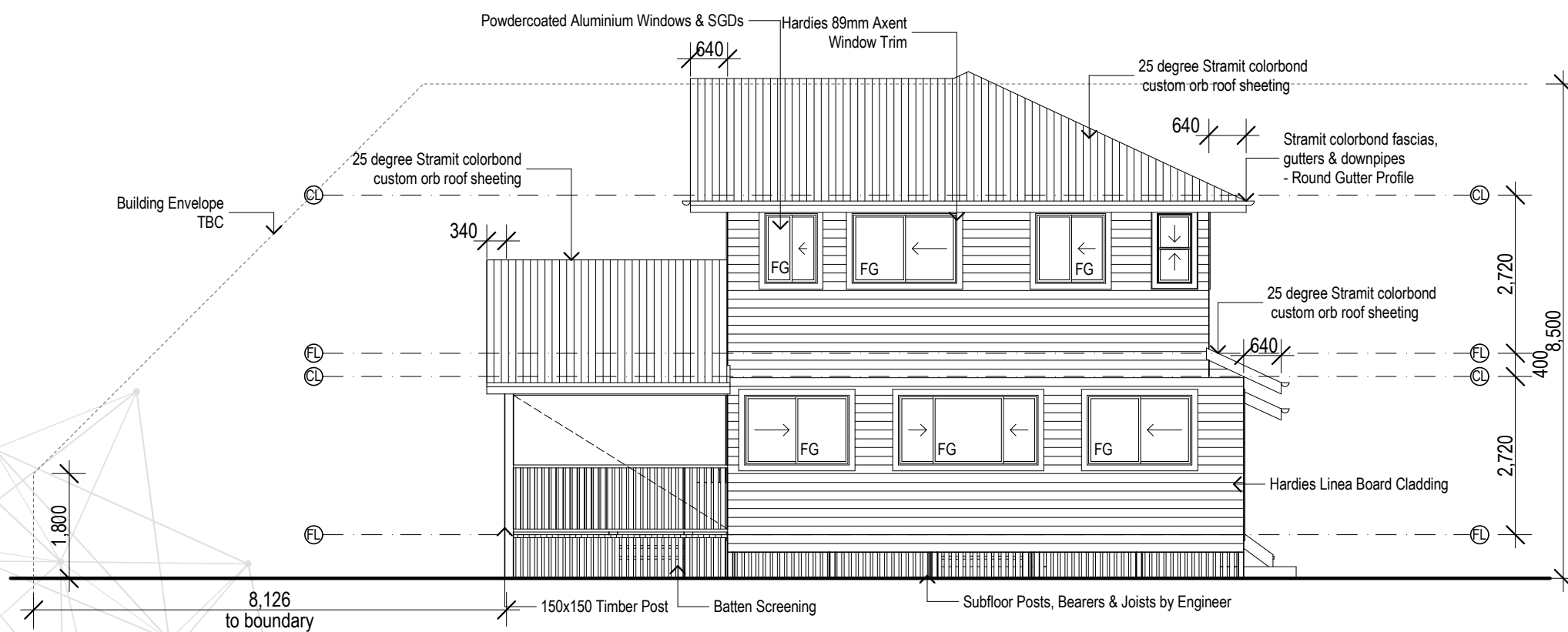
SHEET NUMBER: 10 of 91

JOB NUMBER: 7890

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ELEVATION 3 1:100



ELEVATION 4 1:100

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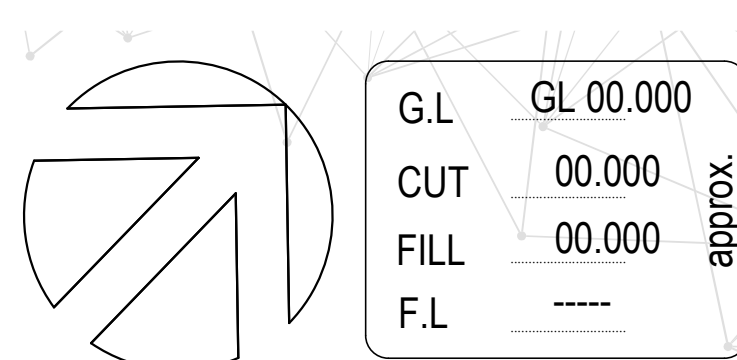
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**** 1:5 MAX DRIVEWAY SLOPE TO LOCAL GOVERNMENT REQUIREMENTS AND STANDARDS ****



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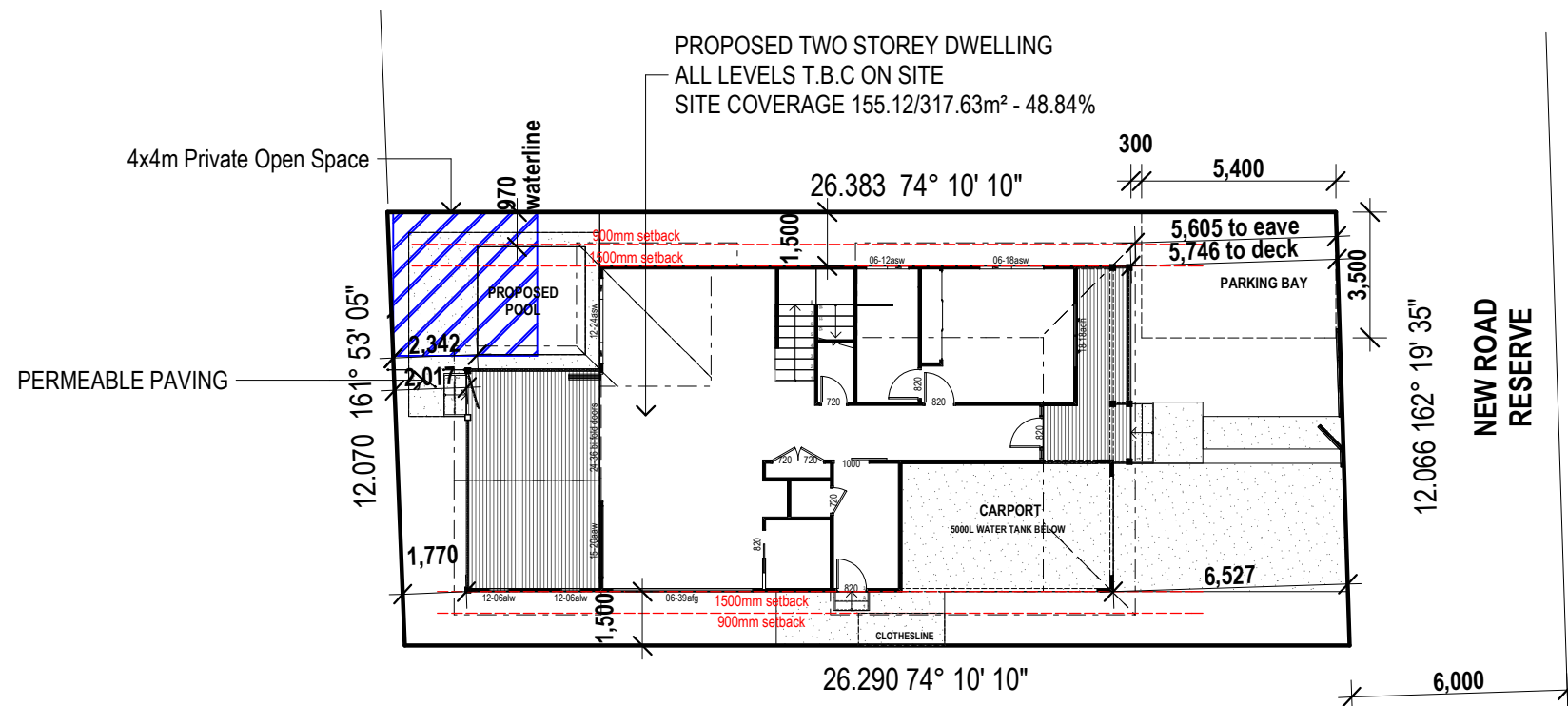
Burleigh Heads DC QLD 4220

ABN 73 097 995 616

OBCC License No: 1129687



PROPOSED TWO STOREY DWELLING
- ALL LEVELS T.B.C ON SITE
SITE COVERAGE 155.12/317.63m² - 48.84%



SCALE 1:200 SHEET 4 OF 91 JOB NUMBER - 7890

PRELIMINARY PLANS ONLY NOT FOR CONSTRUCTION

BUILDER: T.B.C

CLIENT: MR. Z. KENNEDY

PROJECT: LOT 2
KEATS STREET
BYRON BAY

DRAWN BY: RH/ME

CHECKED BY: SC

DESIGN: CUSTOM

DATE: A 12/11/2019

SCALES: 1:100 @ A3

AMENDMENTS:

B251119 G200320

C111219 H170420

D310120 i200420
E140320 J310E20

E140220 J210520
F260220

SHEET NUMBER: 4 of 91

JOB NUMBER: 7890

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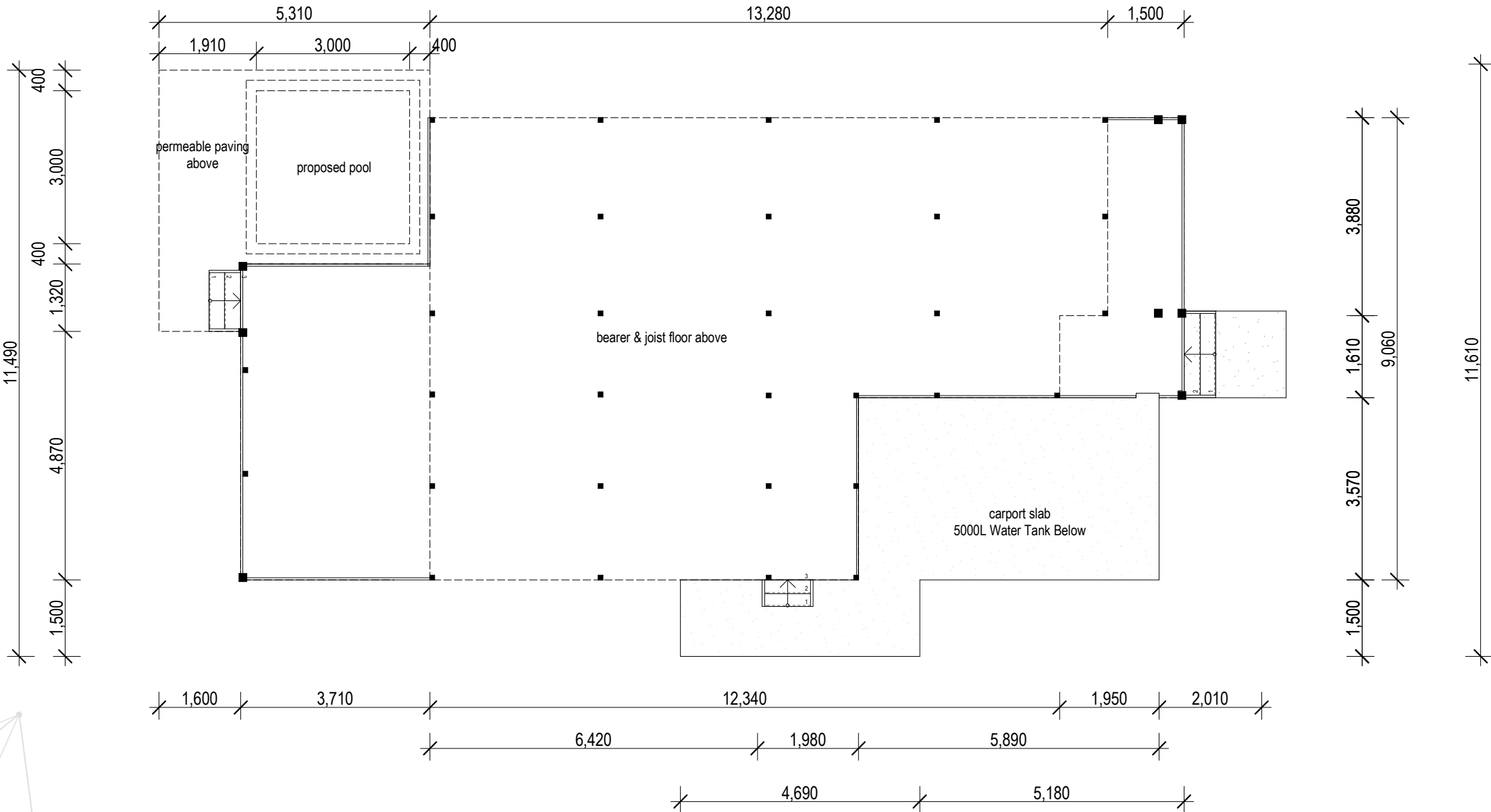
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AND PERFORMANCE OF THE BUILDING

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3

4

2

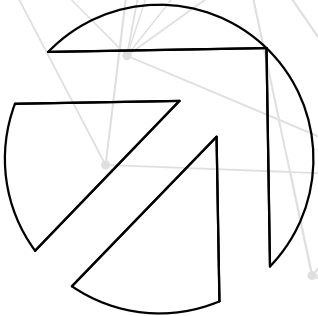
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ELEVATIONS

SUB-FLOOR PLAN

SCALE 1:100

PRELIMINARY PLANS ONLY NOT FOR CONSTRUCTION



SO

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OSMAN

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F (07) 55 203 033

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ABN 73 097 995 616

QBCC License No: 1129687

MASTER
BUILDERS
QUEENSLAND

bdaa

building designers
association of
australia

ba

building designers
association of
queensland inc.

PROPOSED RESIDENCES

BUILDER:

T.B.C.

CLIENT:

MR. Z. KENNEDY

PROJECT:

LOT 2
KEATS STREET
BYRON BAY

DRAWN BY:

RH/MB

CHECKED BY:

SO

DESIGN:

CUSTOM

DATE:

A 12/11/2019

SCALES:

1:100 @ A3

AMENDMENTS:

B251119 G200320
C111219 H170420
D310120 i200420
E140220 J210520
F260220

SHEET NUMBER:

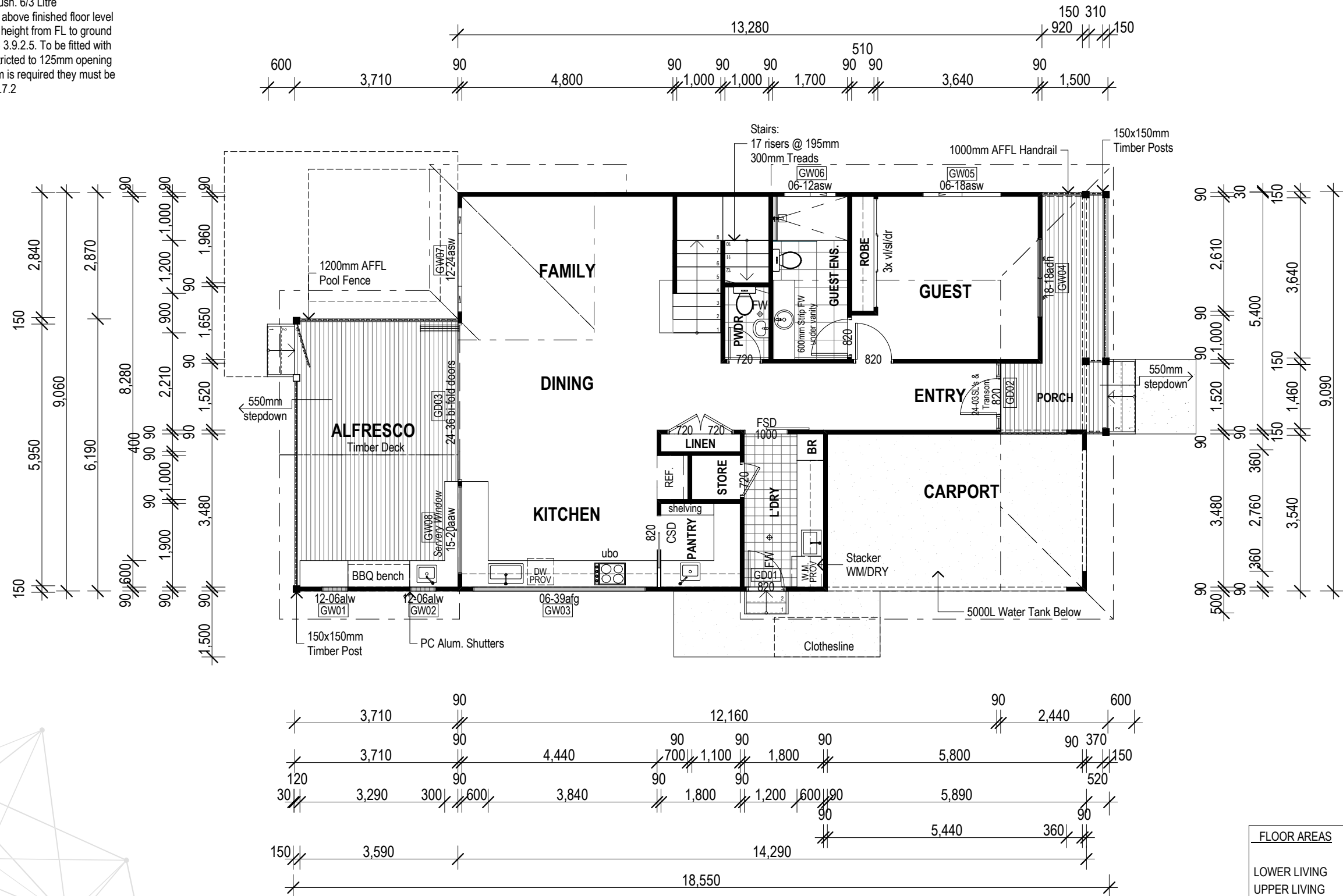
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JOB NUMBER:

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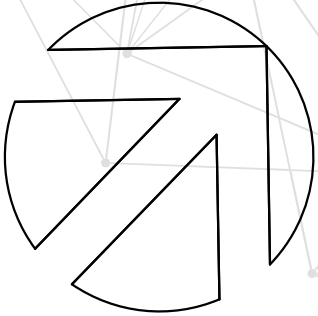


ELEVATIONS

GROUND FLOOR PLAN

SCALE 1:100

PRELIMINARY PLANS ONLY NOT FOR CONSTRUCTION



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Burleigh Heads DC QLD 4220
ABN 73 097 995 616
QBCC License No: 1129687



PROPOSED RESIDENCES

BUILDER: T.B.C.

CLIENT: MR. Z. KENNEDY

PROJECT: LOT 2
KEATS STREET
BYRON BAY

DRAWN BY: RH/MB

CHECKED BY: SO

DESIGN: CUSTOM

DATE: A 12/11/2019

SCALES: 1:100 @ A3

AMENDMENTS:
B251119 G200320
C111219 H170420
D310120 I200420
E140220 J210520
F260220

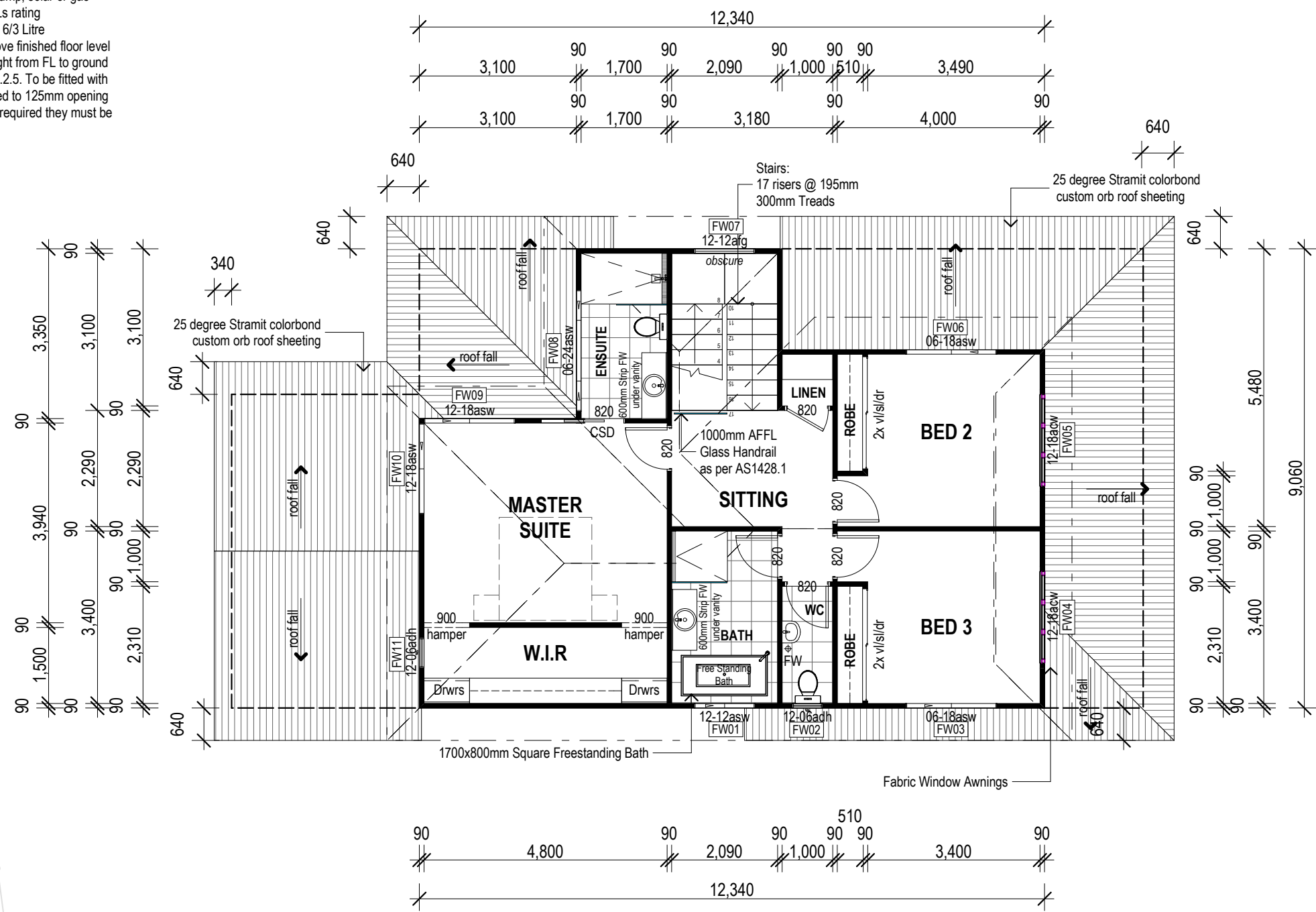
SHEET NUMBER: 6 of 91

JOB NUMBER: 7890

FLOOR AREAS	Area (m2)
LOWER LIVING	101.38
UPPER LIVING	91.11
CARPORT	21.03
ALFRESCO	22.96
PORCH	9.75
TOTAL	246.23 m²

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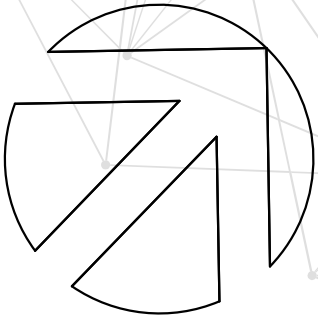
3
4
2
1

ELEVATIONS

FIRST FLOOR PLAN

SCALE 1:100

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QBCC License No: 1129687



PROPOSED RESIDENCES

BUILDER: T.B.C.

CLIENT: MR. Z. KENNEDY

PROJECT: LOT 2
KEATS STREET
BYRON BAY

DRAWN BY: RH/MB

CHECKED BY: SO

DESIGN: CUSTOM

DATE: A 12/11/2019

SCALES: 1:100 @ A3

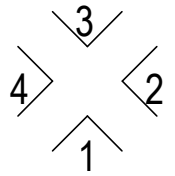
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C111219 H170420
D310120 I200420
E140220 J210520
F260220

SHEET NUMBER: 7 of 91

JOB NUMBER: 7890

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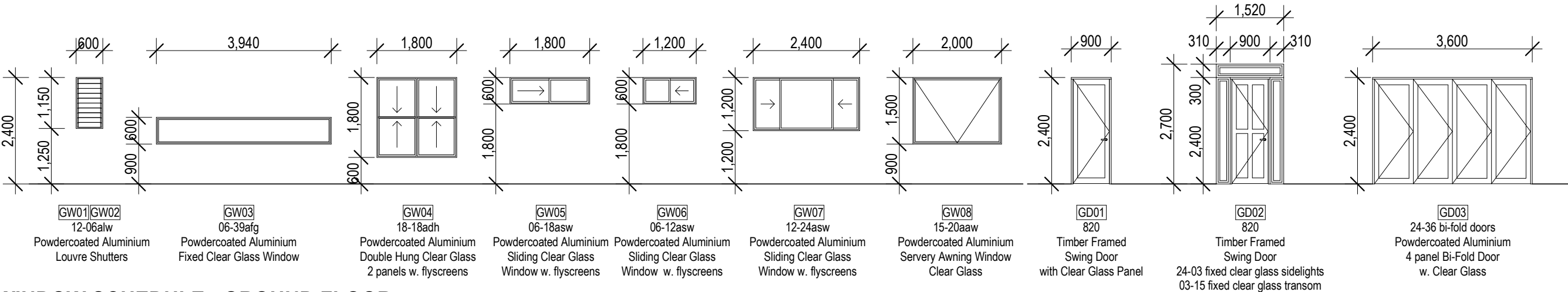
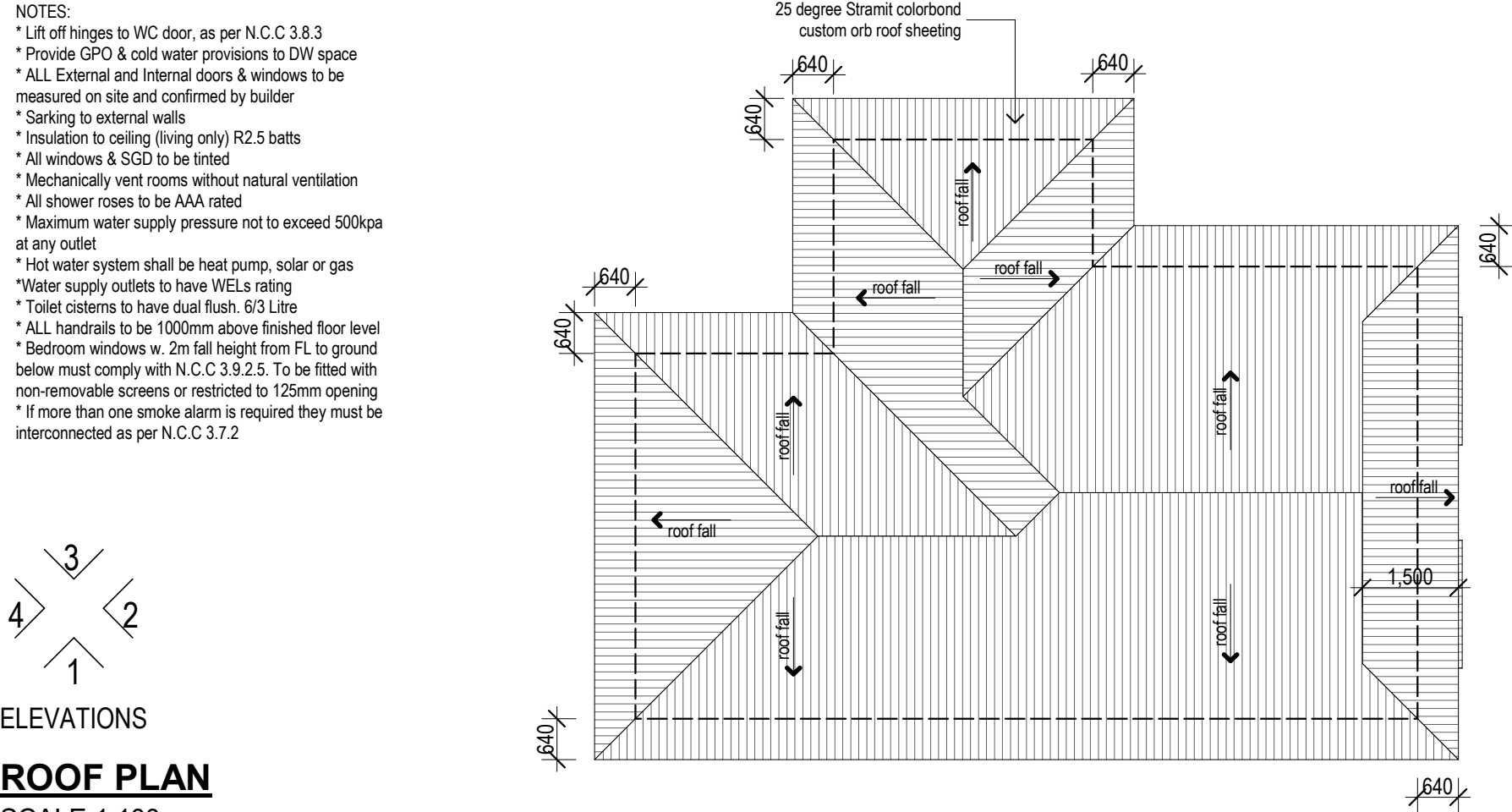
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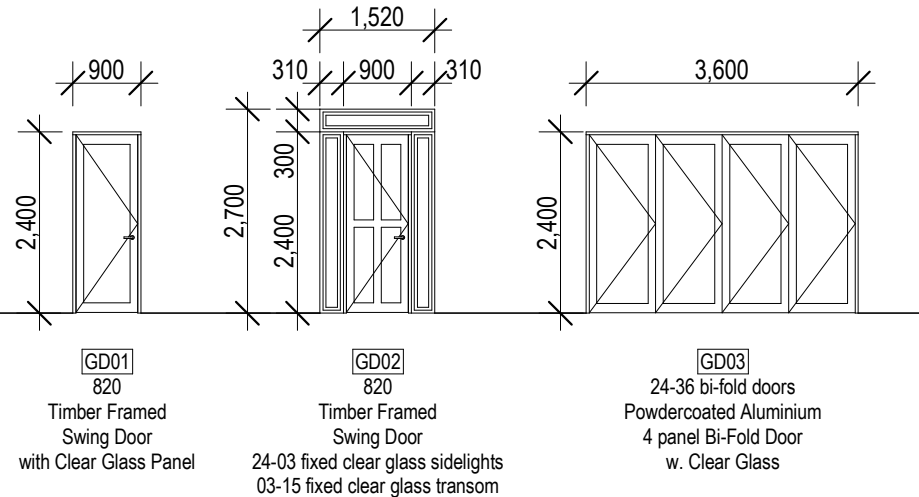
ELEVATIONS

ROOF PLAN

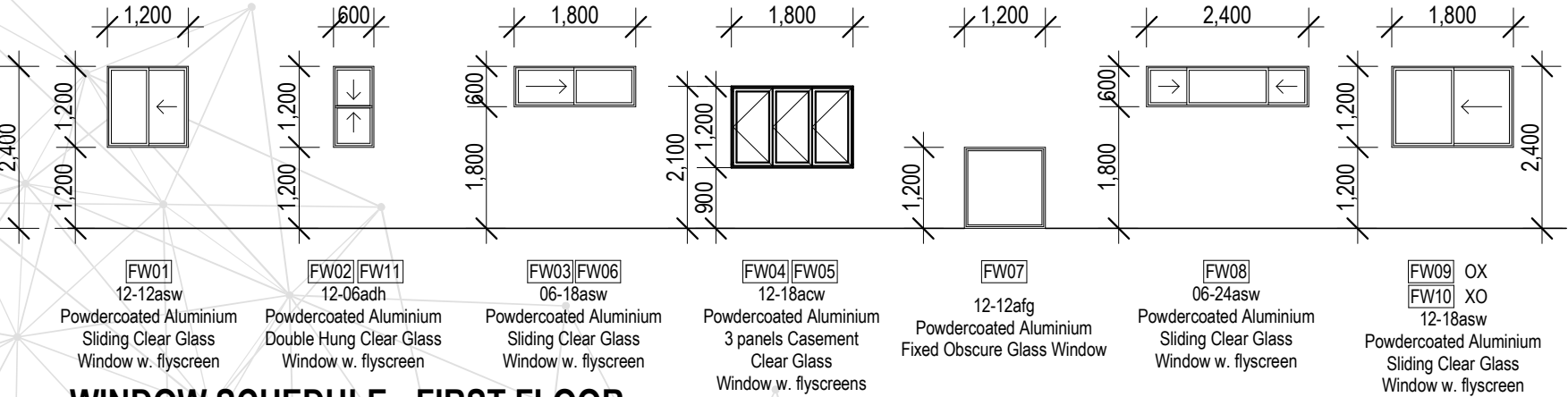
SCALE 1:100



WINDOW SCHEDULE - GROUND FLOOR 1:100

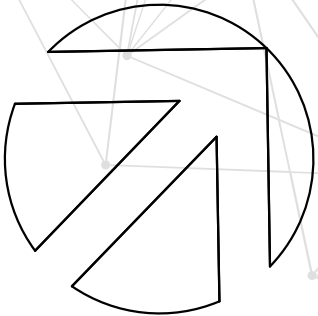


DOOR SCHEDULE - GROUND FLOOR 1:100



WINDOW SCHEDULE - FIRST FLOOR 1:100

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ABN 73 097 995 616
QBCC License No: 1129687



PROPOSED RESIDENCES

BUILDER: T.B.C.

CLIENT: **MR. Z. KENNEDY**

PROJECT: LOT 2
KEATS STREET
BYRON BAY

DRAWN BY: RH/MB

CHECKED BY: SO

DESIGN: CUSTOM

DATE: A 12/11/2019

SCALES: 1:100 @ A3

AMENDMENTS:
B251119 G200320
C111219 H170420
D310120 i200420
E140220 J210520
F260220

SHEET NUMBER: 8 of 91
JOB NUMBER: **7890**

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BYRON BAY

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CHECKED BY: SO

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DATE: A 12/11/2019

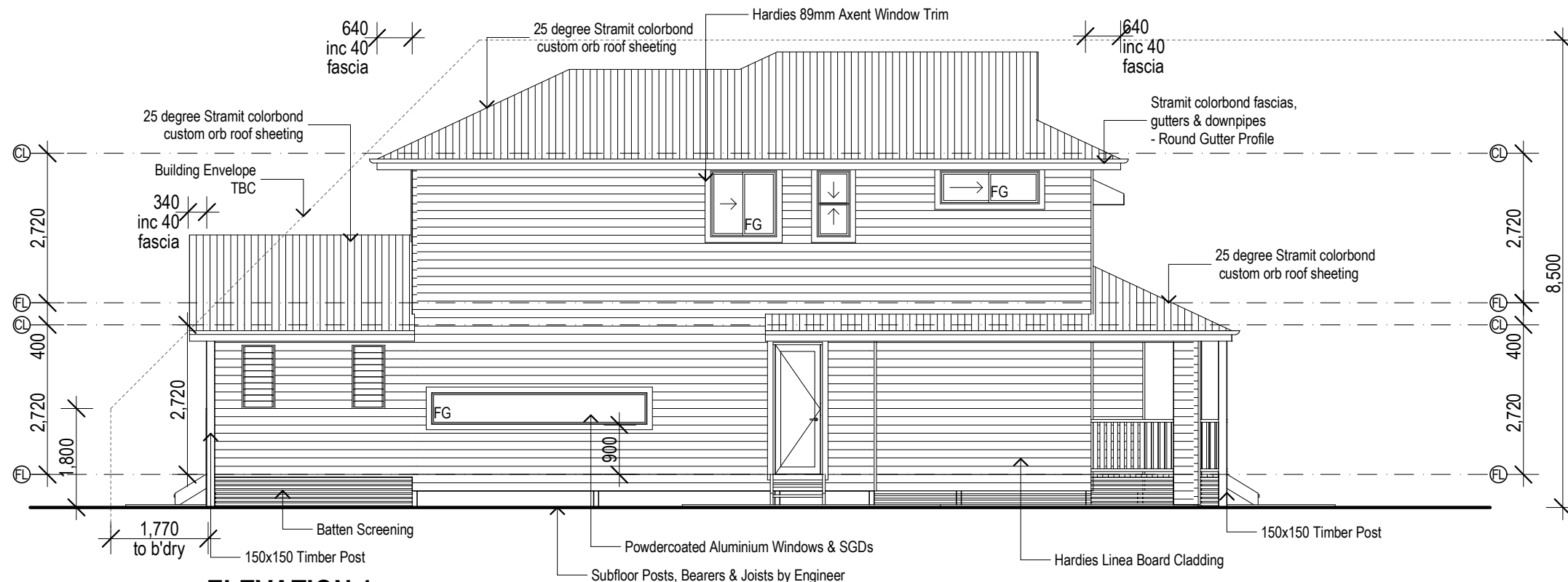
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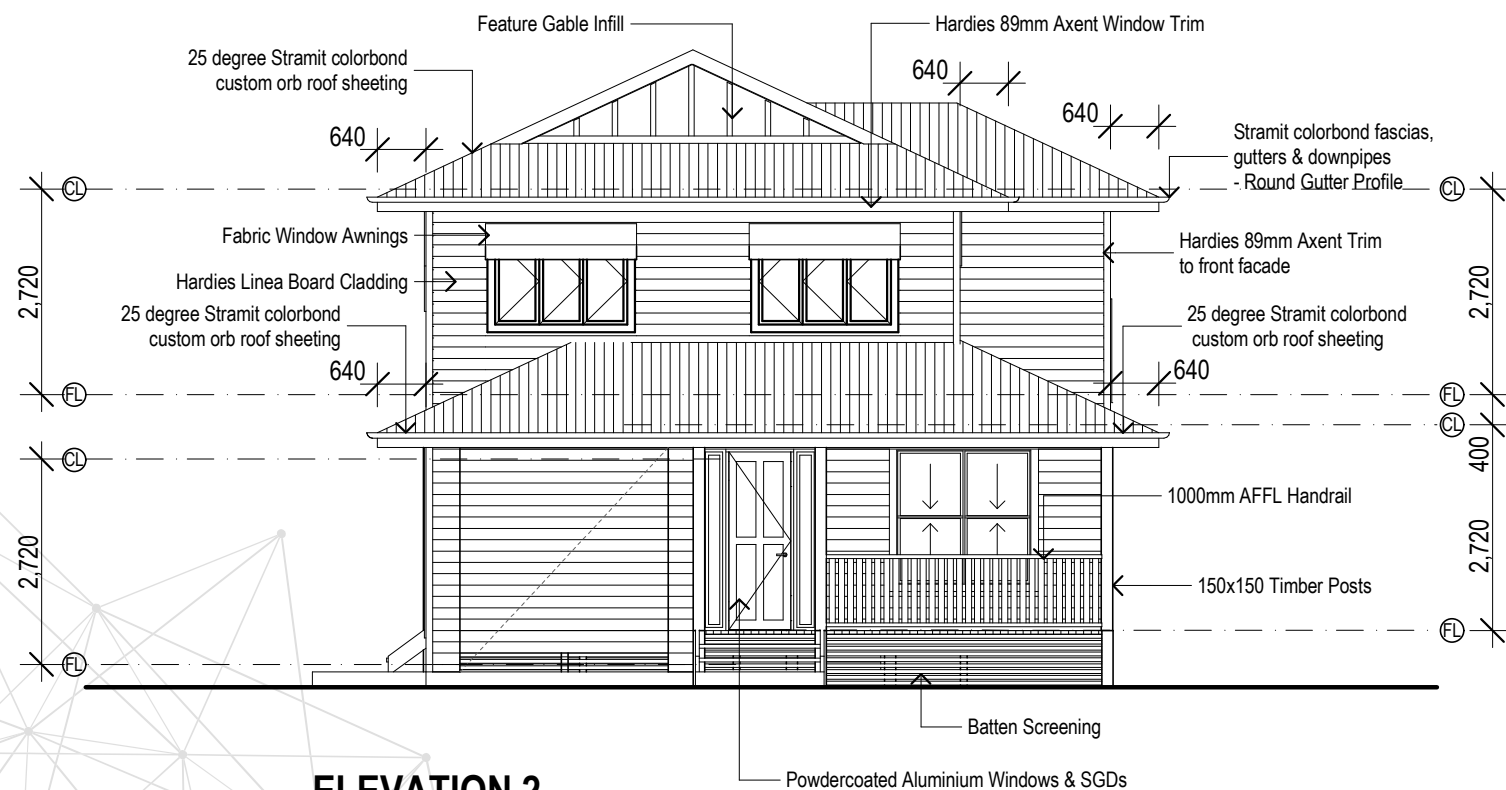
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JOB NUMBER: **7890**

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ELEVATION 1 1:100



ELEVATION 2 1:100



ELEVATION 2B 1:100

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PROPOSED RESIDENCES

BUILDER: T.B.C.

CLIENT: **MR. Z. KENNEDY**

PROJECT: LOT 2
KEATS STREET
BYRON BAY

DRAWN BY: RH/MB

CHECKED BY: SO

DESIGN: CUSTOM

DATE: A 12/11/2019

SCALES: 1:100 @ A3

AMENDMENTS:

B251119 G200320

C111219 H170420

D310120 I200420

E140220 J210520

F260220

SHEET NUMBER: 10 of 91

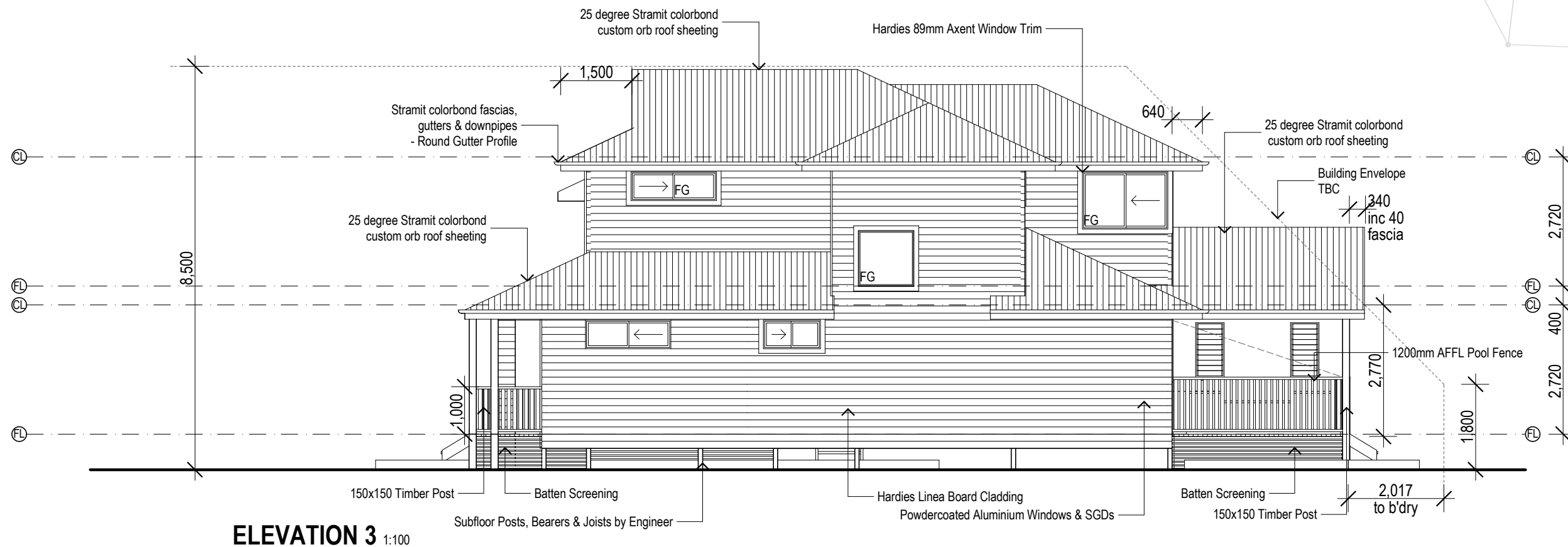
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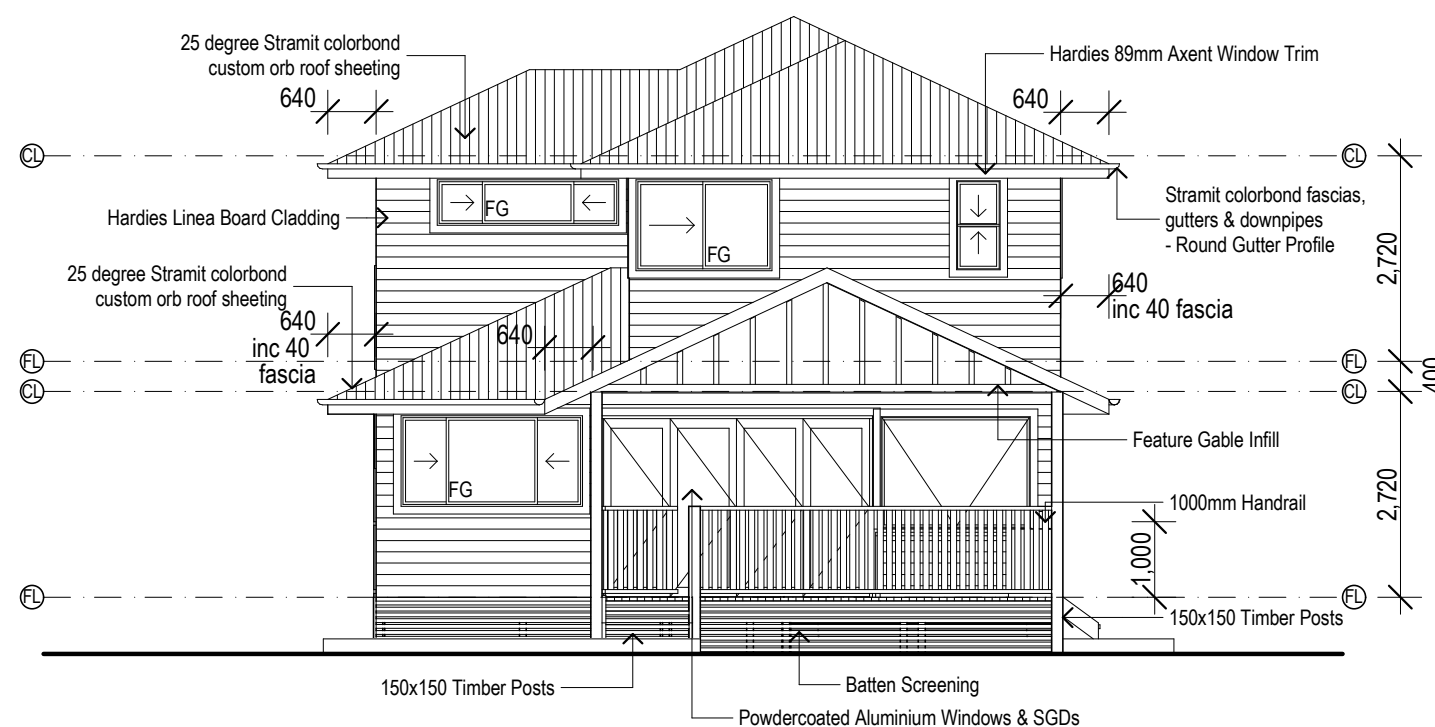
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ELEVATION 3 1:100



ELEVATION 4 1:100

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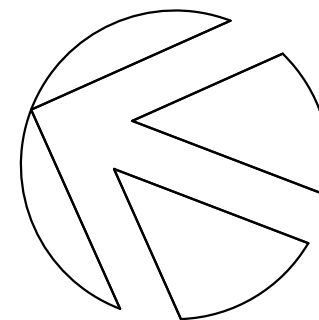
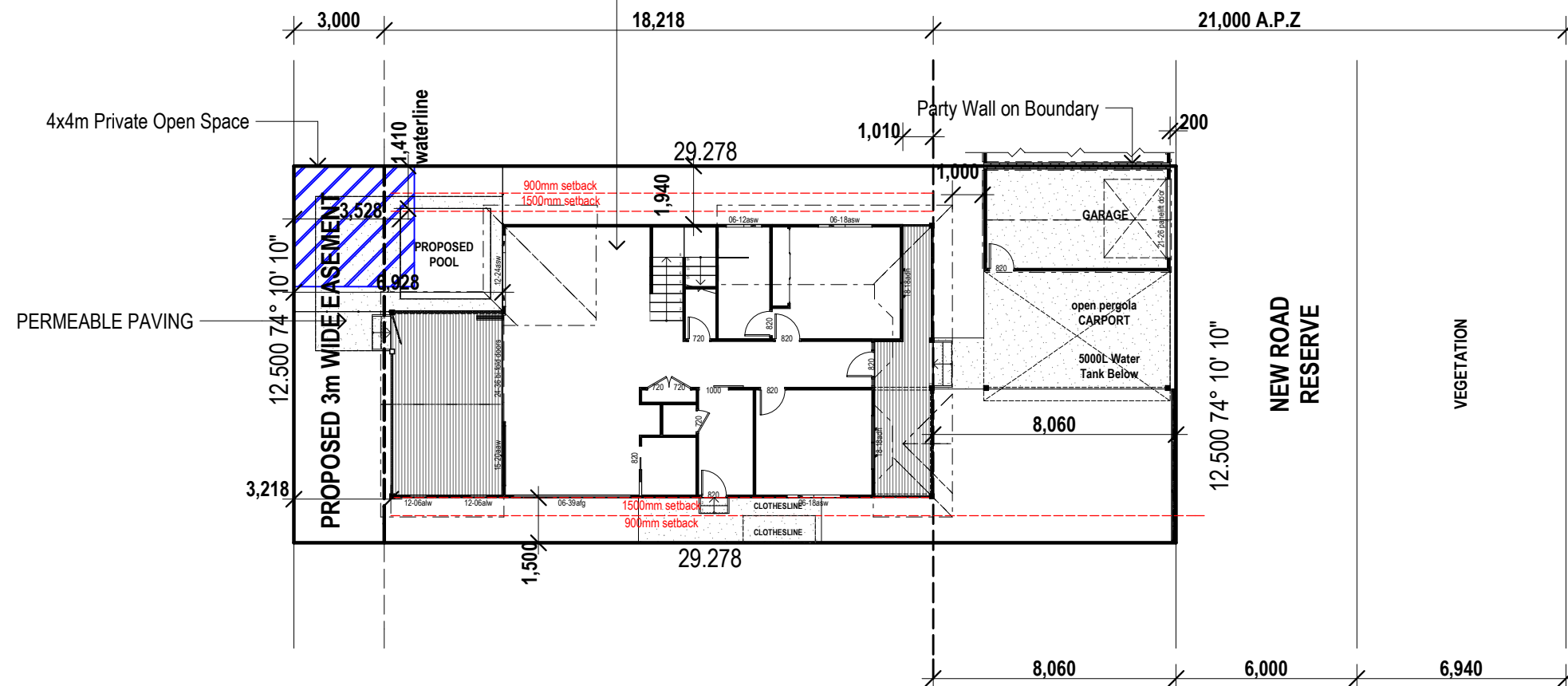
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- * Discharge waste to connection point
- * Provide sediment control to site where req'd
- * Discharge stormwater to TANK, where possible, all other stormwater & overflow to kerb & channel
- * Meter box position T.B.C on site
- * All retaining walls by owner

* 2 DOWNPIPES MAX. TO EACH 100mm STORMWATER PIPE, SUBSURFACE PIPES TO BE 100mm DIAMETER, ANY UNDERSLAB PIPING TO HAVE AN INSPECTION OPENING AT UPPER END, THEN TO BE 100mm SEWER GRADE PIPING WITH NO JOINS UNDER SLAB.

PROPOSED LOT 5

PROPOSED TWO STOREY DWELLING
— ALL LEVELS T.B.C ON SITE
SITE COVERAGE 173.97/365.97m²- 47.54%



G.L	GL 00.000	
CUT	00.000	
FILL	00.000	
F.L	----	approx.

Stuart
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Studio 2/71 Township Dr,
West Burleigh, QLD 4219

QBCC License No: 1129687



BUILDER: T.B.C.

CLIENT: **MR. Z. KENNEDY**
PROJECT: LOT 5
KEATS STREET
BYRON BAY

DRAWN BY: RH/MB
CHECKED BY: SO
DESIGN: CUSTOM
DATE: A 12/11/2019
SCALES: 1:100 @ A3

AMENDMENTS:

B251119	F270220	J021120
C111219	G170420	K021120
D310120	H170820	
E170220	I170820	

SHEET NUMBER: 4 of 11
JOB NUMBER: 7890

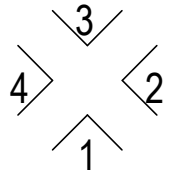
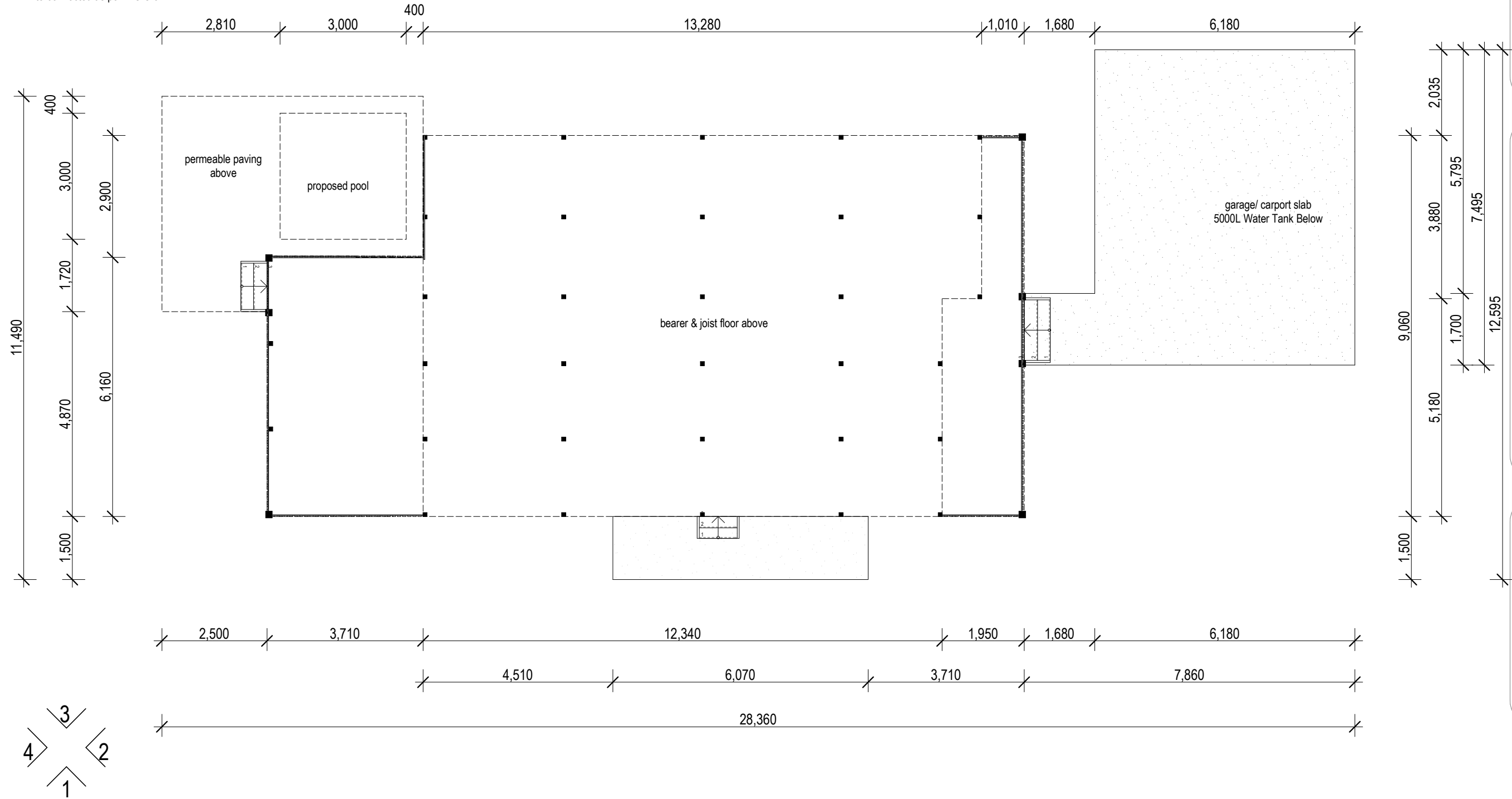
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SITE PLAN - GROUND FLOOR

SCALE 1:200 SHEET 4 OF 89 JOB NUMBER - 7890

PRELIMINARY PLANS ONLY NOT FOR CONSTRUCTION

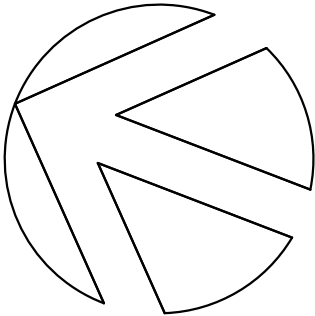
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ELEVATIONS

SUB-FLOOR PLAN

SCALE 1:100



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Osman**

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West Burleigh, QLD 4219

PO BOX 2845
Burleigh Heads DC QLD 4220
ABN 73 097 995 616
QBCC License No: 1129687



PROPOSED RESIDENCES

BUILDER: TBC

CLIENT: MR. Z. KENNEDY

PROJECT: LOT 5
KEATS STREET
BYRON BAY

DRAWN BY: RH/MB

CHECKED BY: SO

DESIGN: CUSTOM

DATE: A 12/11/2019

SCALES: 1:100 @ A3

AMENDMENTS:

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C111219	G170420	K021120
D310120	H170820	
E170220	i170820	

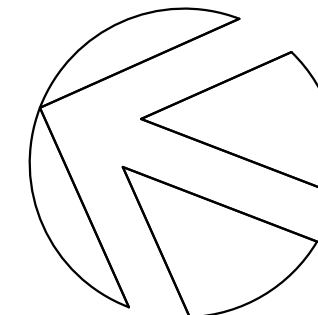
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- * Bedroom windows w. 2m fall height from FL to ground below must comply with N.C.C 3.9.2.5. To be fitted with non-removable screens or restricted to 125mm opening
- * If more than one smoke alarm is required they must be interconnected as per N.C.C 3.7.2



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ABN 73 097 995 616
QBCC License No: 1129687



PROPOSED RESIDENCES

BUILDER: T.B.

CLIENT: **MR. Z. KENNEDY**
PROJECT: LOT 10
KEATS STREET
BYRON BAY

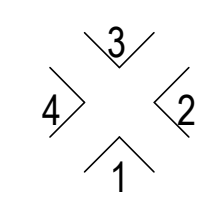
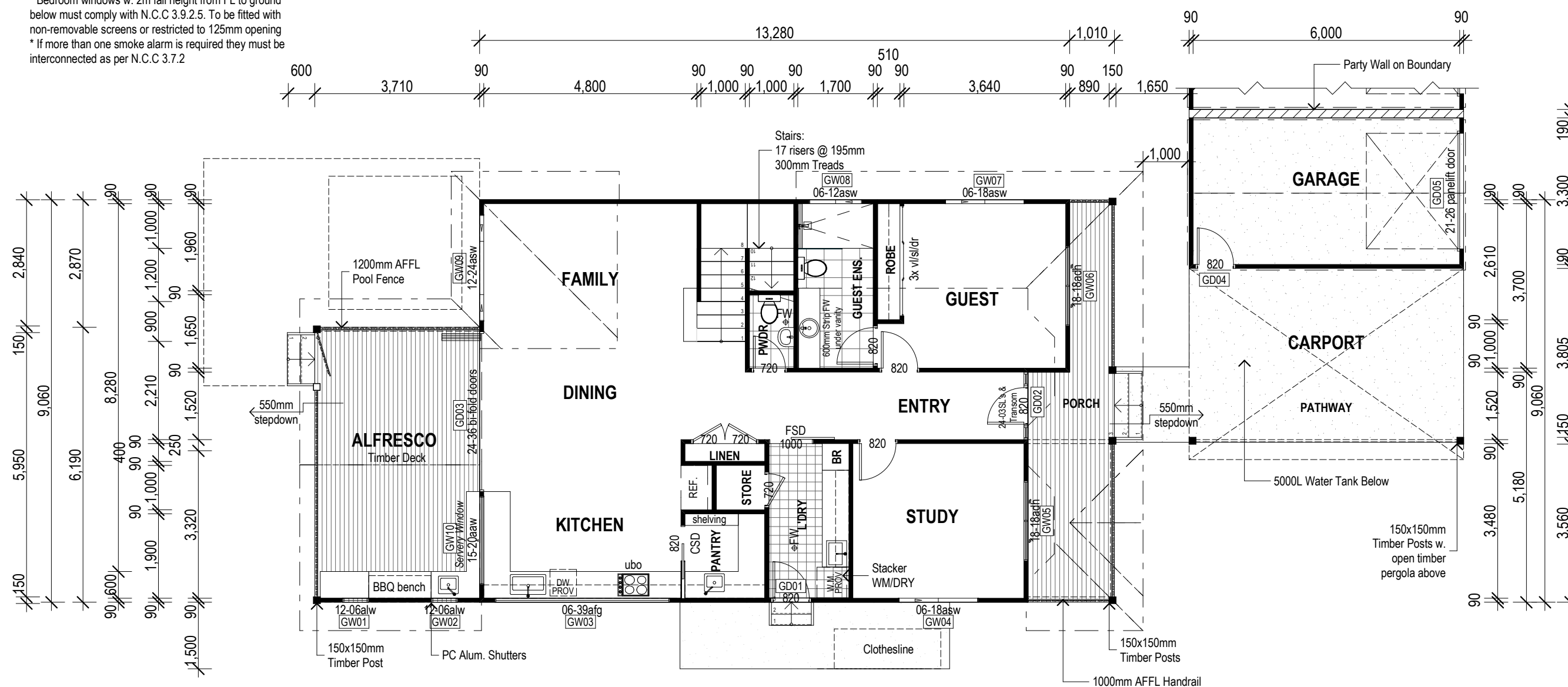
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CHECKED BY: S
DESIGN: CUSTO
DATE: A 12/11/20
SCALES: 1:100 @ A

AMENDMENTS:

B251119	F270220	J021120
C111219	G170420	K021120
D310120	H170820	
E170220	I170820	

SHEET NUMBER: 6 of
JOB NUMBER: 789

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ELEVATIONS

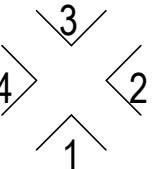
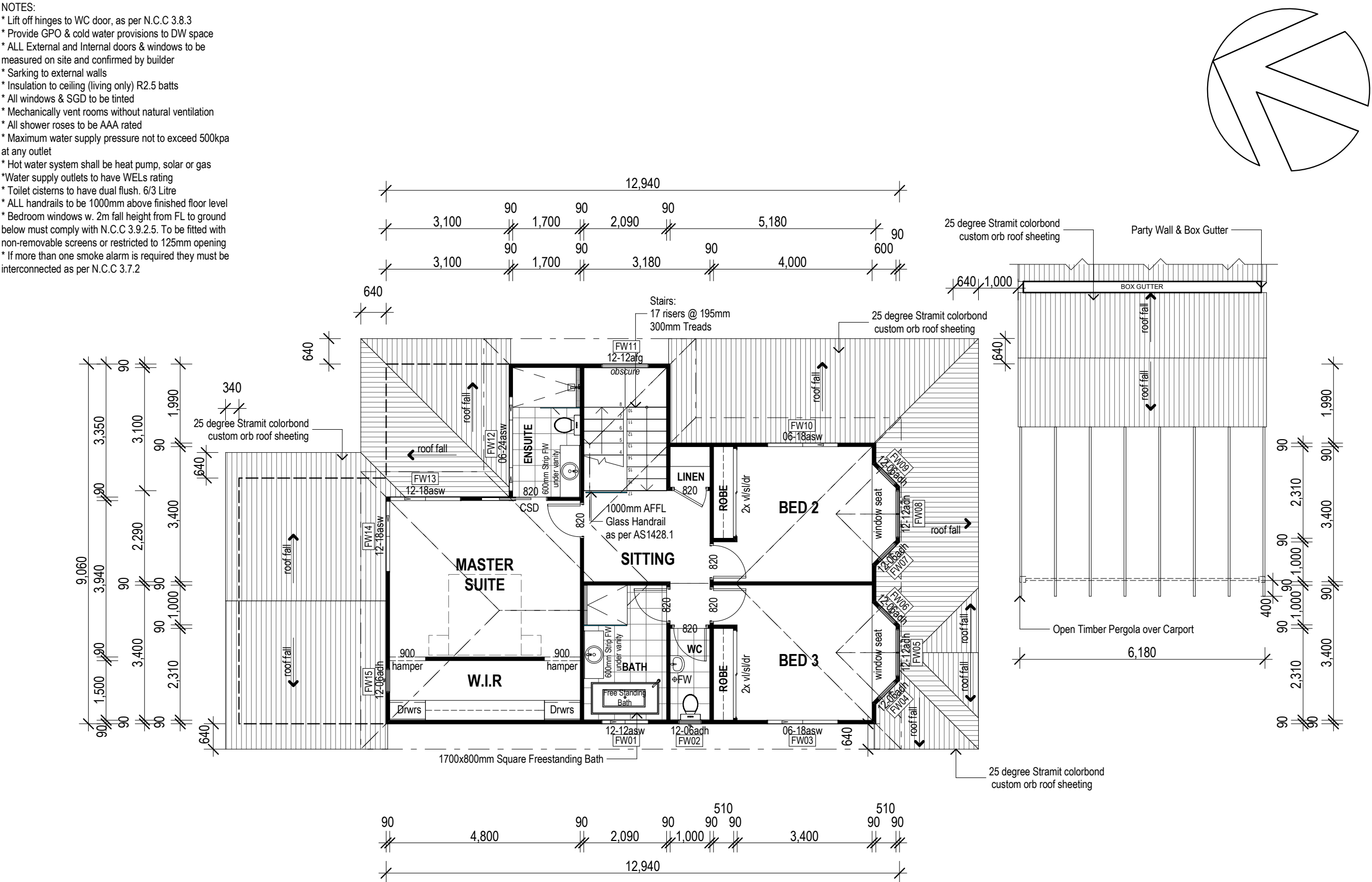
GROUND FLOOR PLAN

SCALE 1:100

<u>FLOOR AREAS</u>	
	Area (m ²)
LOWER LIVING	115.45
UPPER LIVING	93.51
CARPORT	21.54
ALFRESCO	22.96
PORCH	14.02
<u>TOTAL</u>	267.48 m²

PRELIMINARY PLANS ONLY NOT FOR CONSTRUCTION

- NOTES:
- * Lift off hinges to WC door, as per N.C.C 3.8.3
 - * Provide GPO & cold water provisions to DW space
 - * ALL External and Internal doors & windows to be measured on site and confirmed by builder
 - * Sarking to external walls
 - * Insulation to ceiling (living only) R2.5 batts
 - * All windows & SGD to be tinted
 - * Mechanically vent rooms without natural ventilation
 - * All shower roses to be AAA rated
 - * Maximum water supply pressure not to exceed 500kpa at any outlet
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 - * If more than one smoke alarm is required they must be interconnected as per N.C.C 3.7.2



ELEVATIONS

FIRST FLOOR PLAN
SCALE 1:100

PRELIMINARY PLANS ONLY NOT FOR CONSTRUCTION



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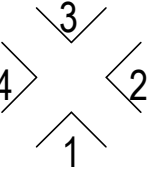
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E design@stuartosman.com.au
Studio 2/71 Township Dr,
West Burleigh, QLD 4219
PO BOX 2845
Burleigh Heads DC QLD 4220
ABN 73 097 995 616
QBCC License No: 1129687



PROPOSED RESIDENCES	
BUILDER:	T.B.C
CLIENT:	MR. Z. KENNEDY
PROJECT:	LOT 5 KEATS STREET BYRON BAY
DRAWN BY:	RH/MB
CHECKED BY:	SO
DESIGN:	CUSTOM
DATE:	A 12/11/2019
SCALES:	1:100 @ A3
AMENDMENTS:	
B251119	F270220 J021120
C111219	G170420 K021120
D310120	H170820
E170220	i170820
SHEET NUMBER:	7 of 11
JOB NUMBER:	7890

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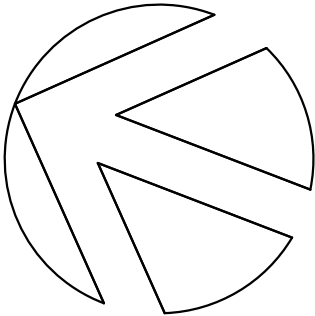
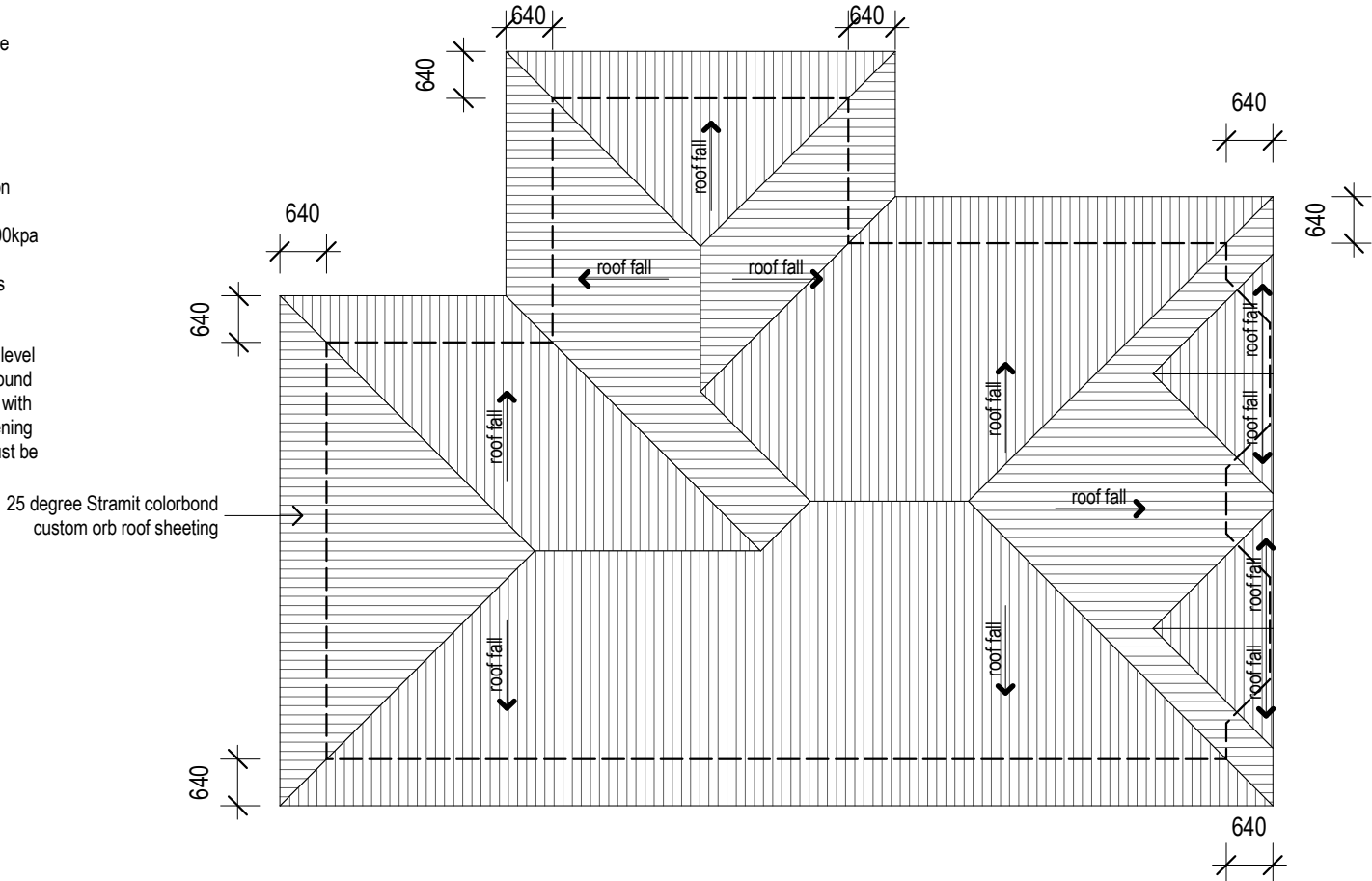
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ELEVATIONS

ROOF PLAN

SCALE 1:100



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Burleigh Heads DC QLD 4220
ABN 73 097 995 616
QBCC License No: 1129687



PROPOSED RESIDENCES

BUILDER: TBC

CLIENT: MR. Z. KENNEDY
PROJECT: LOT 5
KEATS STREET
BYRON BAY

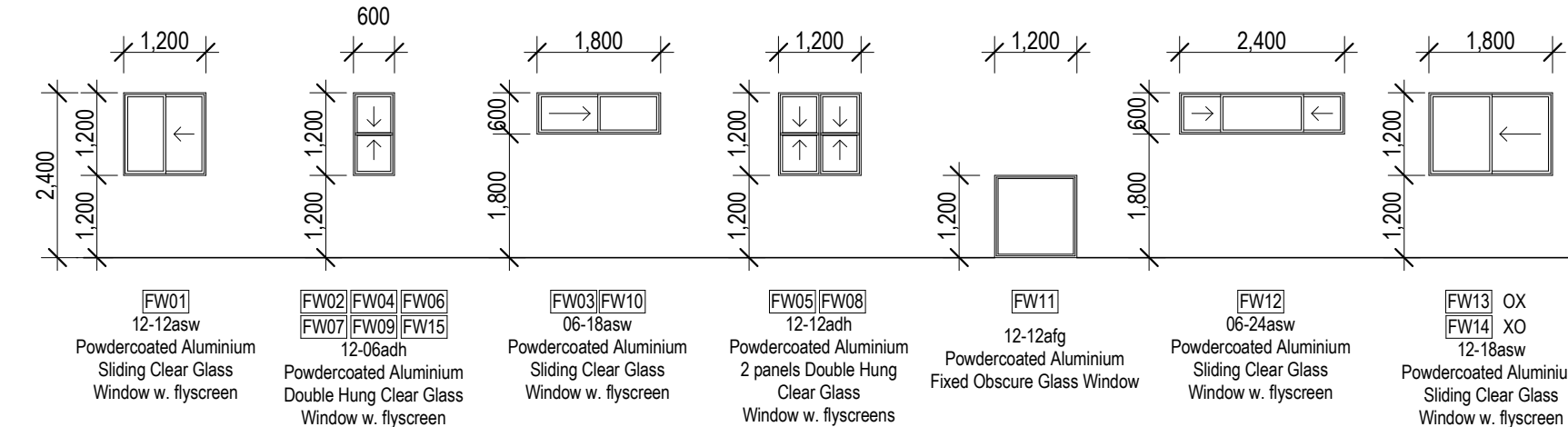
DRAWN BY: RH/MB
CHECKED BY: SO
DESIGN: CUSTOM
DATE: A 12/11/2019
SCALES: 1:100 @ A3

AMENDMENTS:
B251119 F270220 J021120
C111219 G170420 K021120
D310120 H170820
E170220 i170820
SHEET NUMBER: 8 of 11
JOB NUMBER: 7890

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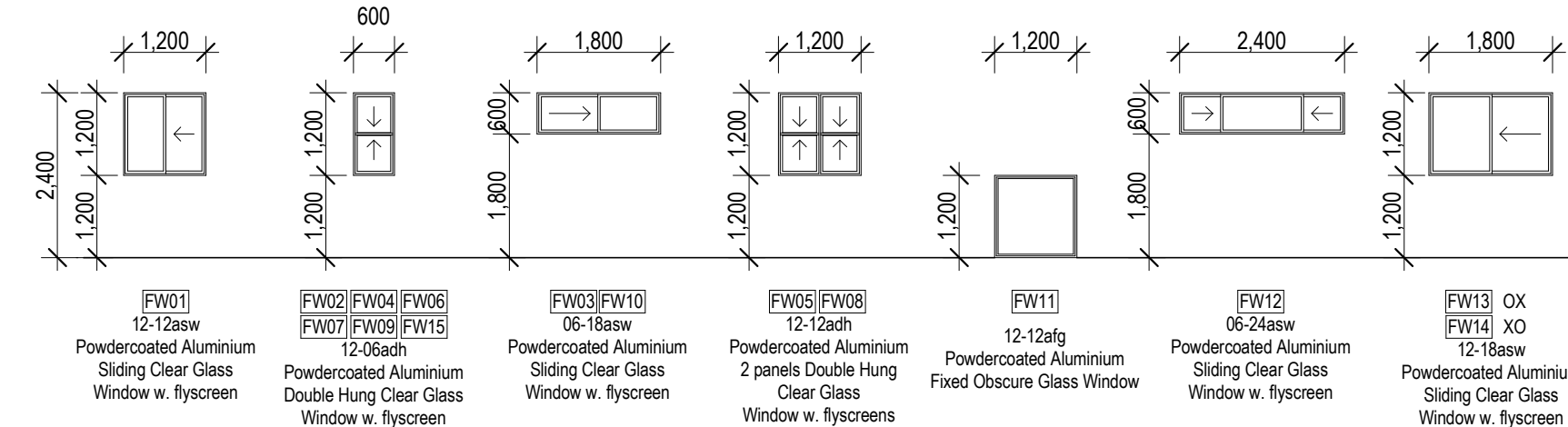
WINDOW SCHEDULE - GROUND FLOOR

1:100



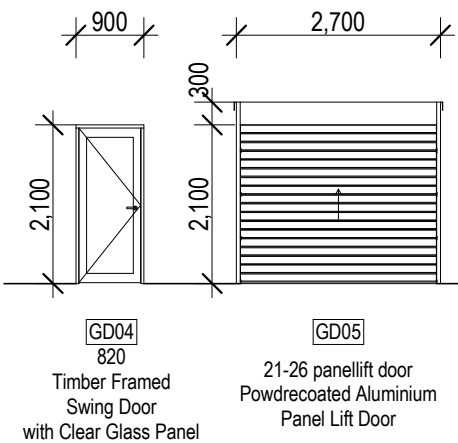
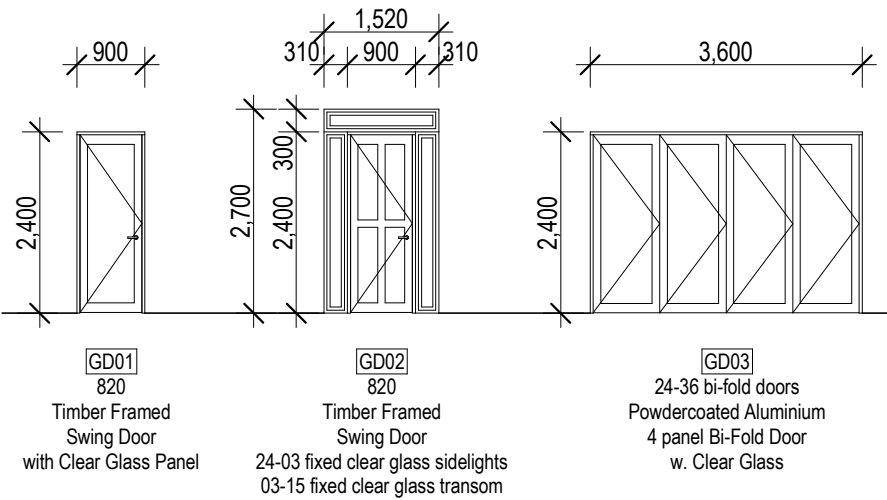
WINDOW SCHEDULE - FIRST FLOOR

1:100



DOOR SCHEDULE - GROUND FLOOR

1:100



PRELIMINARY PLANS ONLY NOT FOR CONSTRUCTION

PROPOSED RESIDENCES

BUILDER: T.B.C

CLIENT: **MR. Z. KENNEDY**

PROJECT: LOT 5
KEATS STREET
BYRON BAY

DRAWN BY: RH/MB

CHECKED BY: SO

DESIGN: CUSTOM

DATE: A 12/11/2019

SCALES: 1:100 @ A3

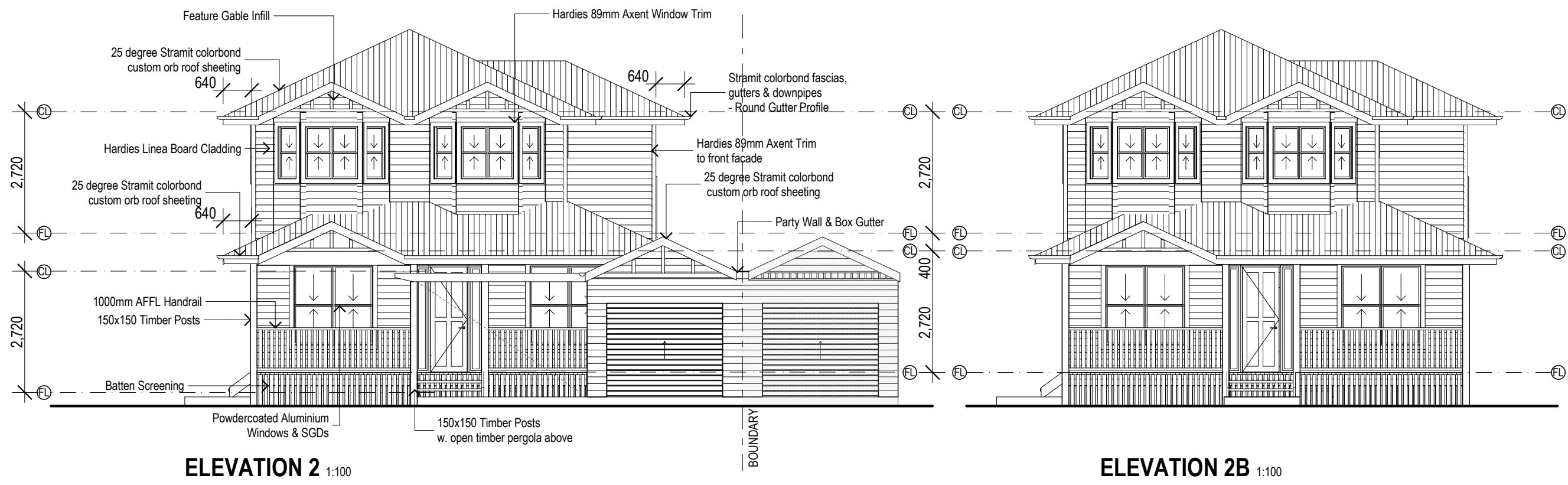
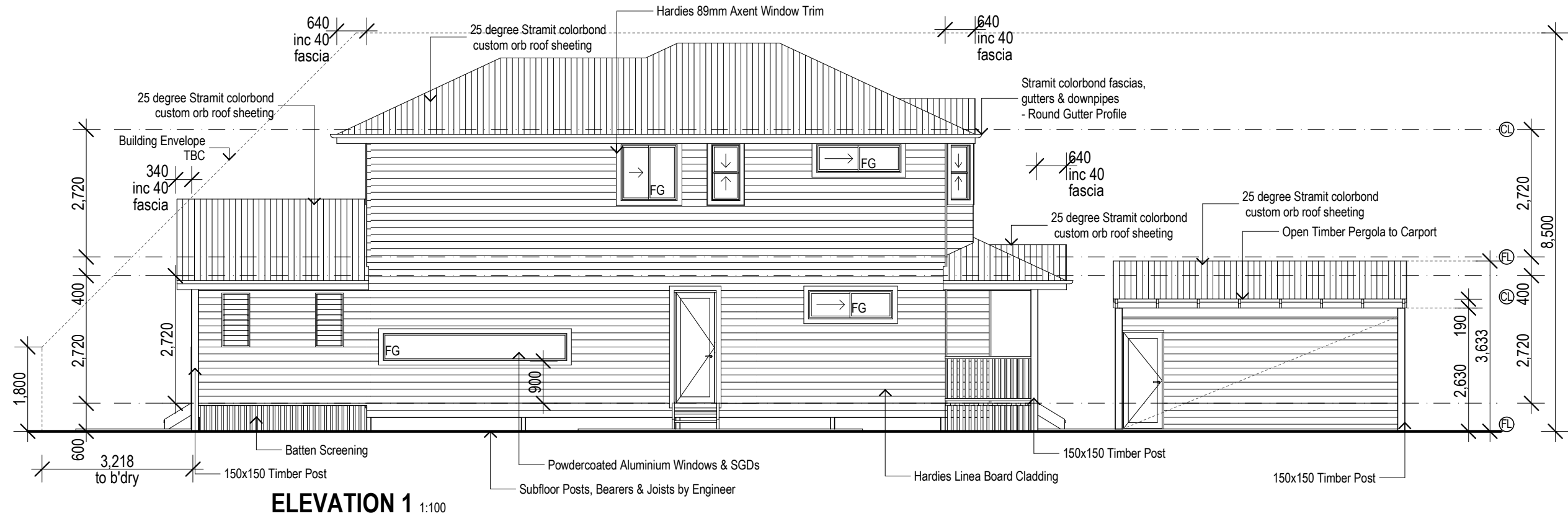
AMENDMENTS:

B251119	F270220	J021120
C111219	G170420	K021120
D310120	H170820	
E170220	I170820	

SHEET NUMBER: 9 of 11

JOB NUMBER: **7890**

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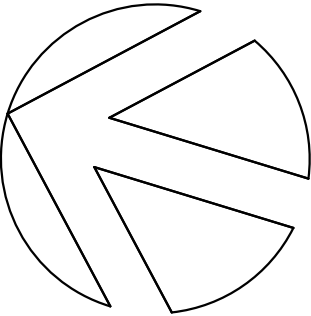


- NOTES:
- * Discharge waste to connection point
 - * Provide sediment control to site where req'd
 - * Discharge stormwater to TANK, where possible, all other stormwater & overflow to kerb & channel
 - * Meter box position T.B.C on site
 - * All retaining walls by owner

****NOTE** ALL STORMWATER & DRAINAGE TO BE IN COMPLIANCE WITH NCC PARTS 3.1.2. & 3.5.2. AS WELL AS ASNZS3500**

- * GUTTERS TO BE 125MM D-SECTION COLORBOND GUTTERS
- * 2 DOWNPIPES MAX. TO EACH 100mm STORMWATER PIPE, SUBSURFACE PIPES TO BE 100mm DIAMETER, ANY UNDERSLAB PIPING TO HAVE AN INSPECTION OPENING AT UPPER END, THEN TO BE 100mm SEWER GRADE PIPING WITH NO JOINS UNDER SLAB.

**** 1:5 MAX DRIVEWAY SLOPE TO LOCAL GOVERNMENT REQUIREMENTS AND STANDARDS ****



G.L	GL 00.000	approx.
CUT	00.000	
FILL	00.000	
F.L	-----	



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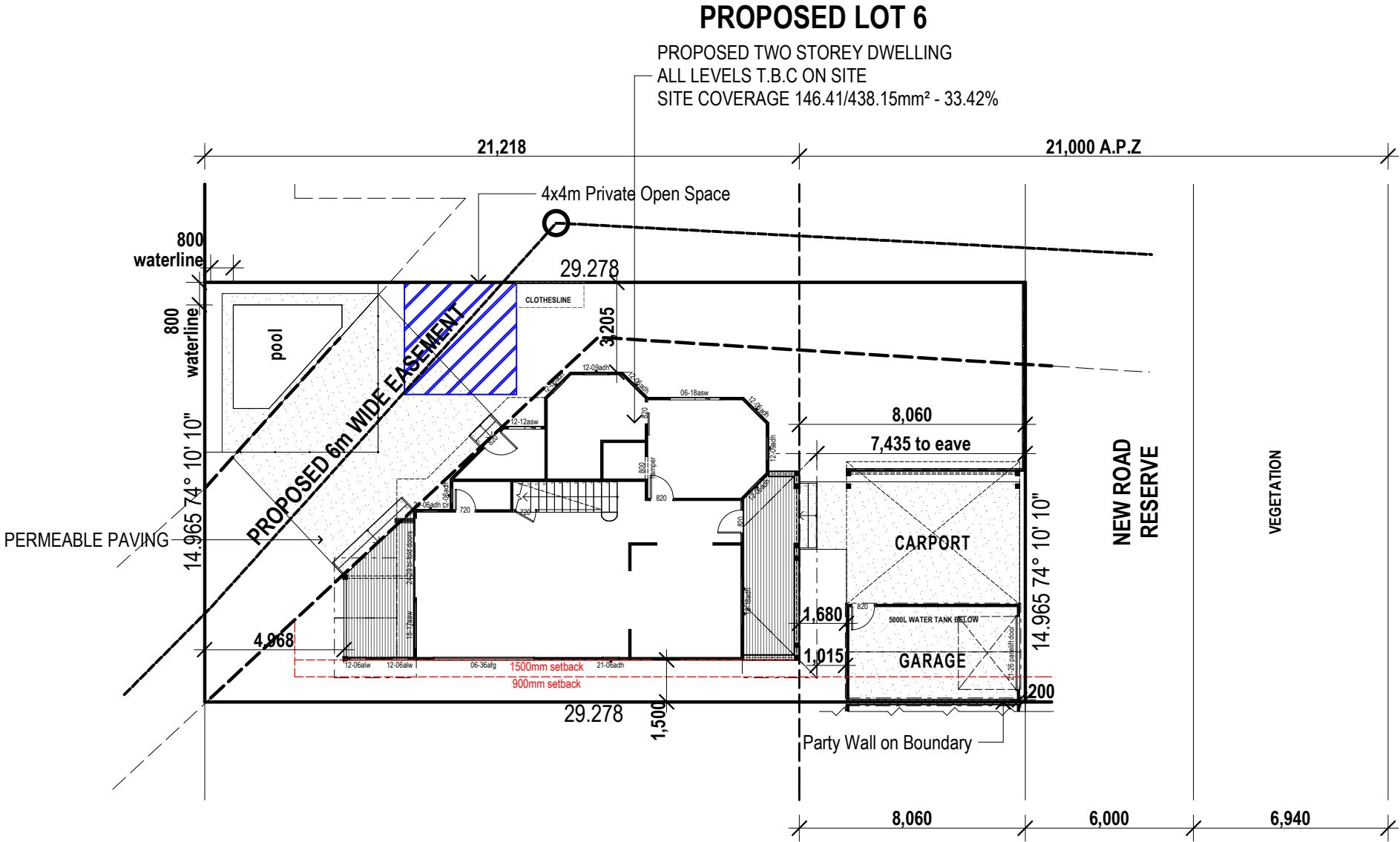
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West Burleigh, QLD 4219

PO BOX 2845
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ABN 73 097 995 616

QBCC License No: 1129687





PROPOSED RESIDENCES

BUILDER: T.B.C

CLIENT: MR. Z. KENNEDY

PROJECT: LOT 6
KEATS STREET
BYRON BAY

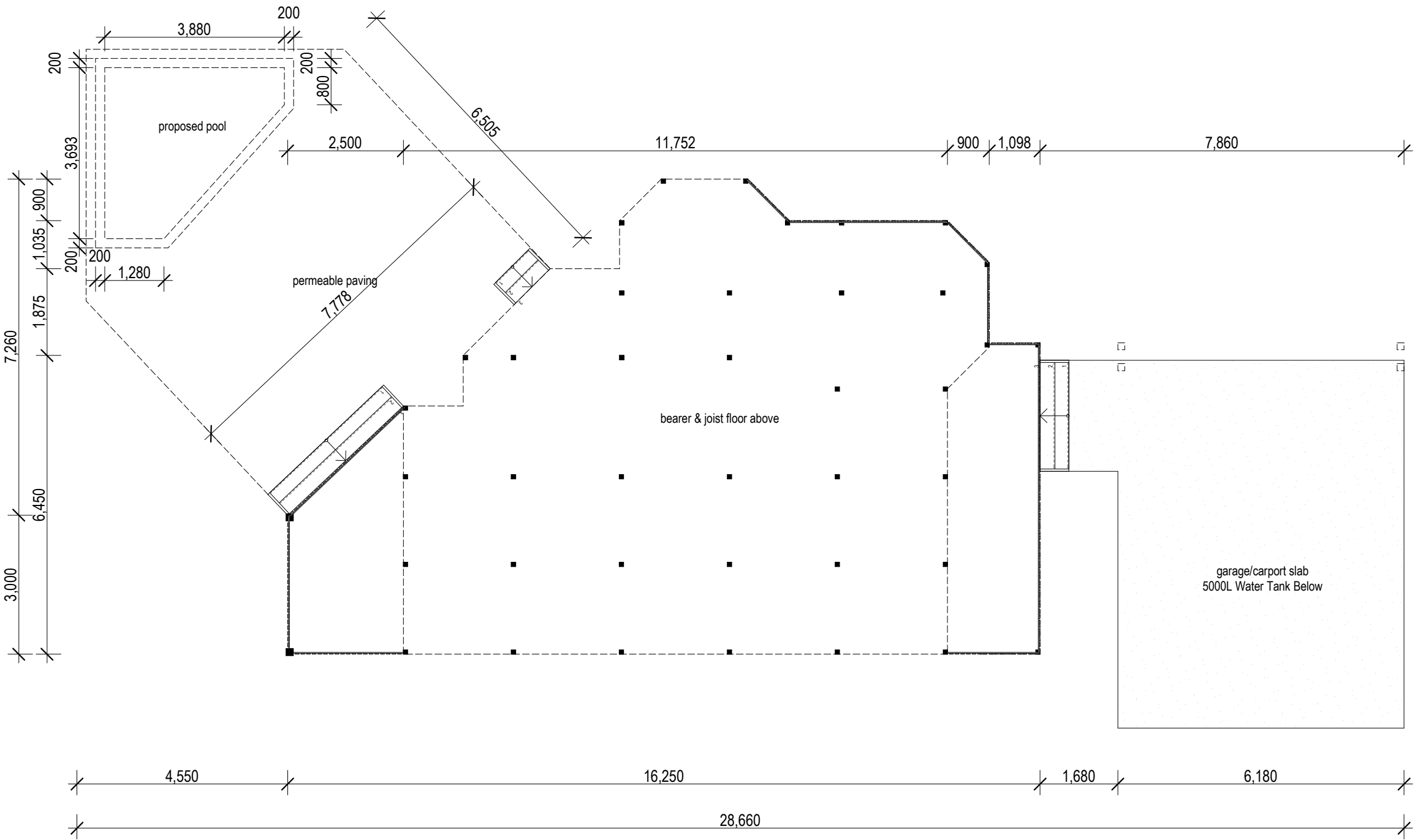
DRAWN BY: RH
CHECKED BY: SO
DESIGN: CUSTOM
DATE: A 17/12/2019
SCALES: 1:100 @ A3

AMENDMENTS:
B050220 F170820
C140220 G021120
D270220 H021120
E170420

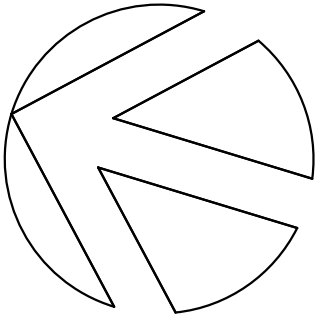
SHEET NUMBER: 4 of 11
JOB NUMBER: 7890

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SUB-FLOOR PLAN
SCALE 1:100



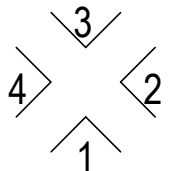
**Stuart
Osman**

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E design@stuartosman.com.au
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West Burleigh, QLD 4219
PO BOX 2845
Burleigh Heads DC QLD 4220
ABN 73 097 995 616
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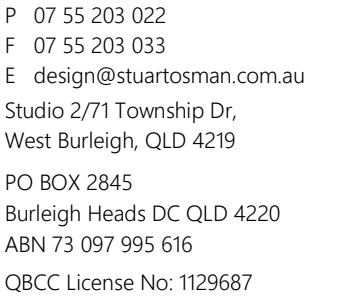
PROPOSED RESIDENCES	
BUILDER:	T.B.C
CLIENT:	MR. Z. KENNEDY
PROJECT:	LOT 6 KEATS STREET BYRON BAY
DRAWN BY:	RH
CHECKED BY:	SO
DESIGN:	CUSTOM
DATE:	A 17/12/2019
SCALES:	1:100 @ A3
AMENDMENTS:	
B050220	F170820
C140220	G021120
D270220	H021120
E170420	
SHEET NUMBER:	5 of 11
JOB NUMBER:	7890

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ELEVATIONS

PRELIMINARY PLANS ONLY NOT FOR CONSTRUCTION



BUILDER: TBC

CLIENT: MR. Z. KENNEDY

PROJECT: LOT 6
KEATS STREET
BYRON BAY

DRAWN BY: RH

CHECKED BY: SO

DESIGN: CUSTOM

DATE: A 17/12/2019

SCALES: 1:100 @ A3

AMENDMENTS:

B050220 F170820

C140220 G021120

D270220 H021120

E170420

SHEET NUMBER: 6 of 11

JOB NUMBER: 7890

Architectural floor plan of a house with a carport and garage. The plan includes rooms such as Kitchen, Dining, Family, Entry, Guest, Laundry, and Bath. It also shows an Alfresco area, a Carport with an open pergola, and a Garage with a panel lift door. The plan is annotated with dimensions, window types (e.g., GW01, GW02), and door types (e.g., GD01, GD02). A dashed line indicates the 'Line of Walls Above'. The carport and garage are separated by a 'Party Wall on Boundary'. The garage has a '21-26 panel lift door' and a '5000L Water Tank Below'.

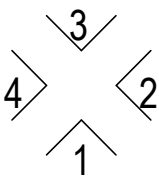
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<u>FLOOR AREAS</u>	
	Area (m2)
LOWER LIVING	104.41
UPPER LIVING	105.27
GARAGE	21.54
ALFRESCO	7.50
PORCH	12.96
BALCONY	8.06
<u>TOTAL</u>	259.74 m²



PRELIMINARY PLANS ONLY NOT FOR CONSTRUCTION

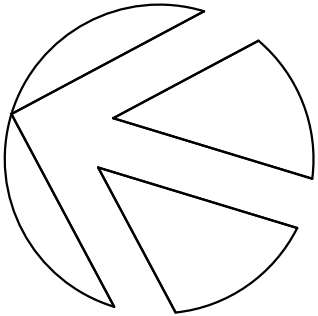
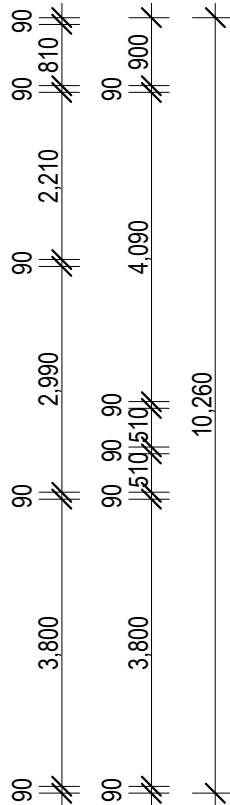
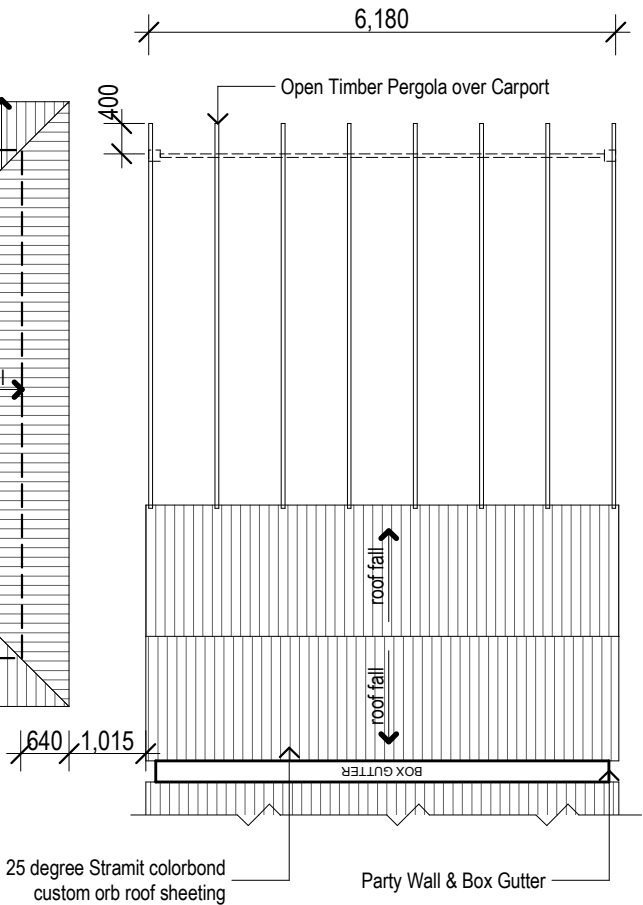
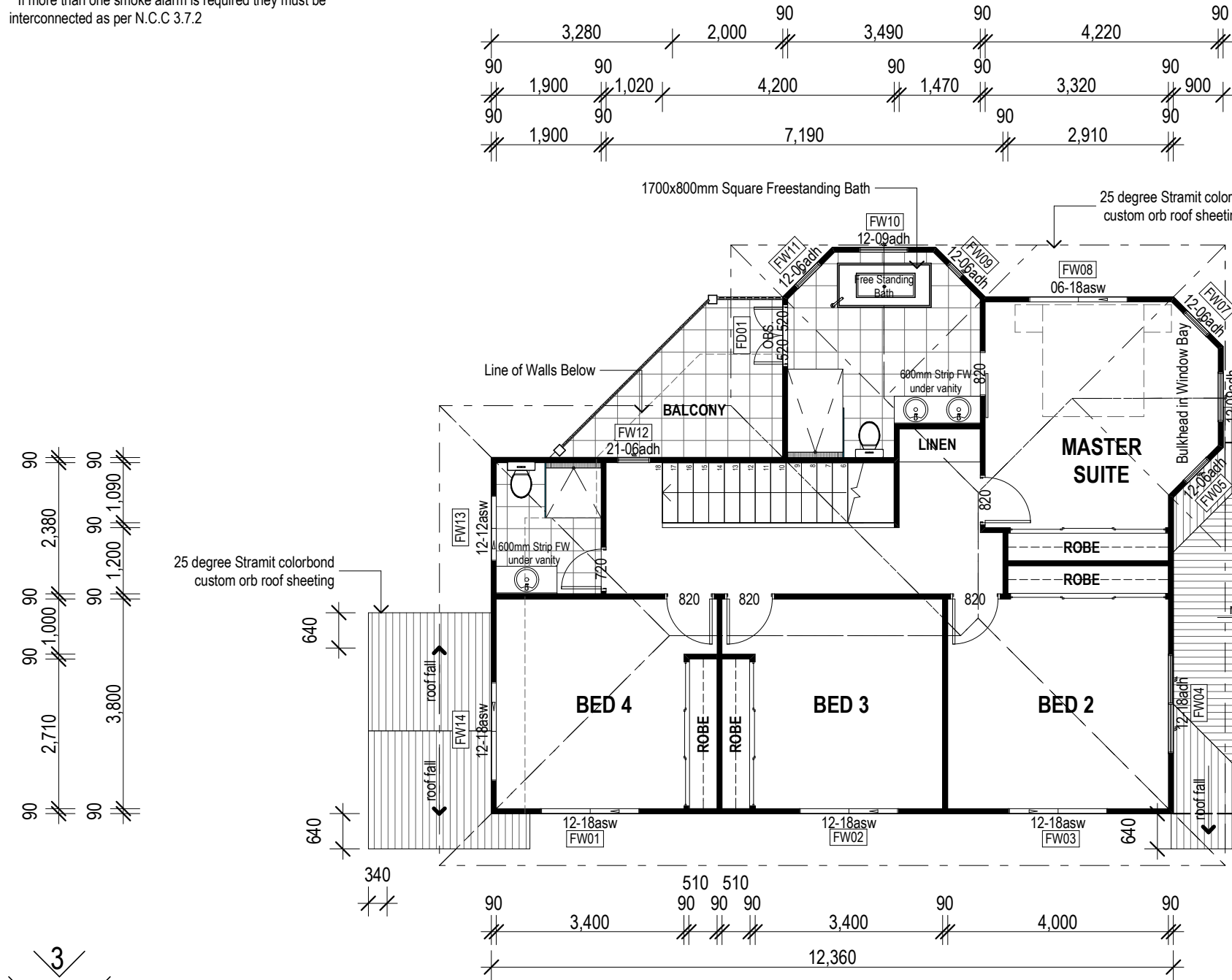
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ELEVATIONS

FIRST FLOOR PLAN

SCALE 1:100



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PO BOX 2845
Burleigh Heads DC QLD 4220
ABN 73 097 995 616
QBCC License No: 1129687

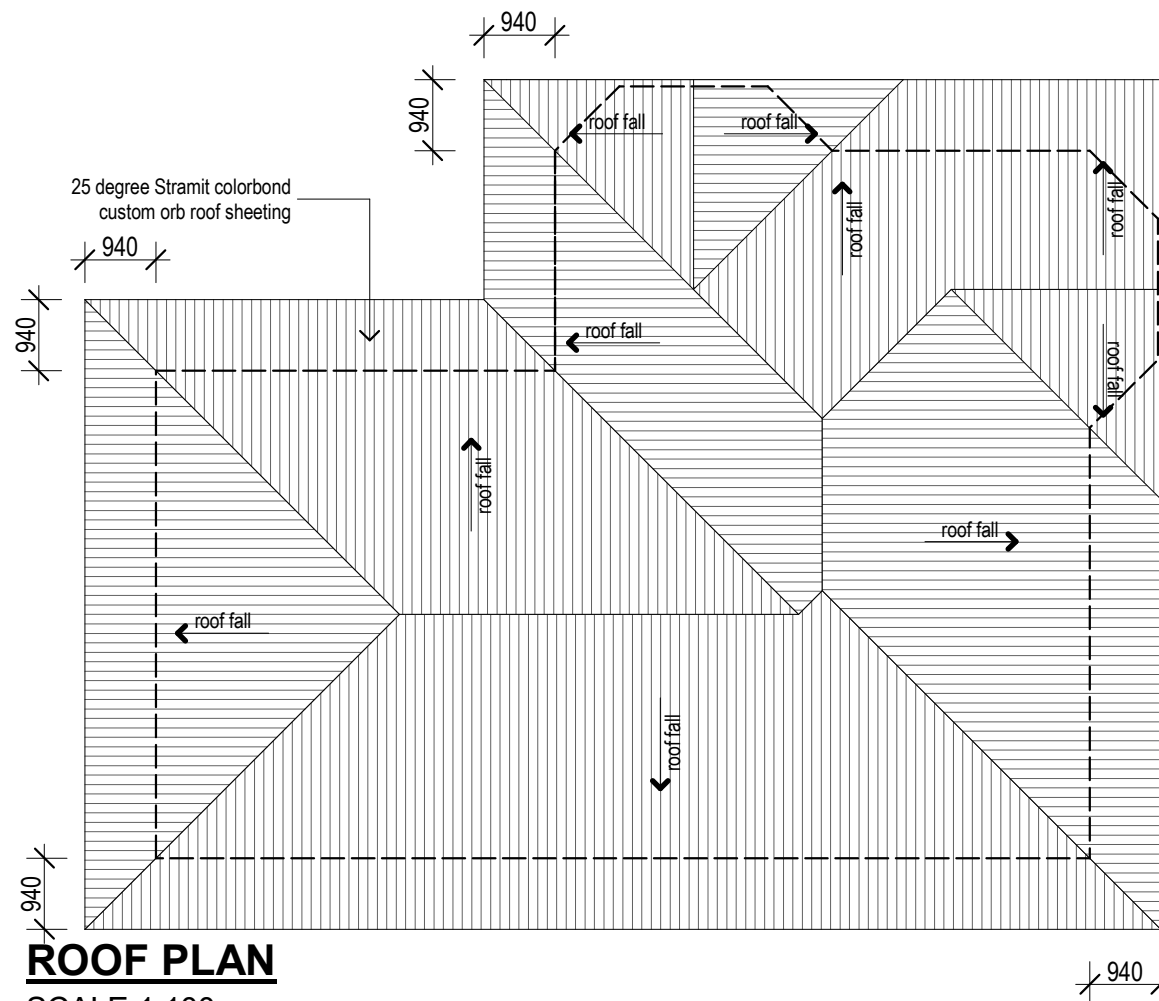


PROPOSED RESIDENCES

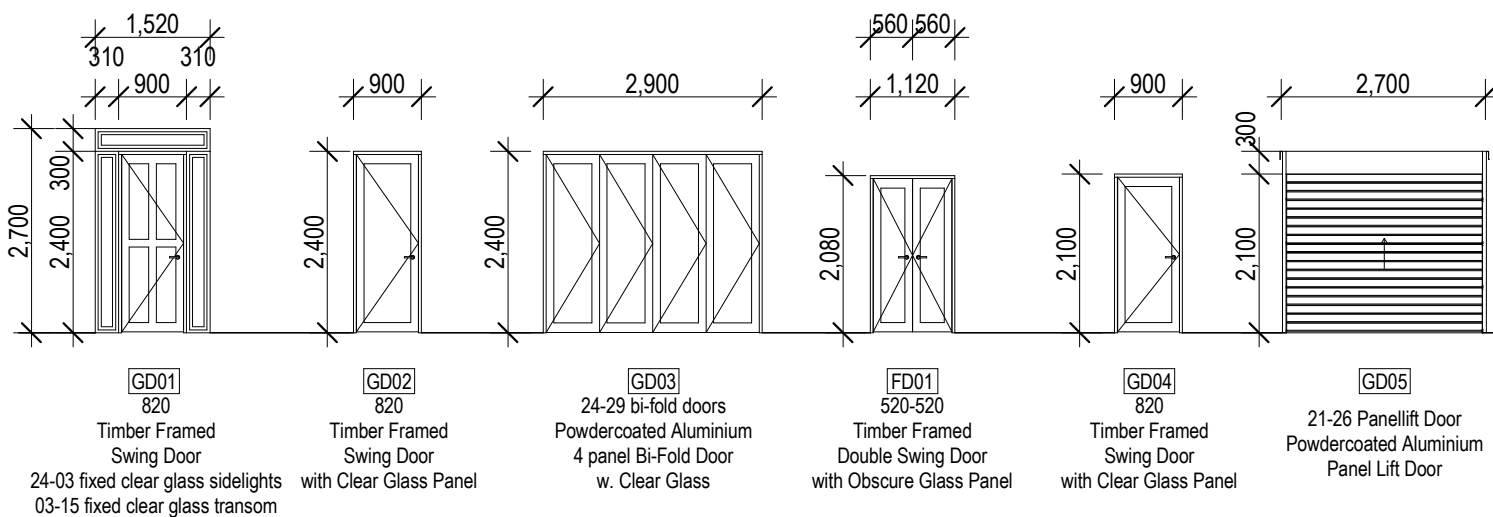
BUILDER: TBC
CLIENT: MR. Z. KENNEDY
PROJECT: LOT 6
KEATS STREET
BYRON BAY
DRAWN BY: RH
CHECKED BY: SO
DESIGN: CUSTOM
DATE: A 17/12/2019
SCALES: 1:100 @ A3
AMENDMENTS:
B050220 F170820
C140220 G021120
D270220 H021120
E170420
SHEET NUMBER: 7 of 11
JOB NUMBER: 7890

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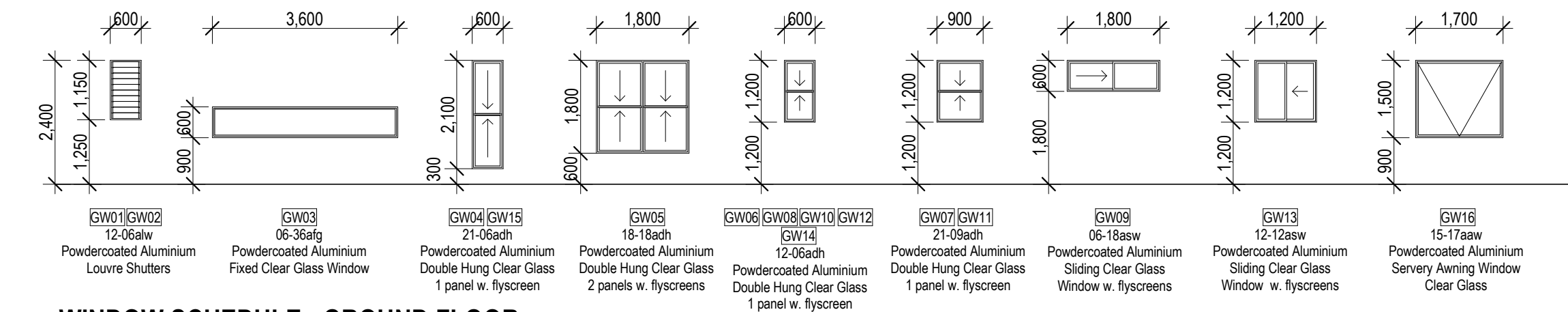
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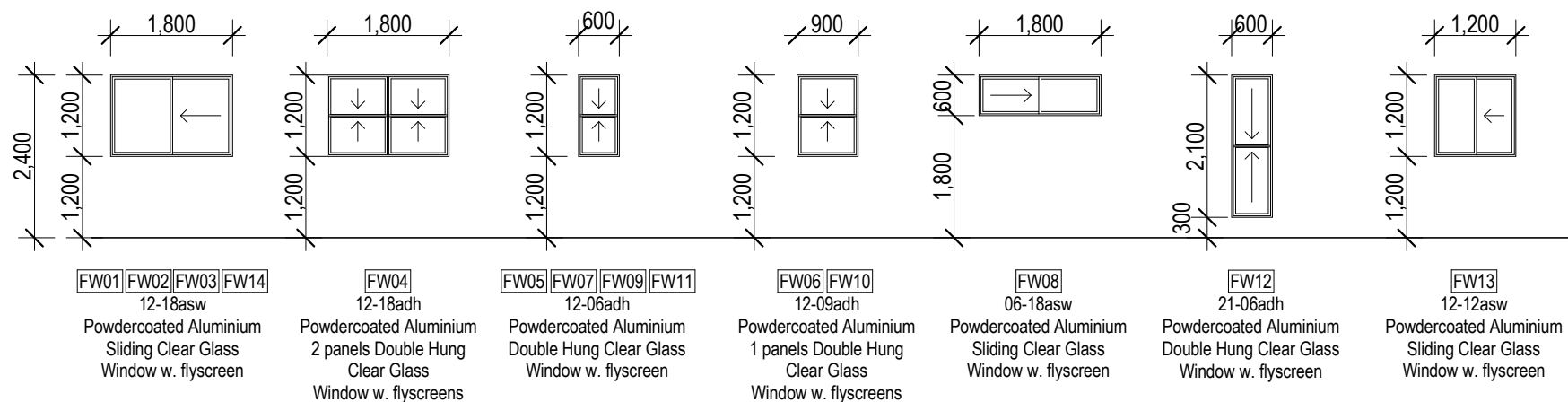
ROOF PLAN
SCALE 1:100



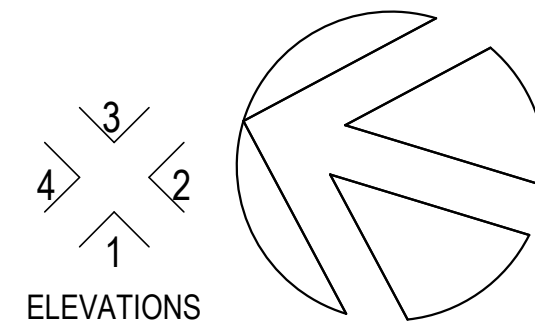
DOOR SCHEDULE 1:100



WINDOW SCHEDULE - GROUND FLOOR 1:100



WINDOW SCHEDULE - FIRST FLOOR 1:100



ELEVATIONS



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ABN 73 097 995 616
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PROPOSED RESIDENCES

BUILDER: T.B.C
CLIENT: MR. Z. KENNEDY
PROJECT: LOT 6
KEATS STREET
BYRON BAY
DRAWN BY: RH
CHECKED BY: SO
DESIGN: CUSTOM
DATE: A 17/12/2019
SCALES: 1:100 @ A3
AMENDMENTS:
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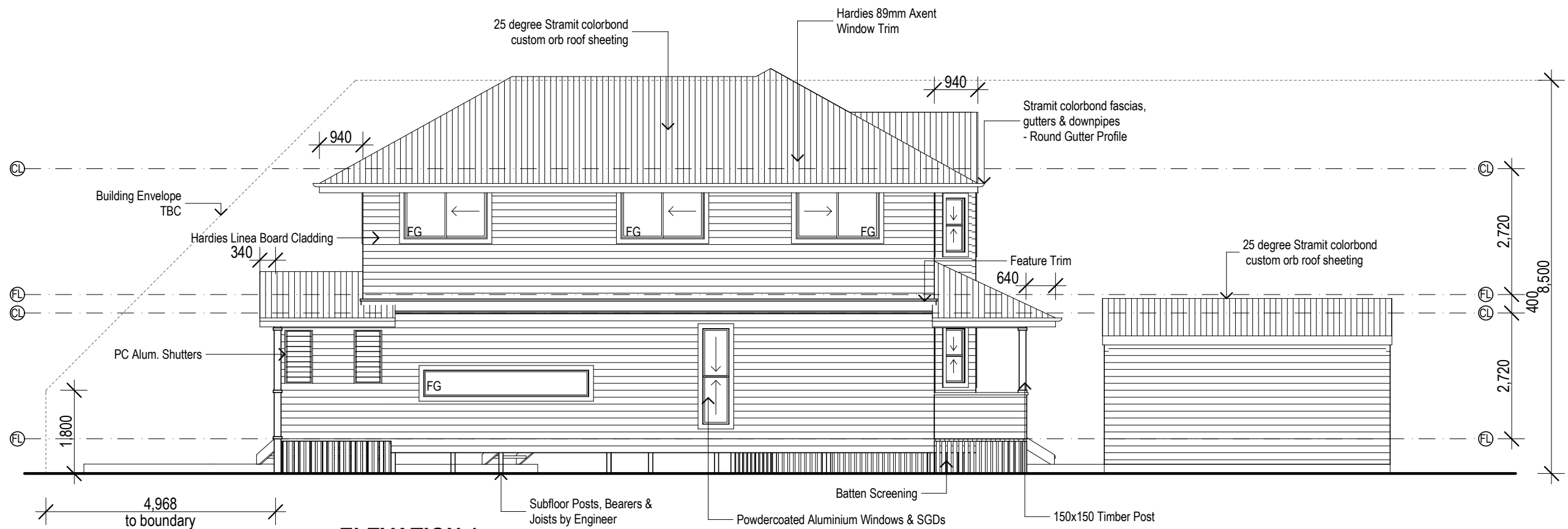
NOTES:
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* Sarking to external walls
* Insulation to ceiling (living only) R2.5 batts
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* All shower roses to be AAA rated
* Maximum water supply pressure not to exceed 500kpa
at any outlet
* Hot water system shall be heat pump, solar or gas
* Water supply outlets to have WELs rating
* Toilet cisterns to have dual flush. 6/3 Litre
* ALL handrails to be 1000mm above finished floor level
* Bedroom windows w. 2m fall height from FL to ground
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non-removable screens or restricted to 125mm opening
* If more than one smoke alarm is required they must be
interconnected as per N.C.C 3.7.2

PRELIMINARY PLANS ONLY NOT FOR CONSTRUCTION

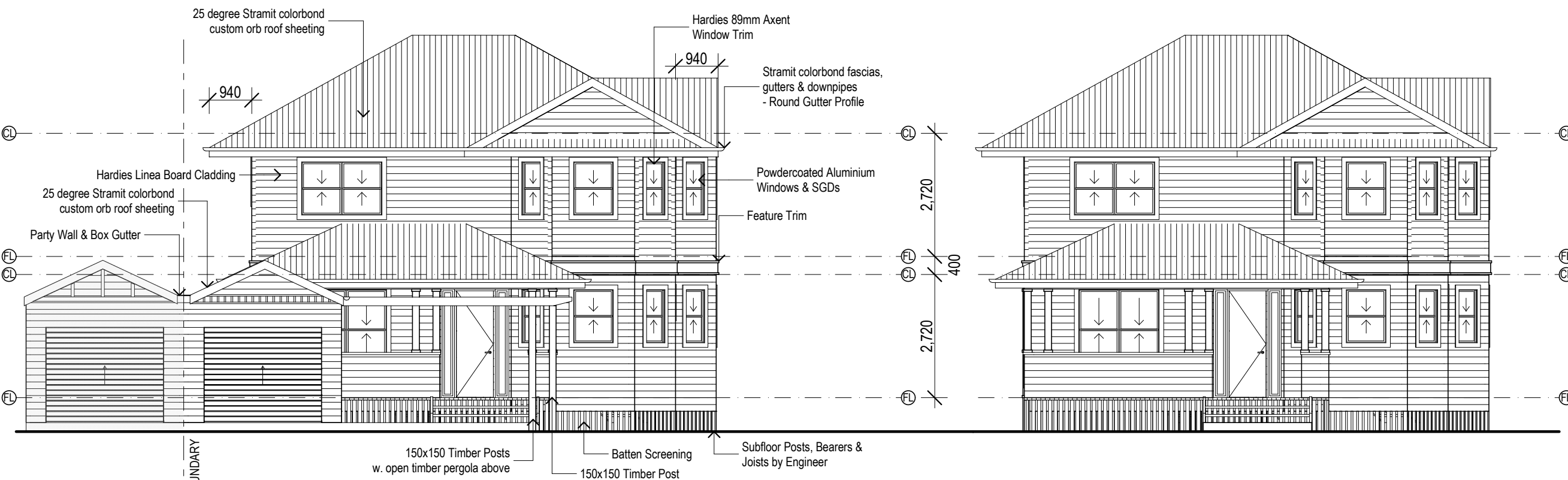
PROPOSED RESIDENCES

BUILDER: TBC
CLIENT: MR. Z. KENNEDY
PROJECT: LOT 6
KEATS STREET
BYRON BAY
DRAWN BY: RH
CHECKED BY: SO
DESIGN: CUSTOM
DATE: A 17/12/2019
SCALES: 1:100 @ A3
AMENDMENTS:
B050220 F170820
C140220 G021120
D270220 H021120
E170420
SHEET NUMBER: 9 of 11
JOB NUMBER: 7890

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ELEVATION 1 1:100



ELEVATION 2 1:100

ELEVATION 2B 1:100

PROPOSED RESIDENCES

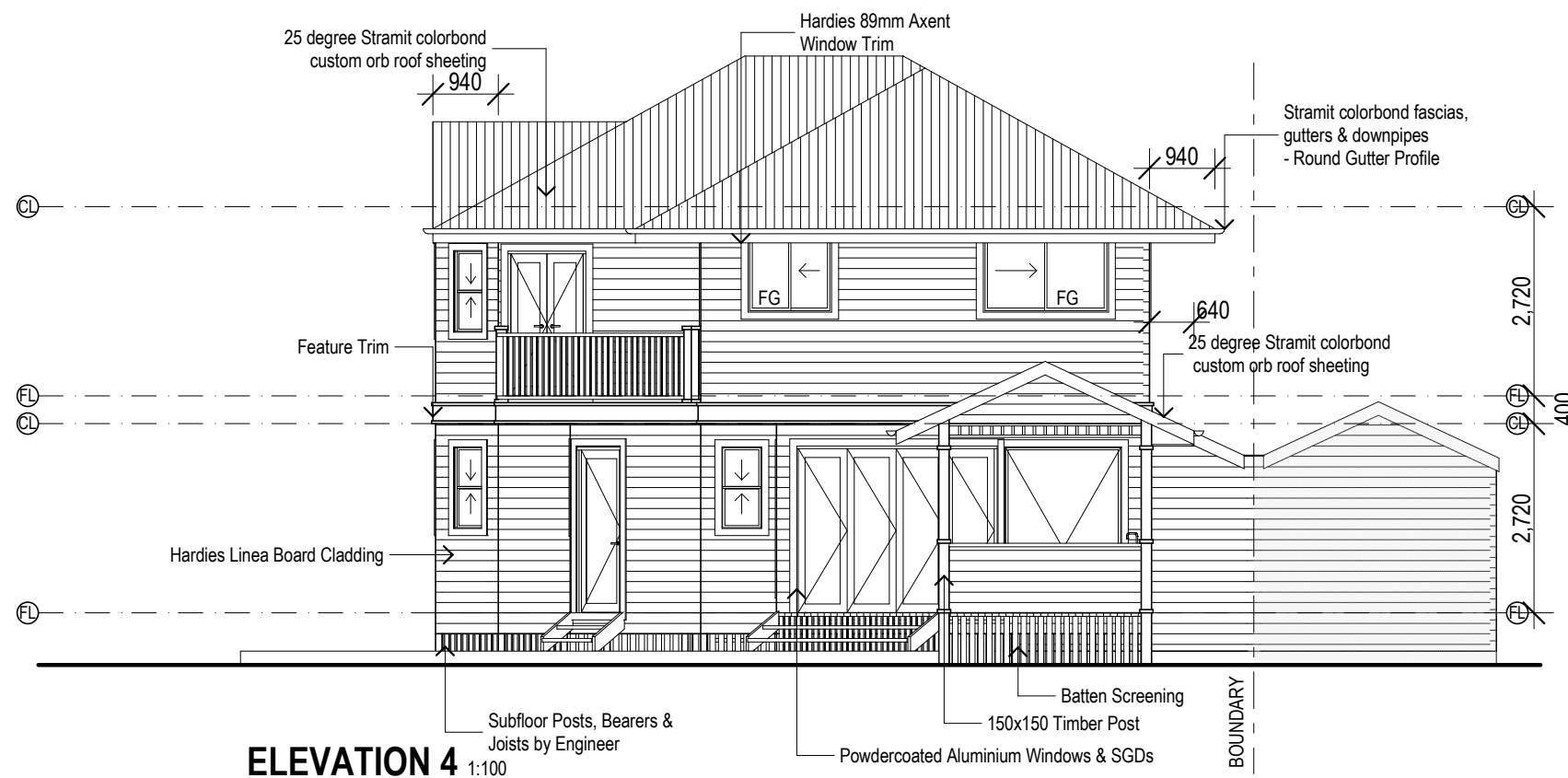
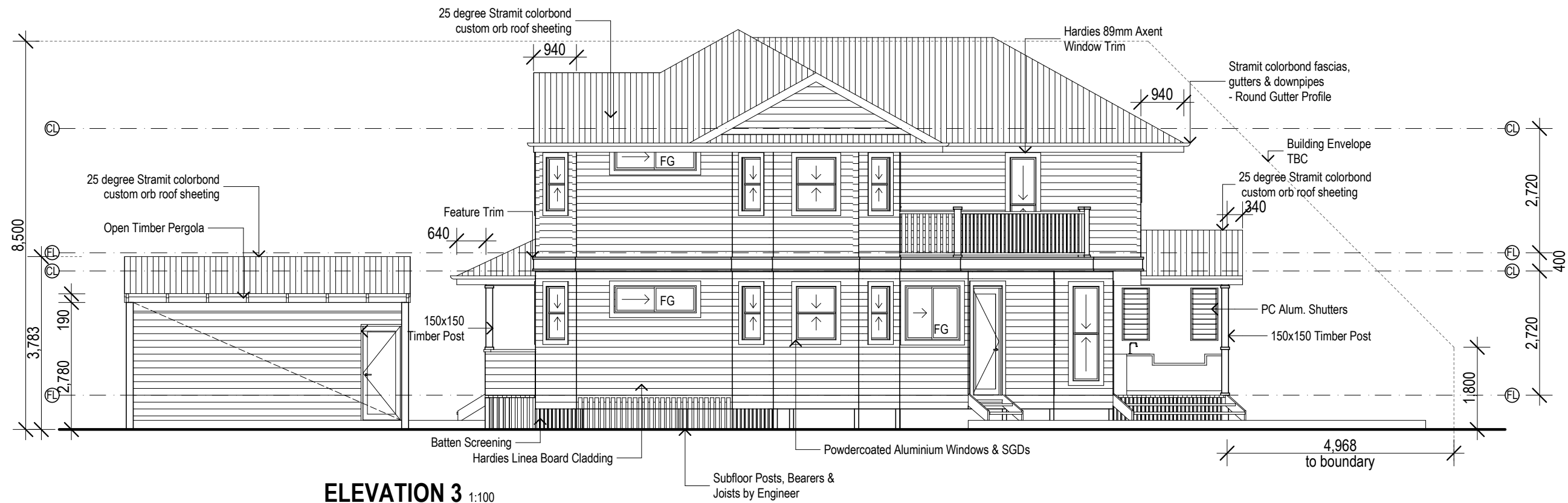
BUILDER: TBC

CLIENT: **MR. Z. KENNEDY**
PROJECT: LOT 6
KEATS STREET
BYRON BAY

DRAWN BY: RH
CHECKED BY: SO
DESIGN: CUSTOM
DATE: A 17/12/2019
SCALES: 1:100 @ A3

AMENDMENTS:
B050220 F170820
C140220 G021120
D270220 H021120
E170420
SHEET NUMBER: 10 of 11
JOB NUMBER: **7890**

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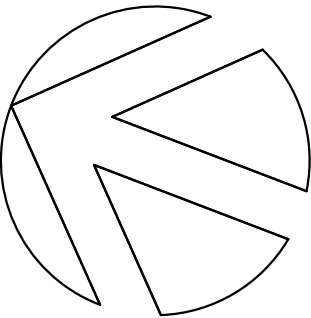
- NOTES:
- * Discharge waste to connection point
 - * Provide sediment control to site where req'd
 - * Discharge stormwater to TANK, where possible, all other stormwater & overflow to kerb & channel
 - * Meter box position T.B.C on site
 - * All retaining walls by owner

****NOTE** ALL STORMWATER & DRAINAGE TO BE IN COMPLIANCE WITH NCC PARTS 3.1.2. & 3.5.2. AS WELL AS ASNZS3500**

* GUTTERS TO BE 125MM D-SECTION COLORBOND GUTTERS

* 2 DOWNPIPES MAX. TO EACH 100mm STORMWATER PIPE, SUBSURFACE PIPES TO BE 100mm DIAMETER, ANY UNDERSLAB PIPING TO HAVE AN INSPECTION OPENING AT UPPER END, THEN TO BE 100mm SEWER GRADE PIPING WITH NO JOINS UNDER SLAB.

**** 1:5 MAX DRIVEWAY SLOPE TO LOCAL GOVERNMENT REQUIREMENTS AND STANDARDS ****



G.L	GL 00.000	approx.
CUT	00.000	
FILL	00.000	
F.L	-----	



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ABN 73 097 995 616

QBCC License No: 1129687



PROPOSED RESIDENCES

BUILDER: T.B.C

CLIENT: **MR. Z. KENNEDY**

PROJECT: LOT 7
KEATS STREET
BYRON BAY

DRAWN BY: RH/MB

CHECKED BY: SO

DESIGN: CUSTOM

DATE: A 12/11/2019

SCALES: 1:100 @ A3

AMENDMENTS:
B251119 F270220 J021120
C111219 G170420
D310120 H180820
E140220 I021120

SHEET NUMBER: 4 of 11

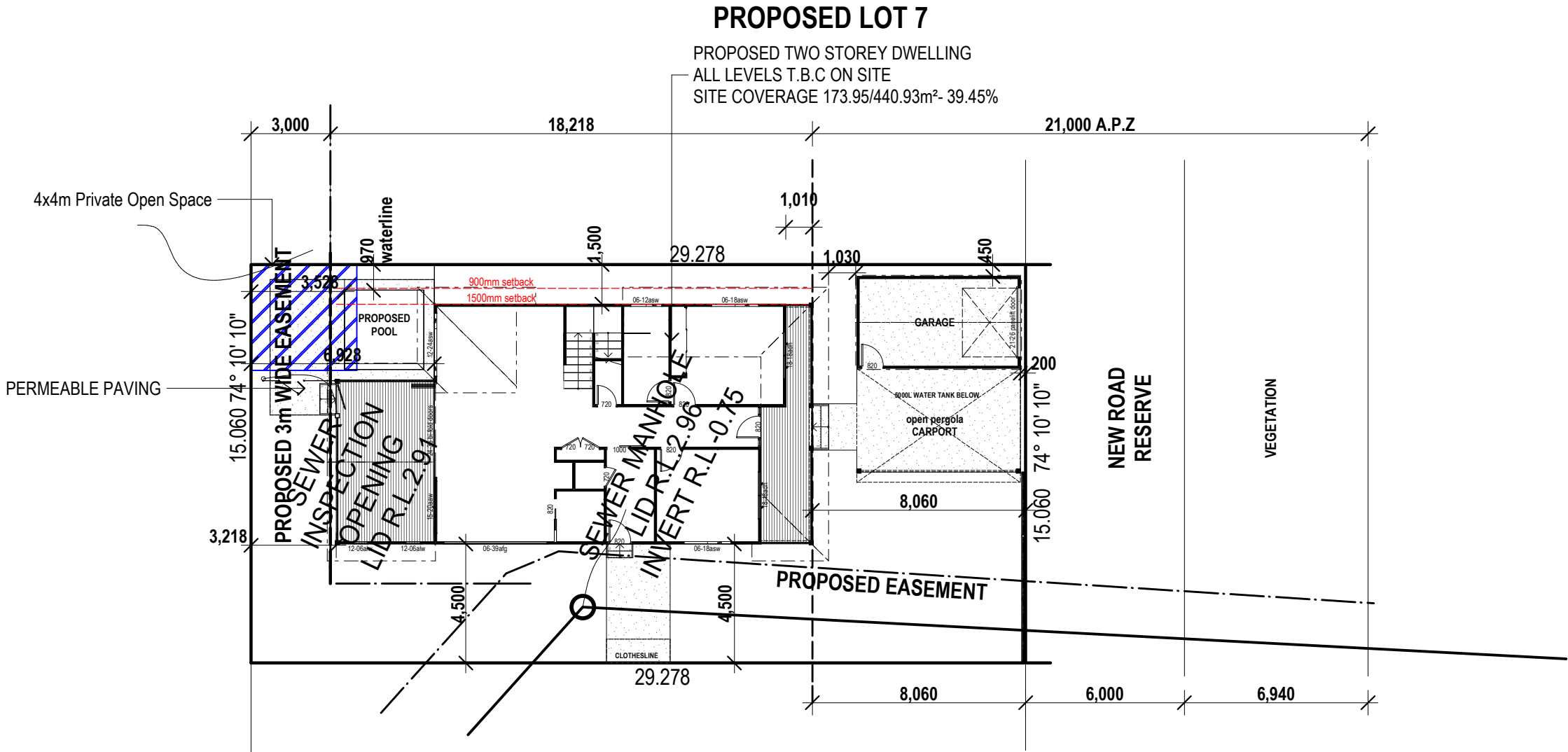
JOB NUMBER: **7890**

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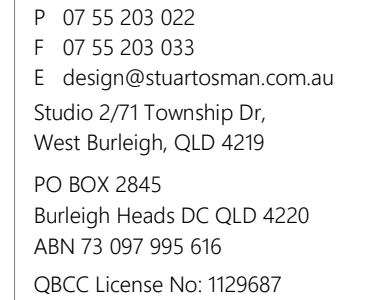
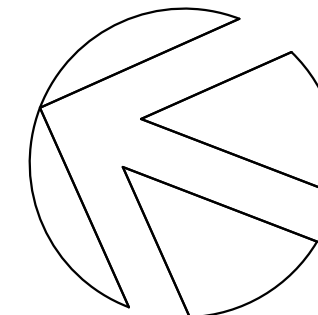
SITE PLAN - GROUND FLOOR

SCALE 1:200 SHEET 4 OF 94 JOB NUMBER - 7890

PRELIMINARY PLANS ONLY NOT FOR CONSTRUCTION



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BUILDER: T.B.C

CLIENT:

PROJECT: MR. Z. KENNEDY
LOT 7
KEATS STREET
BYRON BAY

DRAWN BY: RH/MB

CHECKED BY: SO

DESIGN: CUSTOM

DATE: A 12/11/2019

SCALES: 1:100 @ A3

AMENDMENTS:

B251119 F270220 J021120

C111219 G170420

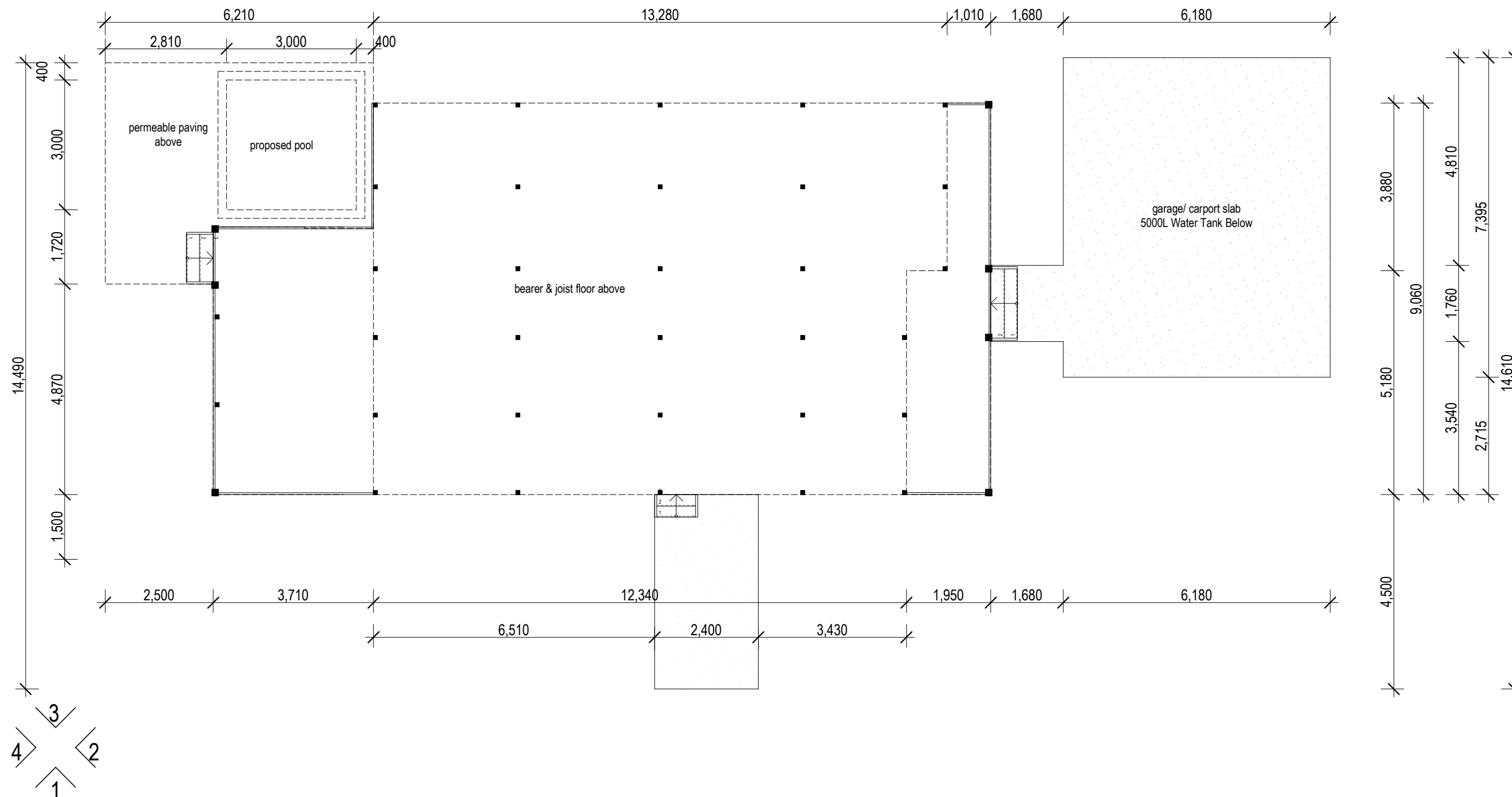
D310120 H180820

E140220 i021120

SHEET NUMBER: 5 of 11

JOB NUMBER: 7890

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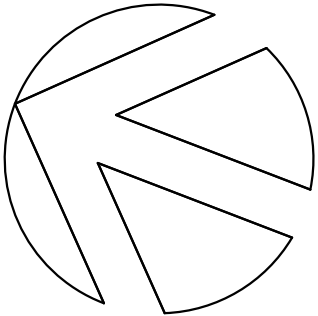
SUB-FLOOR PLAN

SCALE 1:100

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FLOOR AREAS	
	Area (m2)
LOWER LIVING	115.45
UPPER LIVING	91.11
GARAGE	21.51
ALFRESCO	22.96
PORCH	14.03
TOTAL	265.06 m²



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PROPOSED RESIDENCES

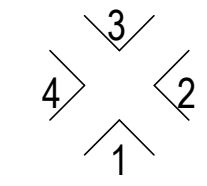
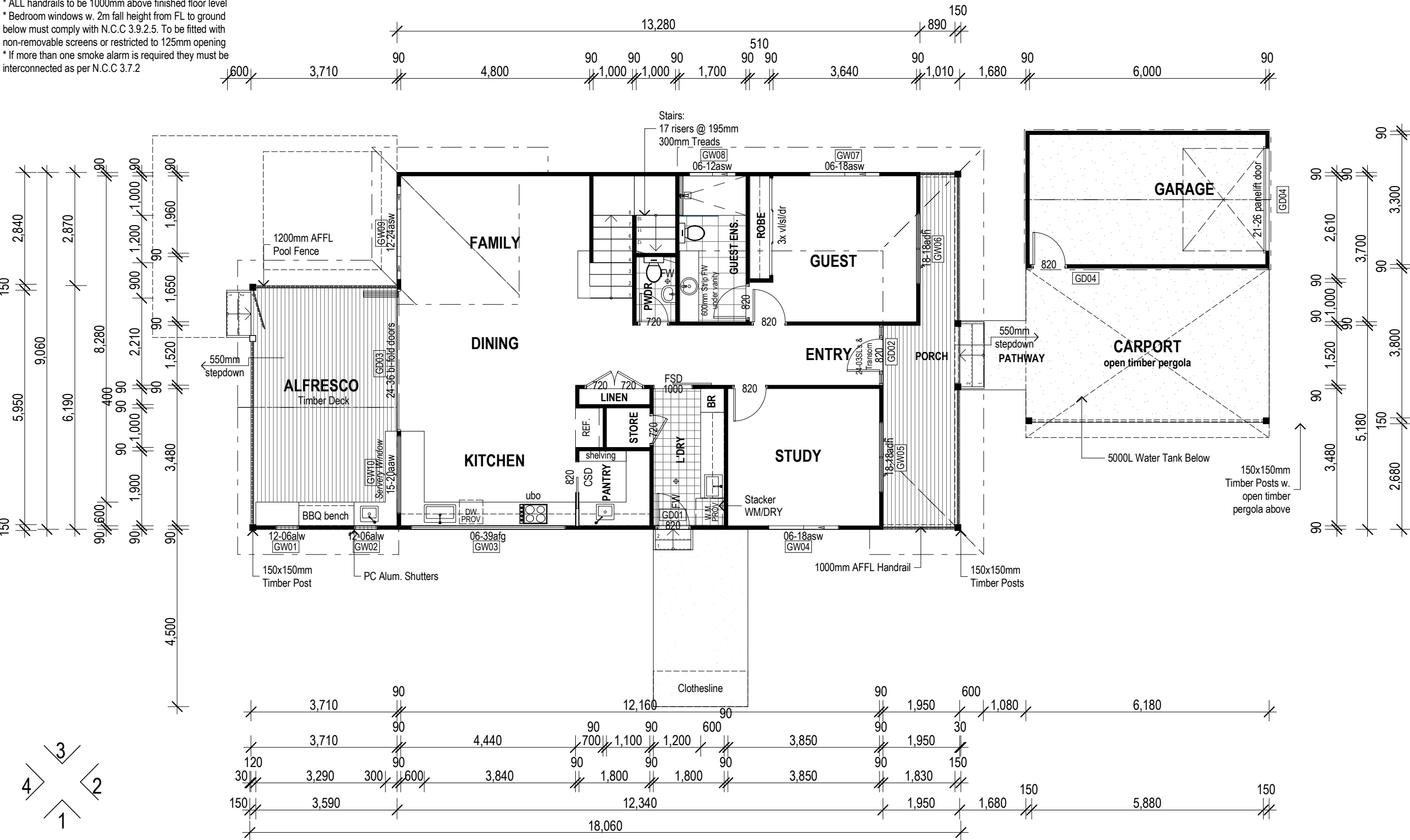
BUILDER: T.B.C

CLIENT: MR. Z. KENNEDY
PROJECT: LOT 7
KEATS STREET
BYRON BAY

DRAWN BY: RH/MB
CHECKED BY: SO
DESIGN: CUSTOM
DATE: A 12/11/2019
SCALES: 1:100 @ A3

AMENDMENTS:
B251119 F270220 J021120
C111219 G170420
D310120 H180820
E140220 I021120
SHEET NUMBER: 6 of 11
JOB NUMBER: 7890

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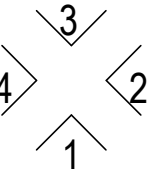
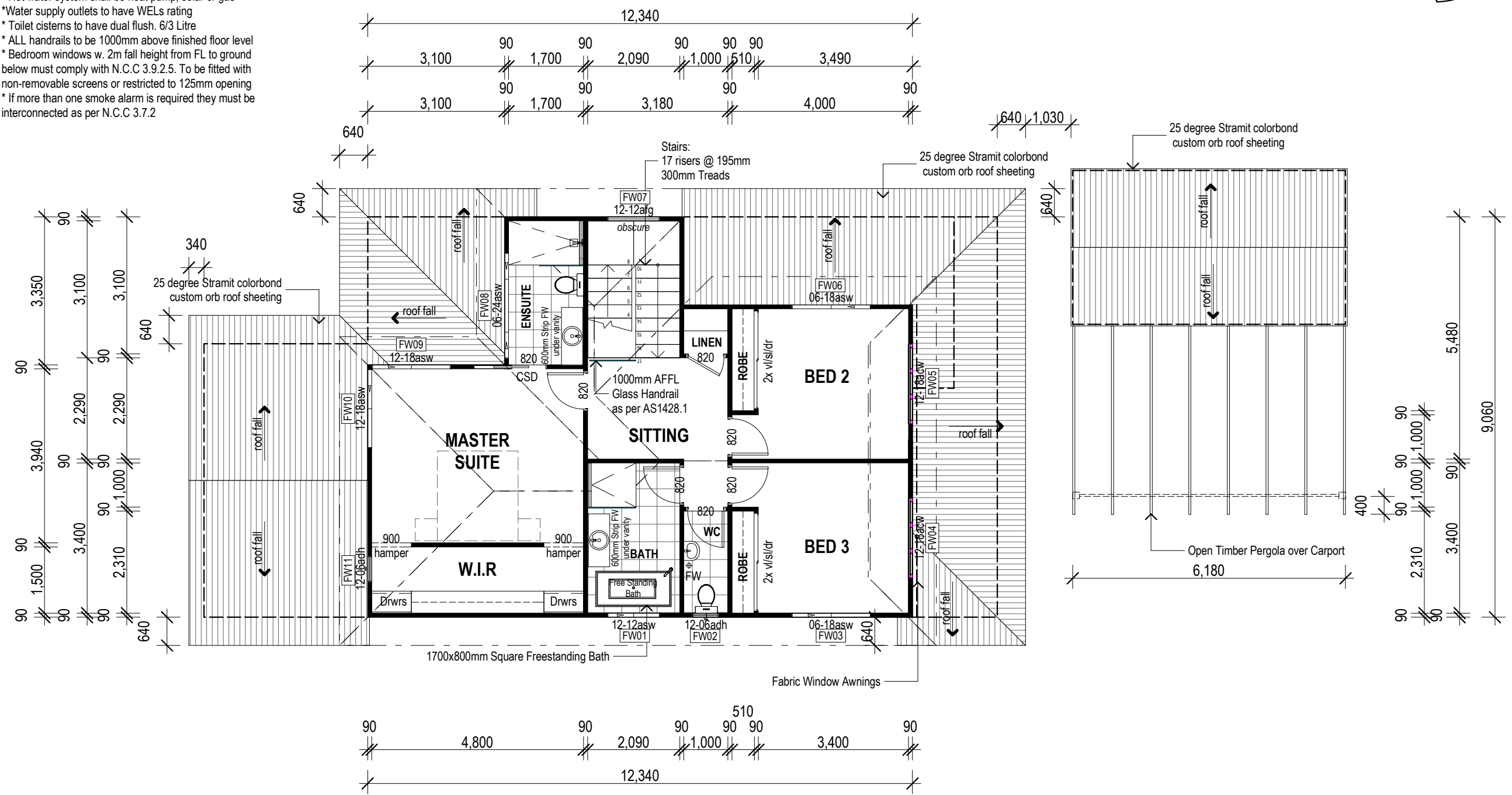


ELEVATIONS

GROUND FLOOR PLAN
SCALE 1:100

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ELEVATIONS

FIRST FLOOR PLAN

SCALE 1:100

PRELIMINARY PLANS ONLY NOT FOR CONSTRUCTION



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E design@stuartosman.com.au

Studio 2/71 Township Dr,
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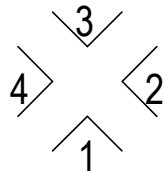
PO BOX 2845
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ABN 73 097 995 616
QBCC License No: 1129687



PROPOSED RESIDENCES		
BUILDER:	T.B.C	
CLIENT:	MR. Z. KENNEDY	
PROJECT:	LOT 7 KEATS STREET BYRON BAY	
DRAWN BY:	RH/MB	
CHECKED BY:	SO	
DESIGN:	CUSTOM	
DATE:	A 12/11/2019	
SCALES:	1:100 @ A3	
AMENDMENTS:		
B251119	F270220	J021120
C111219	G170420	
D310120	H180820	
E140220	I021120	
SHEET NUMBER:	7	of 11
JOB NUMBER:	7890	

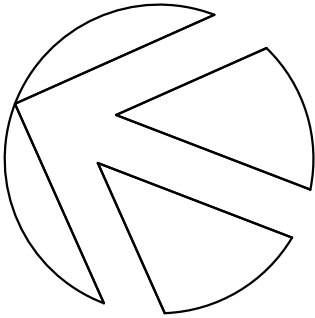
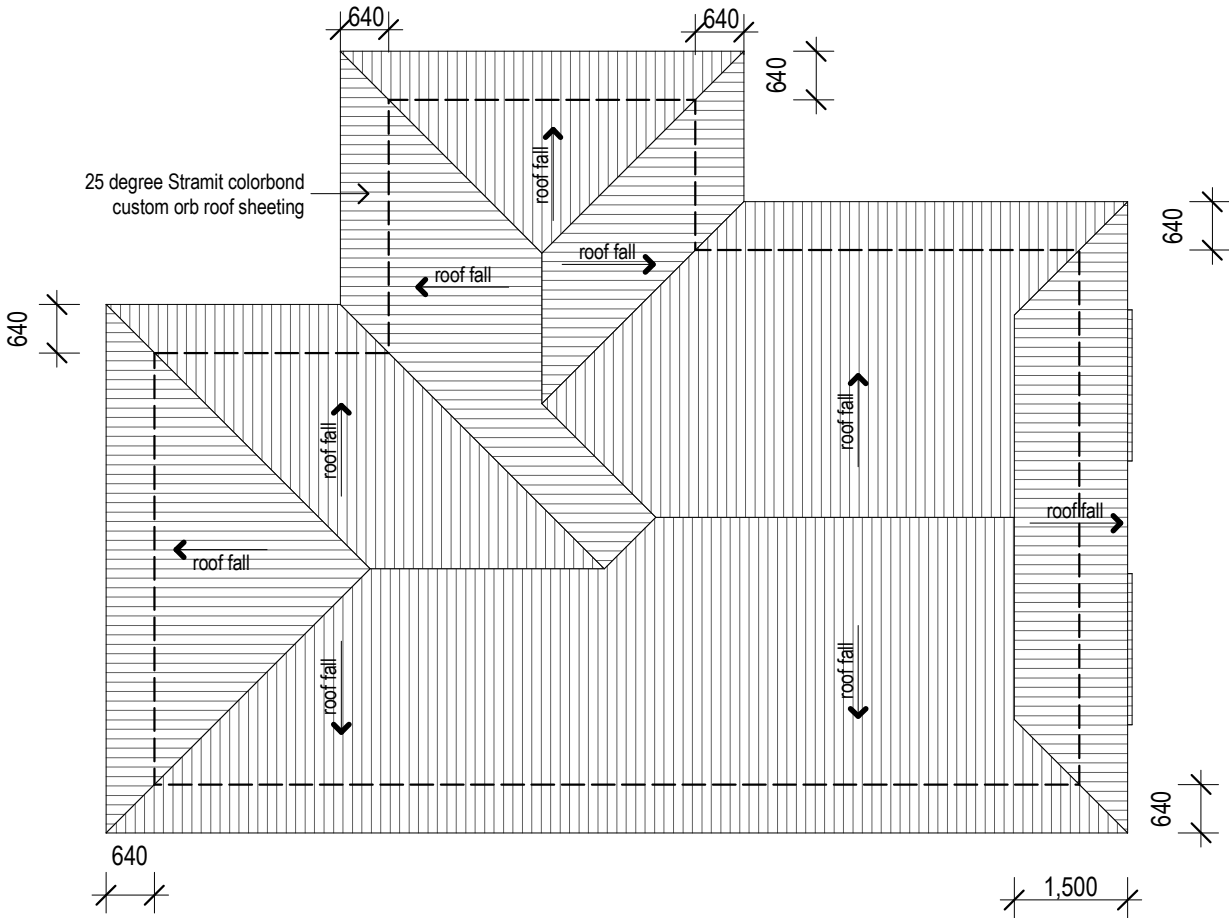
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ELEVATIONS

ROOF PLAN
SCALE 1:100



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ABN 73 097 995 616

QBCC License No: 1129687



PROPOSED RESIDENCES

BUILDER: TBC

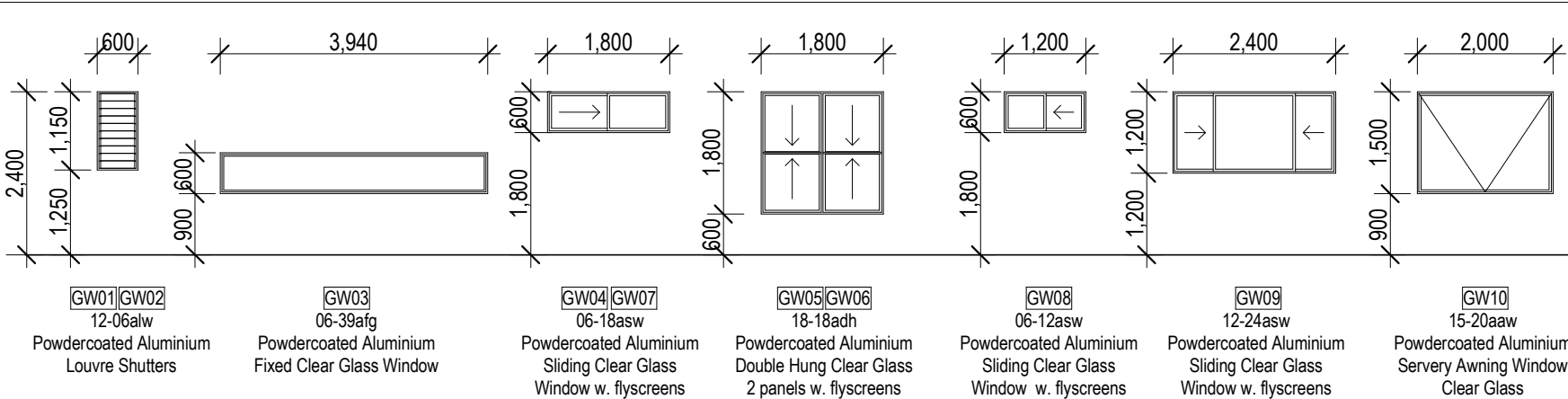
CLIENT: MR. Z. KENNEDY
PROJECT: LOT 7
KEATS STREET
BYRON BAY

DRAWN BY: RH/MB
CHECKED BY: SO
DESIGN: CUSTOM
DATE: A 12/11/2019
SCALES: 1:100 @ A3

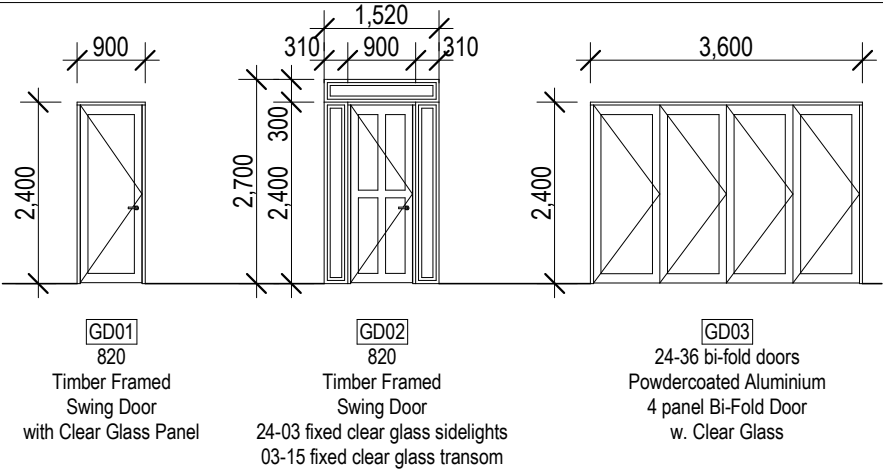
AMENDMENTS:
B251119 F270220 J021120
C111219 G170420
D310120 H180820
E140220 I021120
SHEET NUMBER: 8 of 11
JOB NUMBER: 7890

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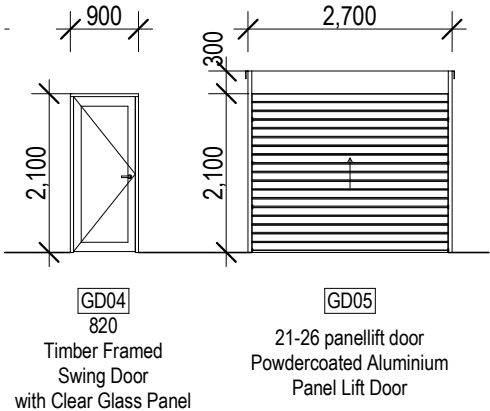
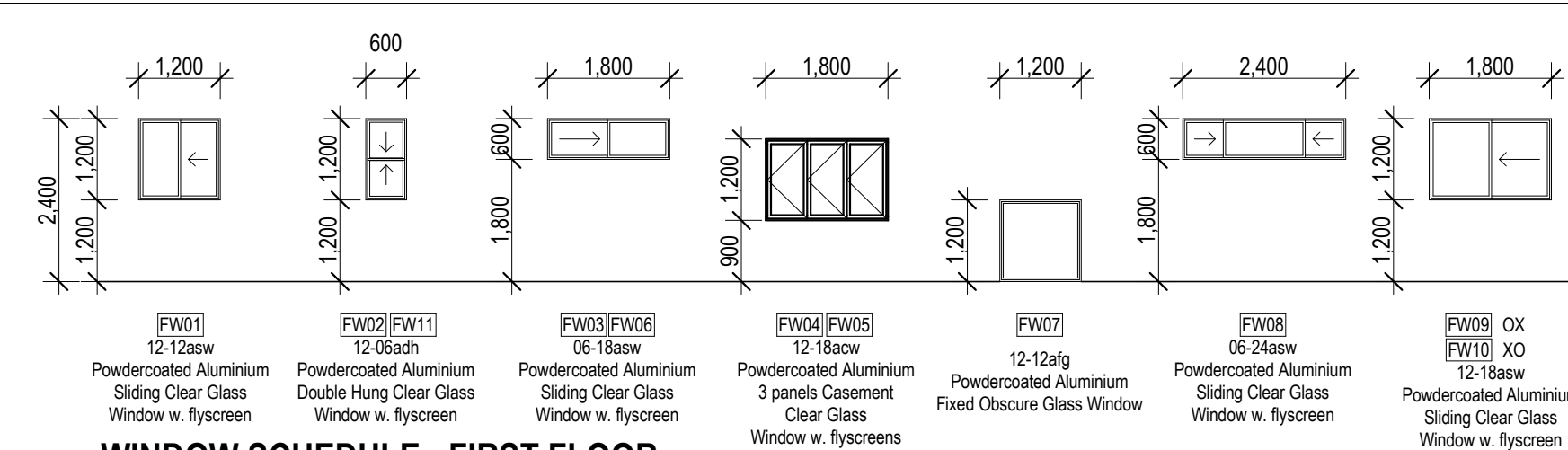
WINDOW SCHEDULE - GROUND FLOOR 1:100



DOOR SCHEDULE - GROUND FLOOR 1:100



WINDOW SCHEDULE - FIRST FLOOR 1:100

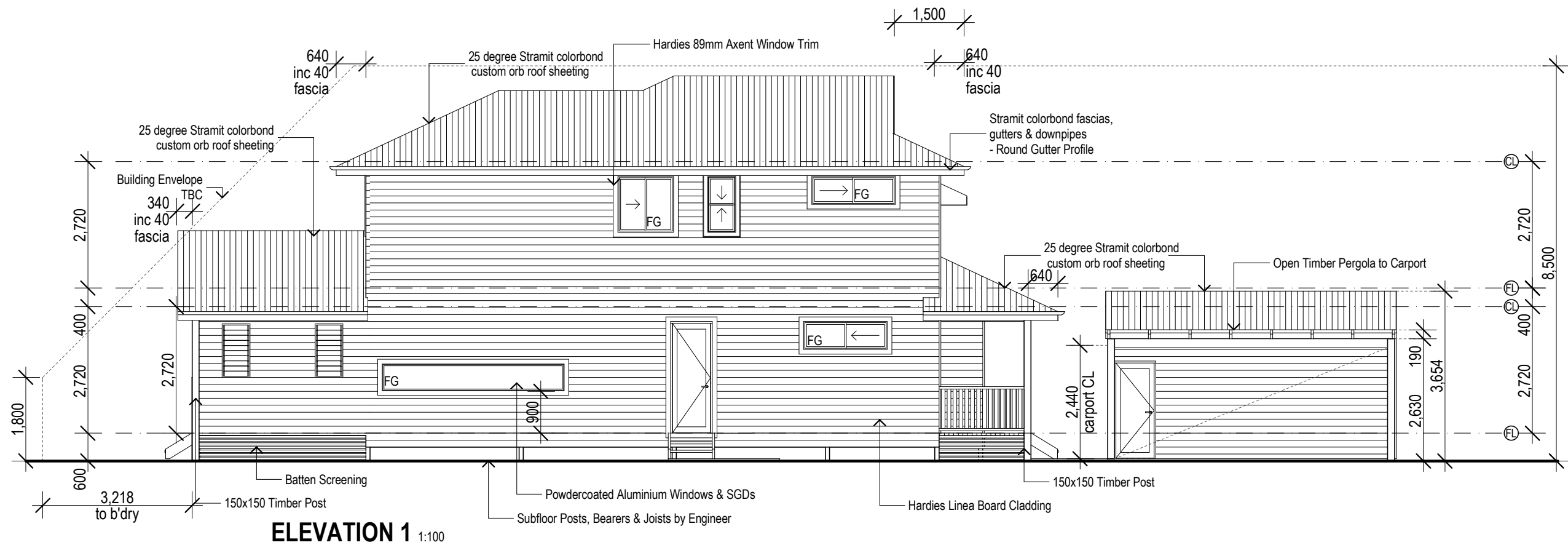


PRELIMINARY PLANS ONLY NOT FOR CONSTRUCTION

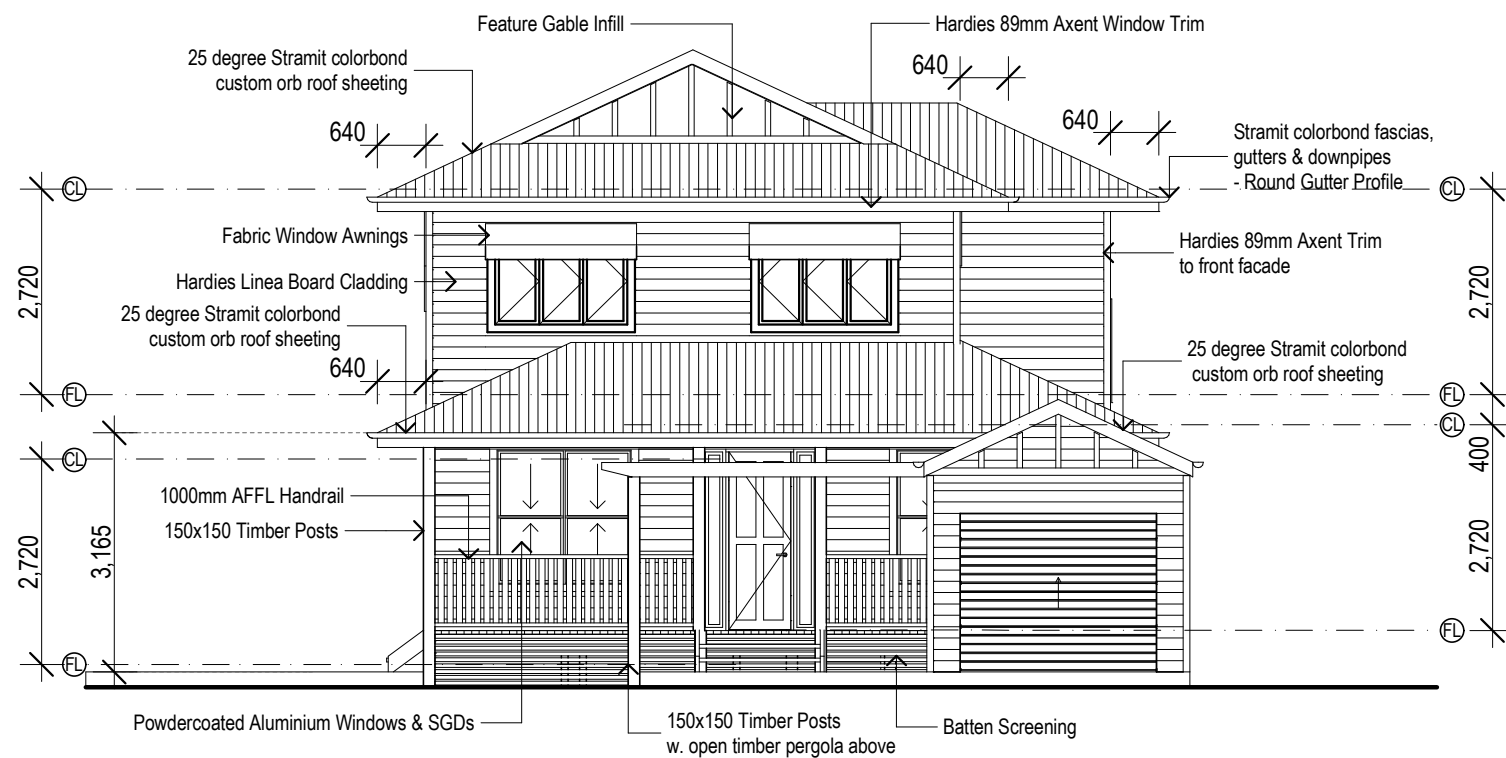
PROPOSED RESIDENCES

BUILDER: TBC
CLIENT: MR. Z. KENNEDY
PROJECT: LOT 7
KEATS STREET
BYRON BAY
DRAWN BY: RH/MB
CHECKED BY: SO
DESIGN: CUSTOM
DATE: A 12/11/2019
SCALES: 1:100 @ A3
AMENDMENTS:
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ELEVATION 1 1:100



ELEVATION 2 1:100

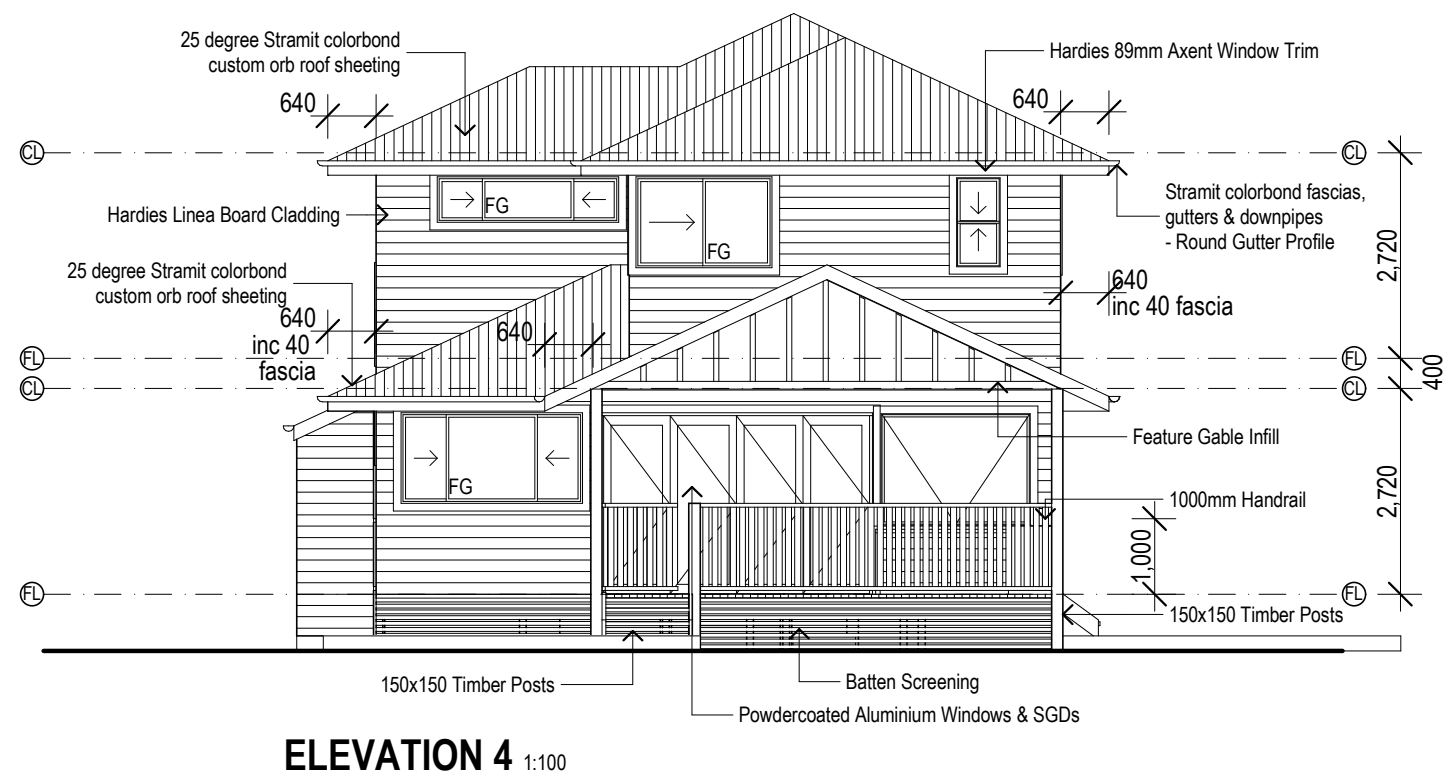
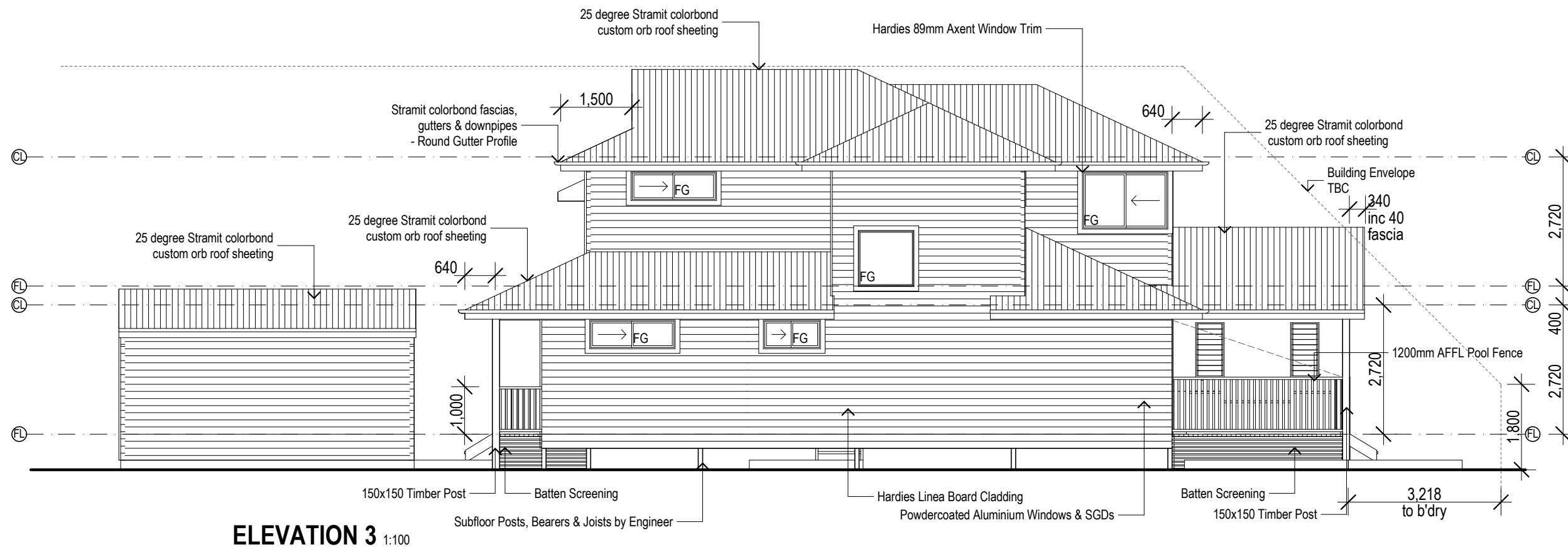


ELEVATION 2B 1:100

PROPOSED RESIDENCES

BUILDER: TBC
CLIENT: MR. Z. KENNEDY
PROJECT: LOT 7
KEATS STREET
BYRON BAY
DRAWN BY: RH/MB
CHECKED BY: SO
DESIGN: CUSTOM
DATE: A 12/11/2019
SCALES: 1:100 @ A3
AMENDMENTS:
B251119 F270220 J021120
C111219 G170420
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SHEET NUMBER: 10 of 11
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 - * If more than one smoke alarm is required they must be interconnected as per N.C.C 3.7.2

PRELIMINARY PLANS ONLY NOT FOR CONSTRUCTION

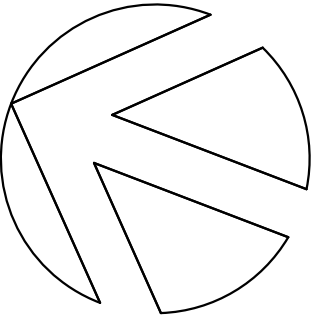
- NOTES:
- * Discharge waste to connection point
 - * Provide sediment control to site where req'd
 - * Discharge stormwater to TANK, where possible, all other stormwater & overflow to kerb & channel
 - * Meter box position T.B.C on site
 - * All retaining walls by owner

****NOTE** ALL STORMWATER & DRAINAGE TO BE IN COMPLIANCE WITH NCC PARTS 3.1.2. & 3.5.2. AS WELL AS ASNZS3500**

* GUTTERS TO BE 125MM D-SECTION COLORBOND GUTTERS

* 2 DOWNPIPES MAX. TO EACH 100mm STORMWATER PIPE, SUBSURFACE PIPES TO BE 100mm DIAMETER, ANY UNDERSLAB PIPING TO HAVE AN INSPECTION OPENING AT UPPER END, THEN TO BE 100mm SEWER GRADE PIPING WITH NO JOINS UNDER SLAB.

**** 1:5 MAX DRIVEWAY SLOPE TO LOCAL GOVERNMENT REQUIREMENTS AND STANDARDS ****



G.L	GL 00.000	approx.
CUT	00.000	
FILL	00.000	
F.L	-----	



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ABN 73 097 995 616

QBCC License No: 1129687



PROPOSED RESIDENCES

BUILDER: T.B.C

CLIENT: **MR. Z. KENNEDY**

PROJECT: LOT 8
KEATS STREET
BYRON BAY

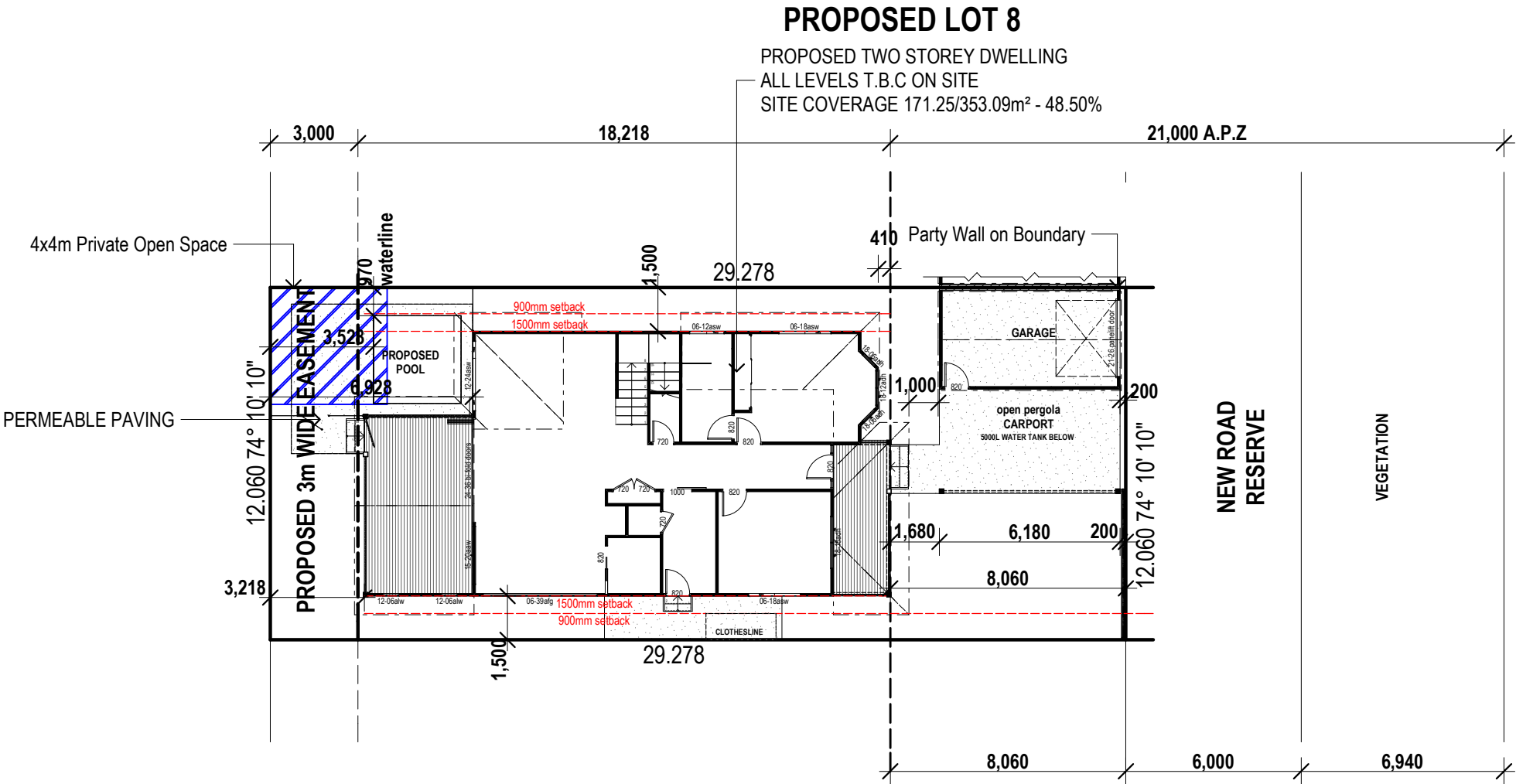
DRAWN BY: RH/MB
CHECKED BY: SO
DESIGN: CUSTOM

DATE: A 12/11/2019
SCALES: 1:100 @ A3

AMENDMENTS:
B251119 F270220 J021120
C111219 G170420
D300120 H180820
E140220 i 021120

SHEET NUMBER: 4 of 11
JOB NUMBER: **7890**

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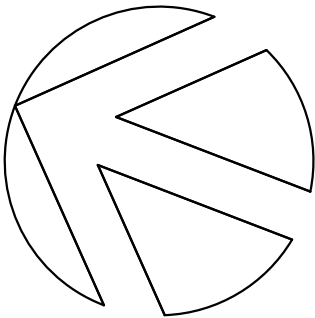


SITE PLAN - GROUND FLOOR

SCALE 1:200 SHEET 4 OF 94 JOB NUMBER - 7890

PRELIMINARY PLANS ONLY NOT FOR CONSTRUCTION

- NOTES:
- * Lift off hinges to WC door, as per N.C.C 3.8.3
 - * Provide GPO & cold water provisions to DW space
 - * ALL External and Internal doors & windows to be measured on site and confirmed by builder
 - * Sarking to external walls
 - * Insulation to ceiling (living only) R2.5 batts
 - * All windows & SGD to be tinted
 - * Mechanically vent rooms without natural ventilation
 - * All shower roses to be AAA rated
 - * Maximum water supply pressure not to exceed 500kpa at any outlet
 - * Hot water system shall be heat pump, solar or gas
 - * Water supply outlets to have WELs rating
 - * Toilet cisterns to have dual flush. 6/3 Litre
 - * ALL handrails to be 1000mm above finished floor level
 - * Bedroom windows w. 2m fall height from FL to ground below must comply with N.C.C 3.9.2.5. To be fitted with non-removable screens or restricted to 125mm opening
 - * If more than one smoke alarm is required they must be interconnected as per N.C.C 3.7.2



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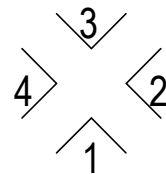


PROPOSED RESIDENCES

BUILDER: TBC
CLIENT: MR. Z. KENNEDY
PROJECT: LOT 8
KEATS STREET
BYRON BAY
DRAWN BY: RH/MB
CHECKED BY: SO
DESIGN: CUSTOM
DATE: A 12/11/2019
SCALES: 1:100 @ A3

AMENDMENTS:
B251119 F270220 J021120
C111219 G170420
D300120 H180820
E140220 i 021120
SHEET NUMBER: 5 of 11
JOB NUMBER: 7890

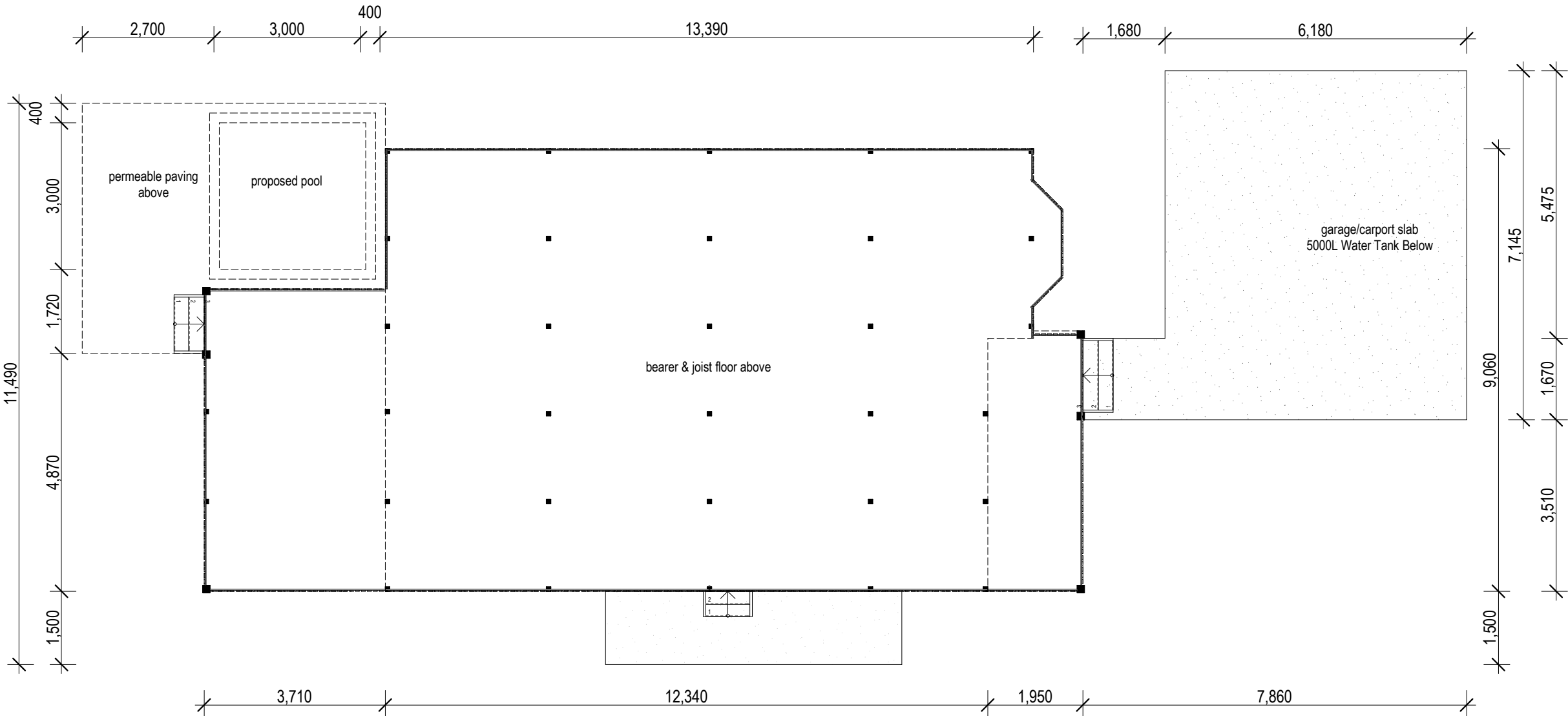
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ELEVATIONS

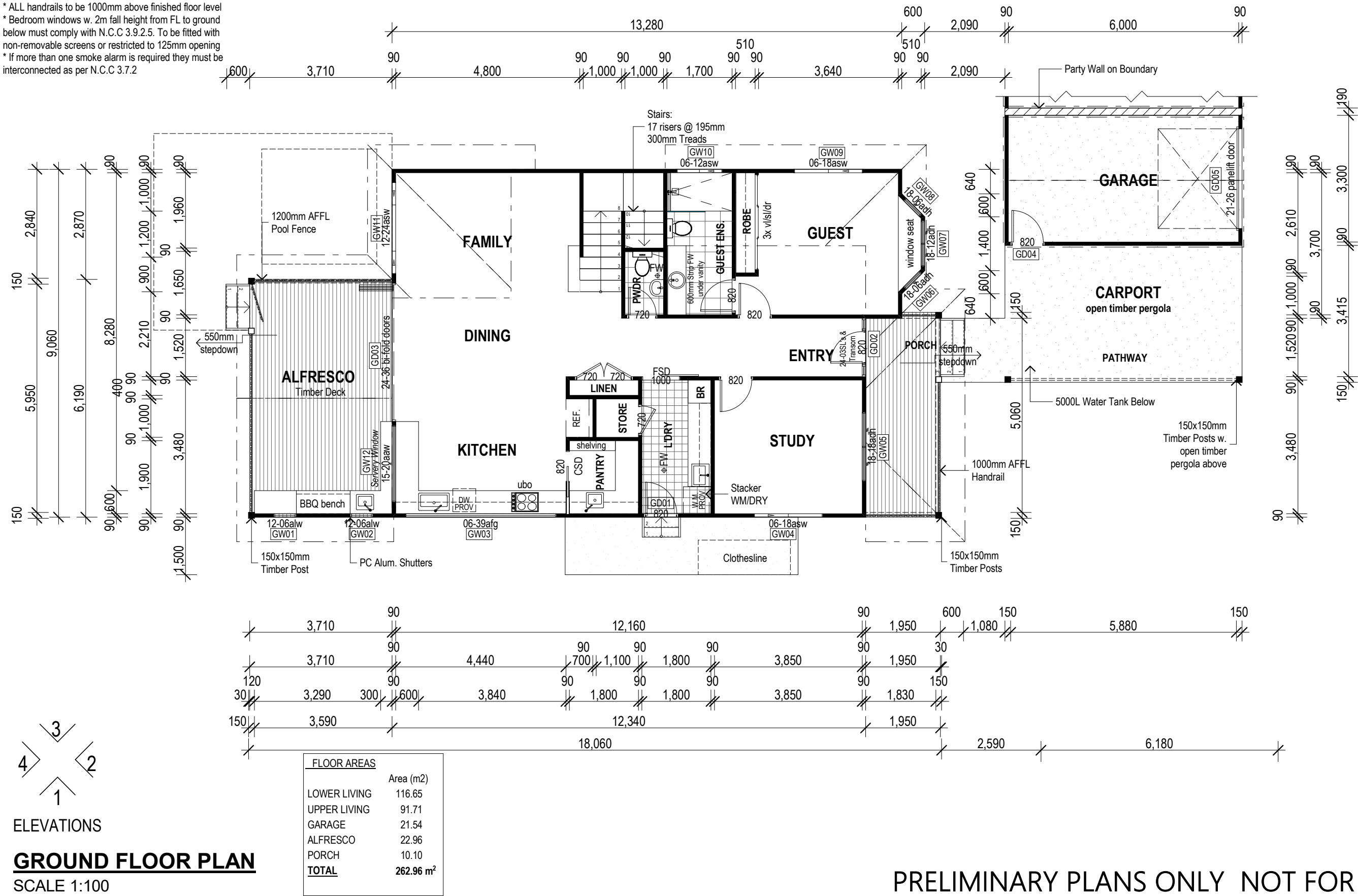
SUB-FLOOR PLAN

SCALE 1:100



PRELIMINARY PLANS ONLY NOT FOR CONSTRUCTION

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ABN 73 097 995 616
QBCC License No: 1129687



PROPOSED RESIDENCES

BUILDER: TBC

CLIENT: MR. Z. KENNEDY

PROJECT: LOT 8
KEATS STREET
BYRON BAY

DRAWN BY: RH/MB

CHECKED BY: SO

DESIGN: CUSTOM

DATE: A 12/11/2019

SCALES: 1:100 @ A3

AMENDMENTS:

B251119 F270220 J021120

C111219 G170420

D300120 H180820

E140220 I 021120

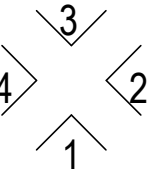
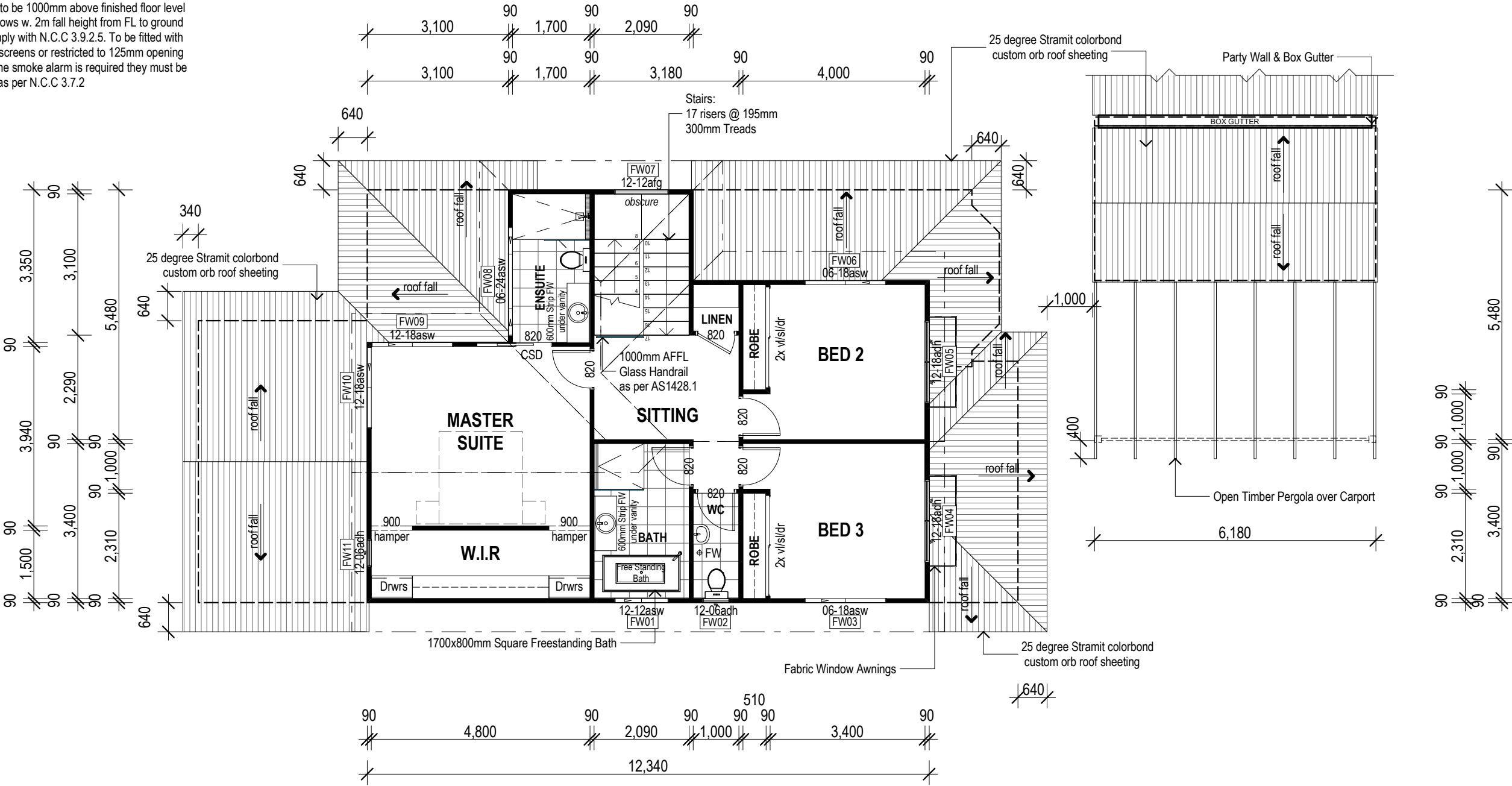
SHEET NUMBER: 6 of 11

JOB NUMBER: 7890

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ELEVATIONS

FIRST FLOOR PLAN
SCALE 1:100

PRELIMINARY PLANS ONLY NOT FOR CONSTRUCTION



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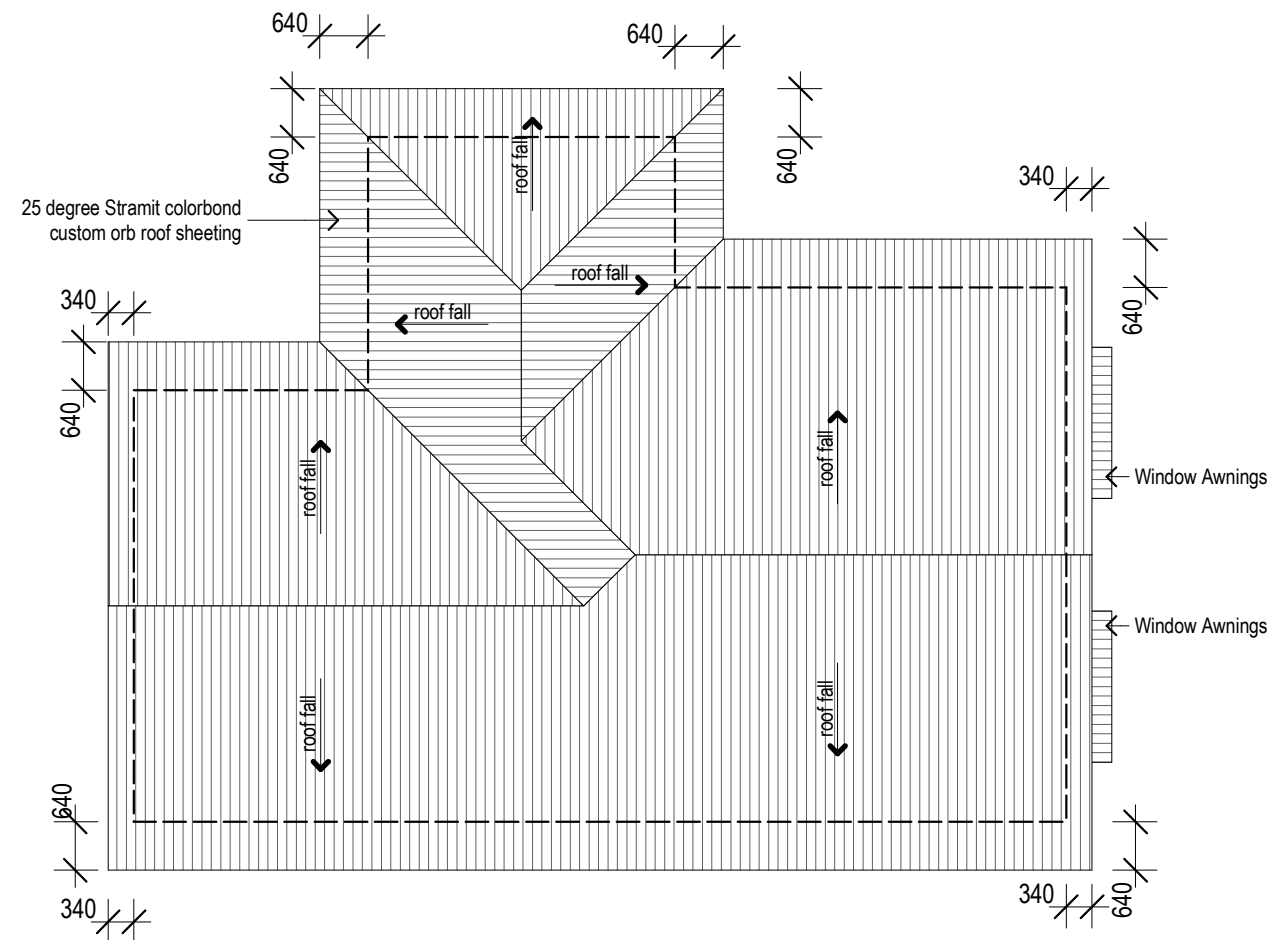
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West Burleigh, QLD 4219

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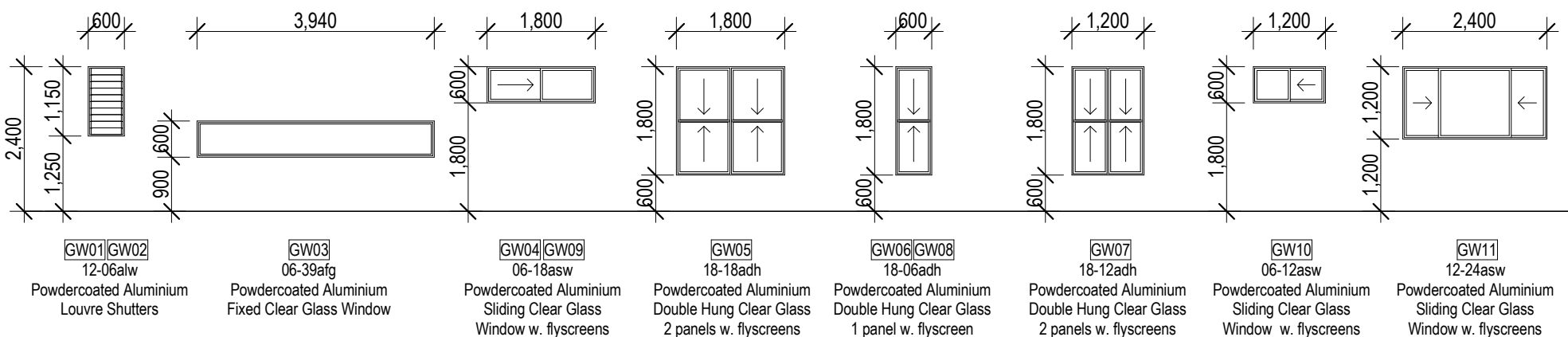


PROPOSED RESIDENCES	
BUILDER:	T.B.C
CLIENT:	MR. Z. KENNEDY
PROJECT:	LOT 8 KEATS STREET BYRON BAY
DRAWN BY:	RH/MB
CHECKED BY:	SO
DESIGN:	CUSTOM
DATE:	A 12/11/2019
SCALES:	1:100 @ A3
AMENDMENTS:	
B251119	F270220 J021120
C111219	G170420
D300120	H180820
E140220	I 021120
SHEET NUMBER:	7 of 11
JOB NUMBER:	7890

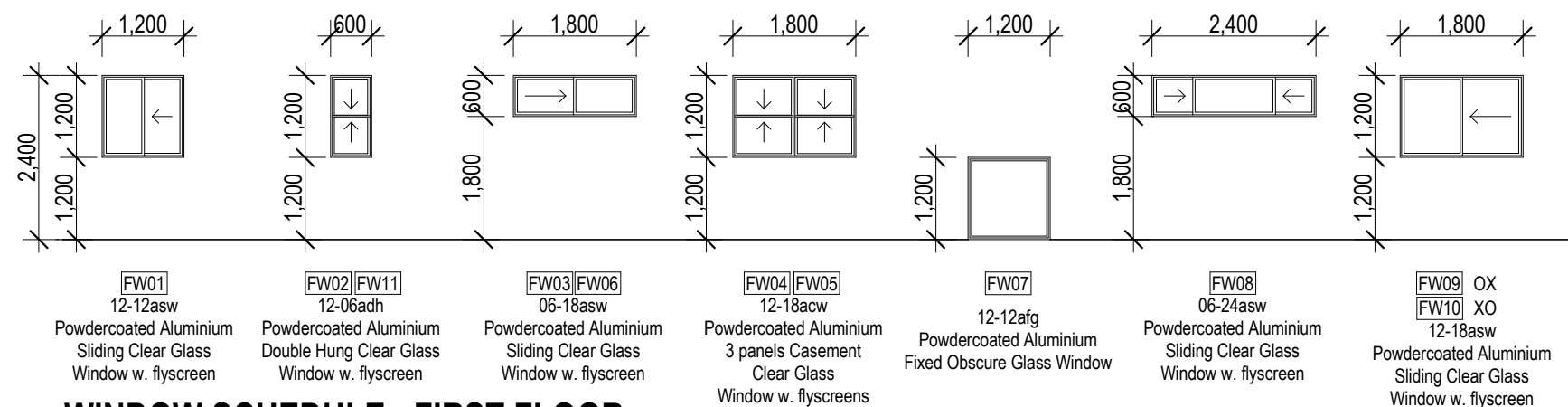
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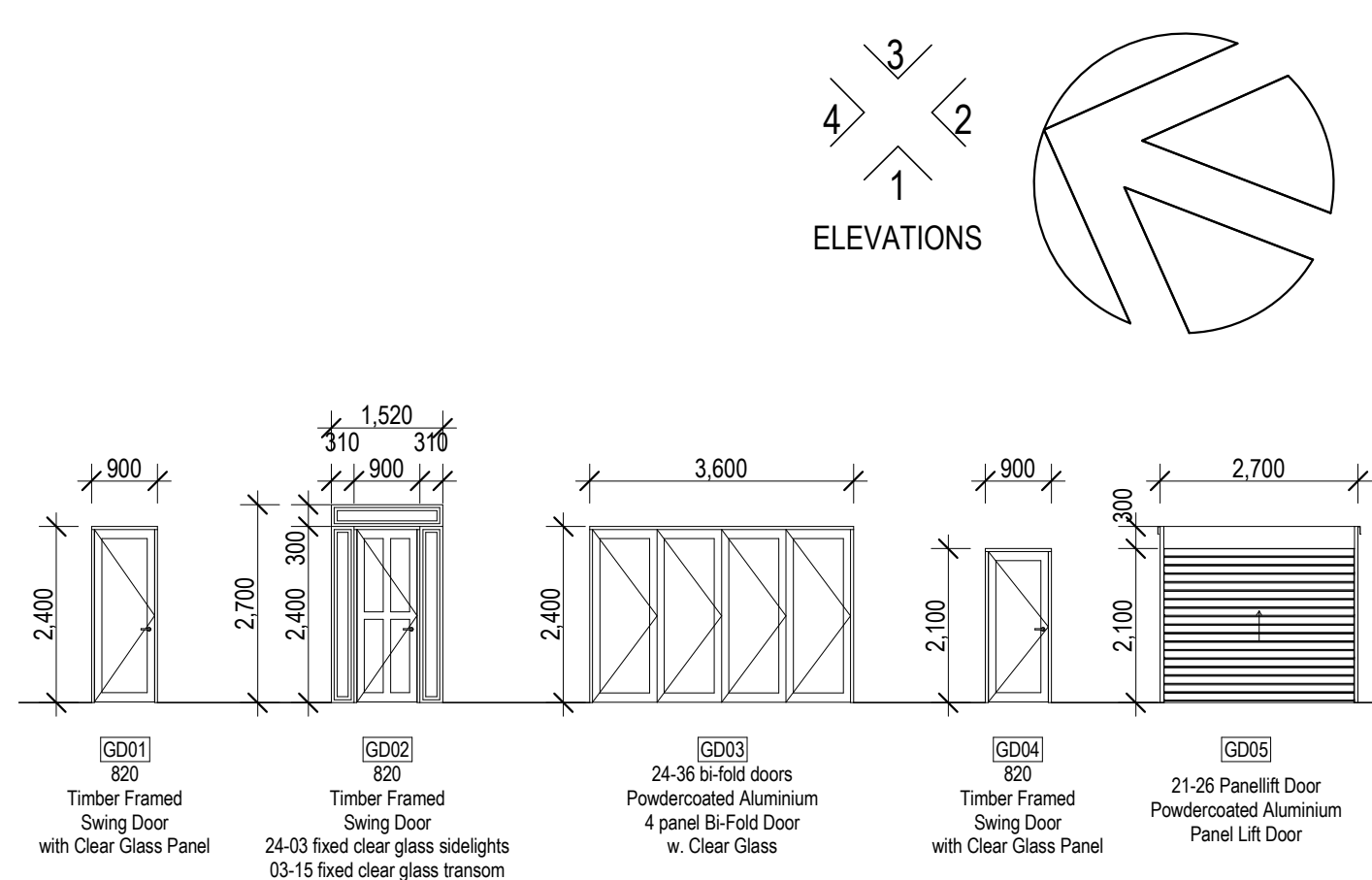
ROOF PLAN
SCALE 1:100



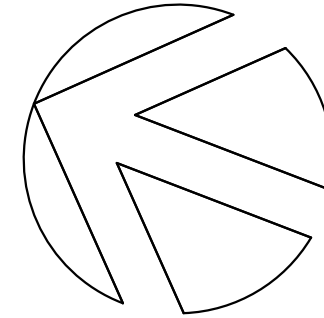
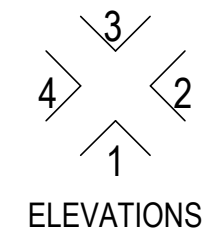
WINDOW SCHEDULE - GROUND FLOOR 1:100



WINDOW SCHEDULE - FIRST FLOOR 1:100



DOOR SCHEDULE - GROUND FLOOR 1:100



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ABN 73 097 995 616
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PROPOSED RESIDENCES
BUILDER: T.B.C
CLIENT: **MR. Z. KENNEDY**
PROJECT: LOT 8
KEATS STREET
BYRON BAY
DRAWN BY: RH/MB
CHECKED BY: SO
DESIGN: CUSTOM
DATE: A 12/11/2019
SCALES: 1:100 @ A3
AMENDMENTS:
B251119 F270220 J021120
C111219 G170420
D300120 H180820
E140220 i 021120
SHEET NUMBER: 8 of 11
JOB NUMBER: **7890**

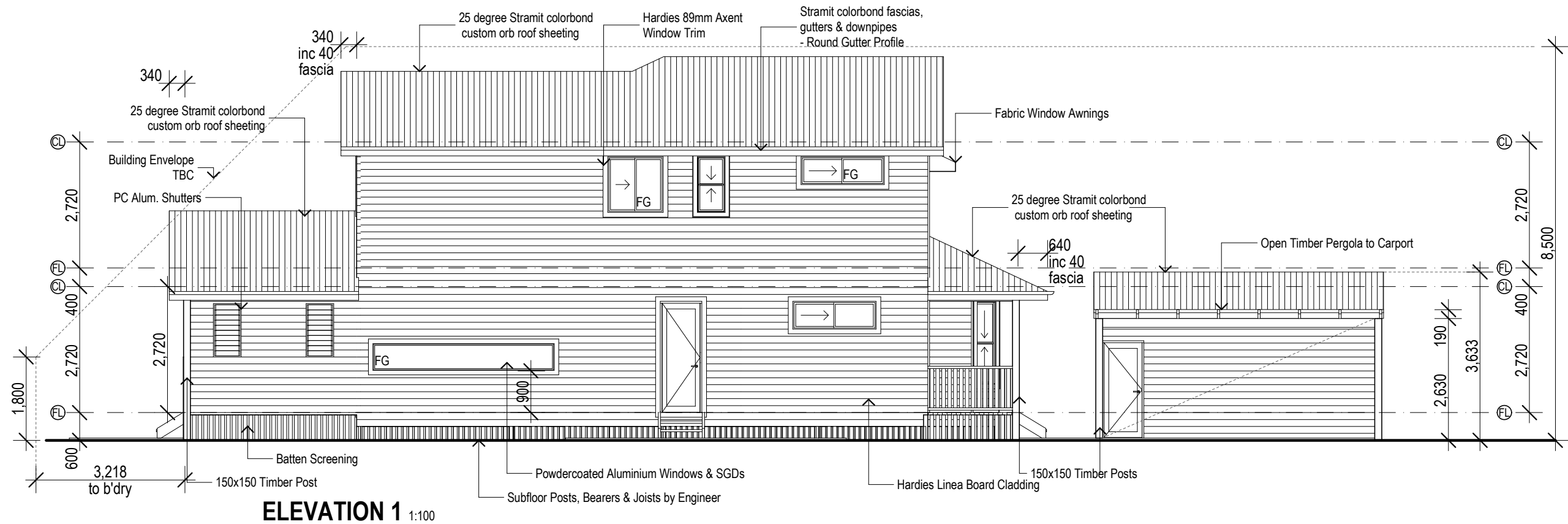
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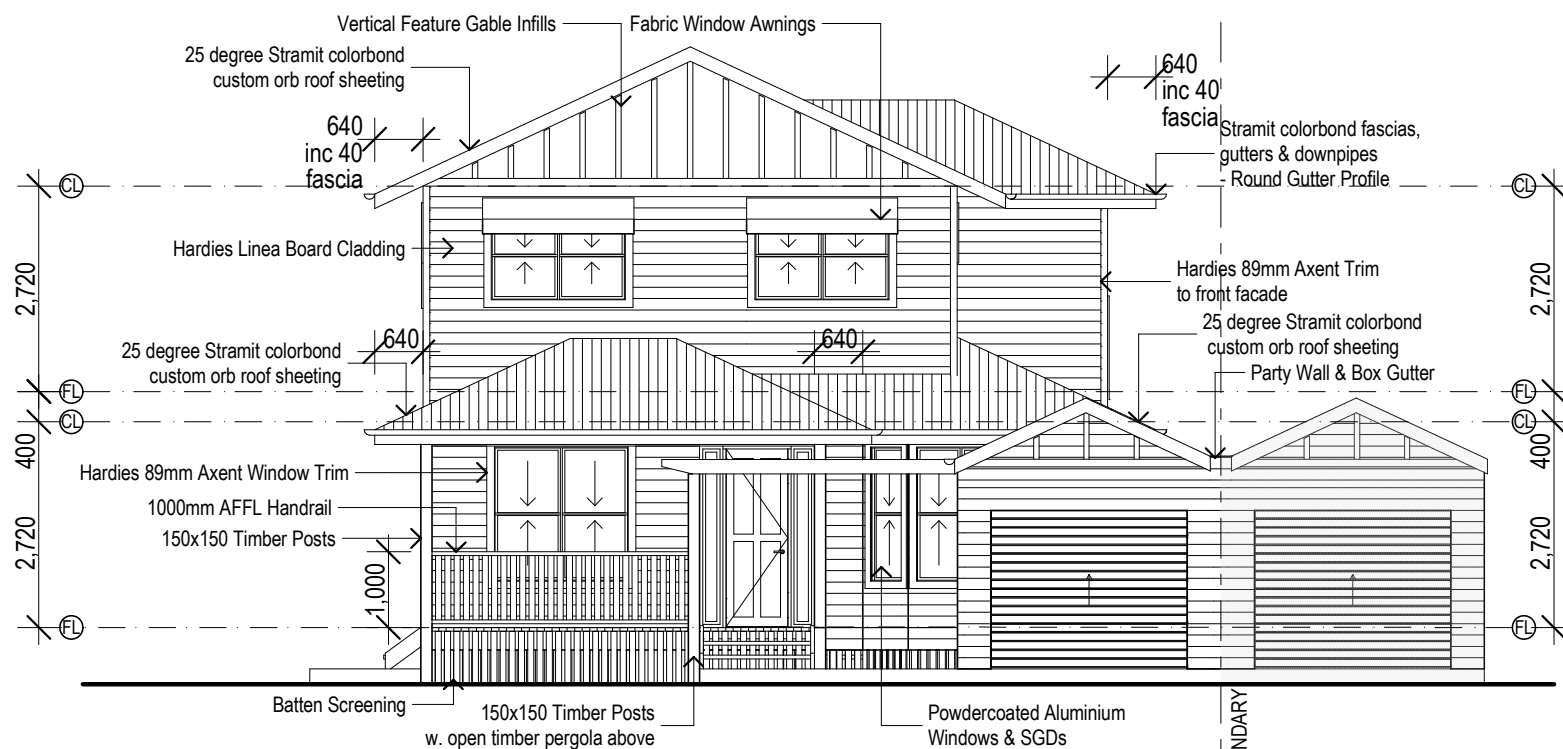
PROPOSED RESIDENCES

BUILDER: TBC
CLIENT: MR. Z. KENNEDY
PROJECT: LOT 8
KEATS STREET
BYRON BAY
DRAWN BY: RH/MB
CHECKED BY: SO
DESIGN: CUSTOM
DATE: A 12/11/2019
SCALES: 1:100 @ A3
AMENDMENTS:
B251119 F270220 J021120
C111219 G170420
D300120 H180820
E140220 I 021120
SHEET NUMBER: 9 of 11
JOB NUMBER: 7890

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ELEVATION 1 1:100



ELEVATION 2 1:100

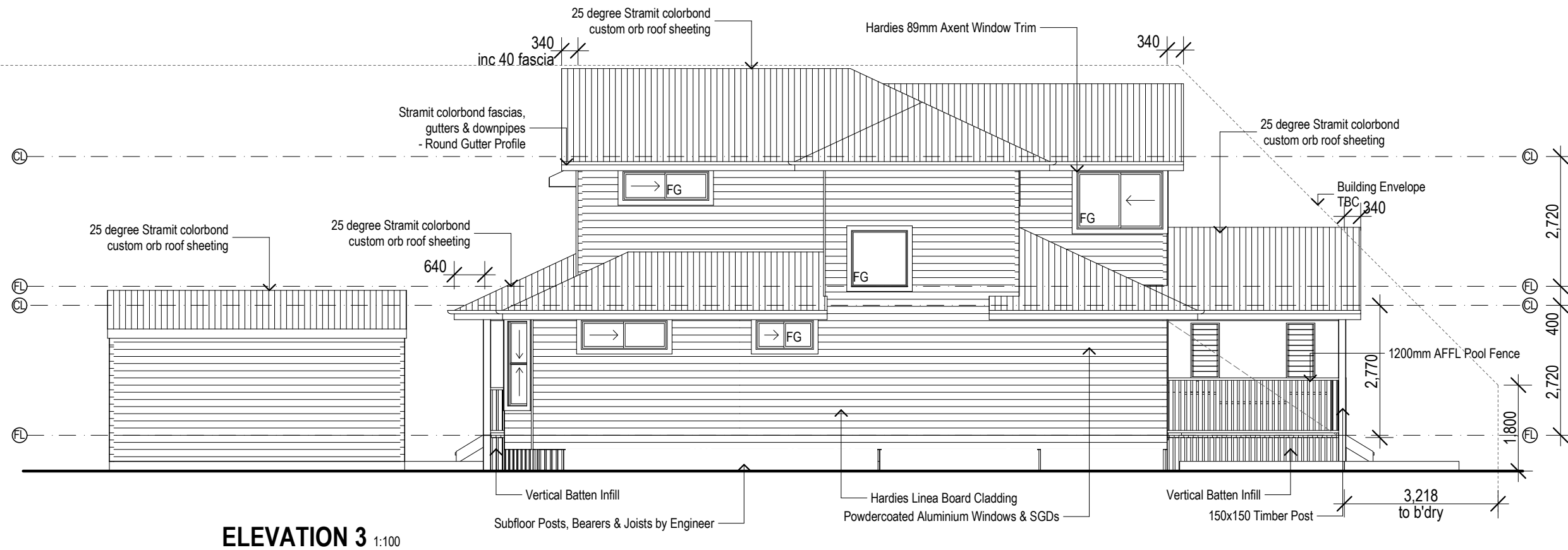


ELEVATION 2B 1:100

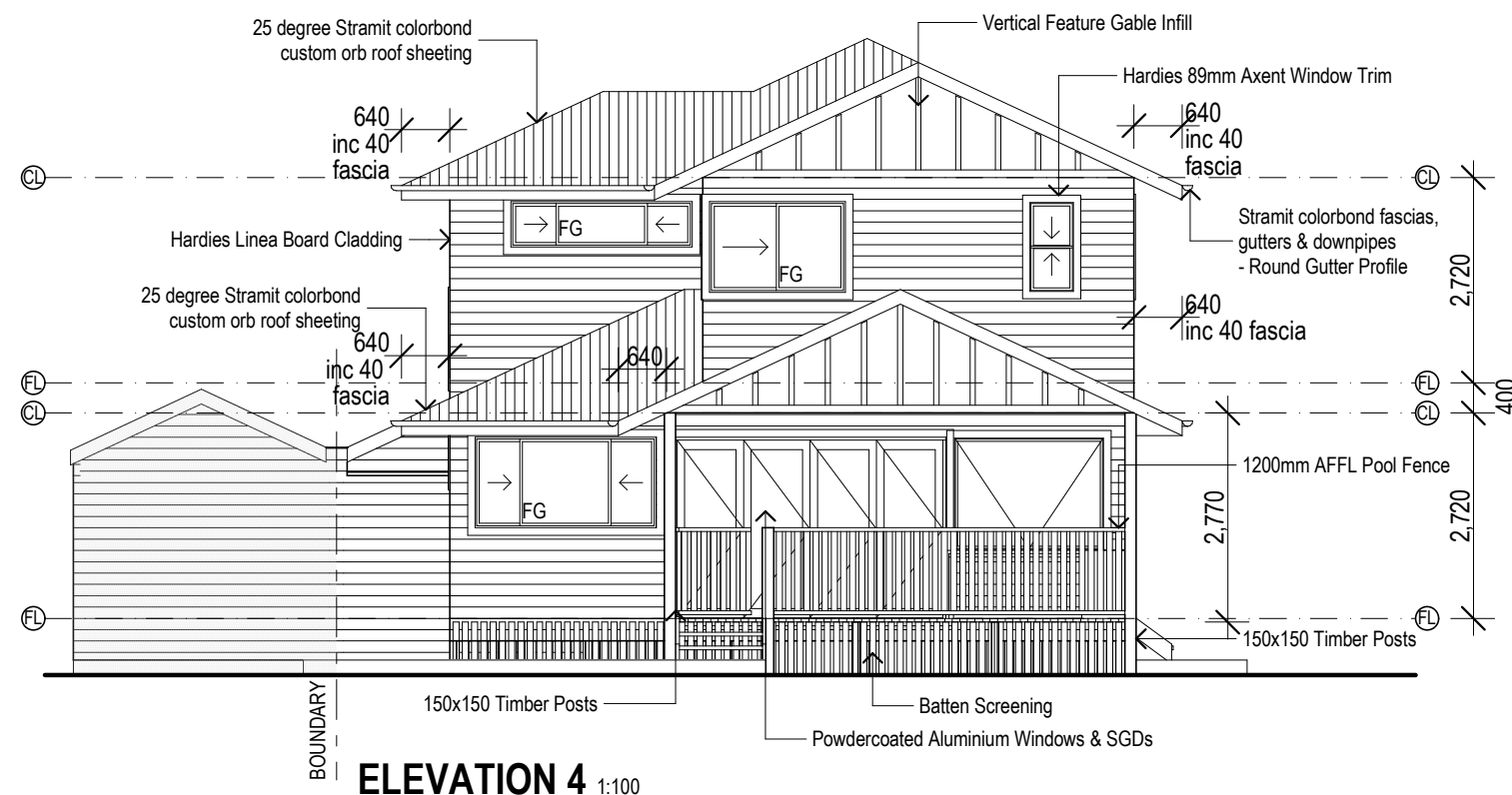
PROPOSED RESIDENCES

BUILDER: TBC
CLIENT: MR. Z. KENNEDY
PROJECT: LOT 8
KEATS STREET
BYRON BAY
DRAWN BY: RH/MB
CHECKED BY: SO
DESIGN: CUSTOM
DATE: A 12/11/2019
SCALES: 1:100 @ A3
AMENDMENTS:
B251119 F270220 J021120
C111219 G170420
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ELEVATION 3 1:100



ELEVATION 4 1:100

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PRELIMINARY PLANS ONLY NOT FOR CONSTRUCTION

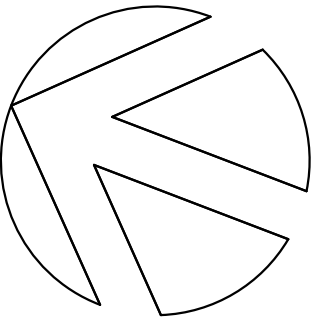
- NOTES:
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G.L	GL 00.000	approx.
CUT	00.000	
FILL	00.000	
F.L	-----	



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PO BOX 2845
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ABN 73 097 995 616

QBCC License No: 1129687



PROPOSED RESIDENCES

BUILDER: T.B.C

CLIENT: **MR. Z. KENNEDY**

PROJECT: LOT 9
KEATS STREET
BYRON BAY

DRAWN BY: RH/MB
CHECKED BY: SO
DESIGN: CUSTOM
DATE: A 12/11/2019
SCALES: 1:100 @ A3

AMENDMENTS:
B251119 F270220 J021120
C111219 G170420
D310120 H180820
E140220 i021120

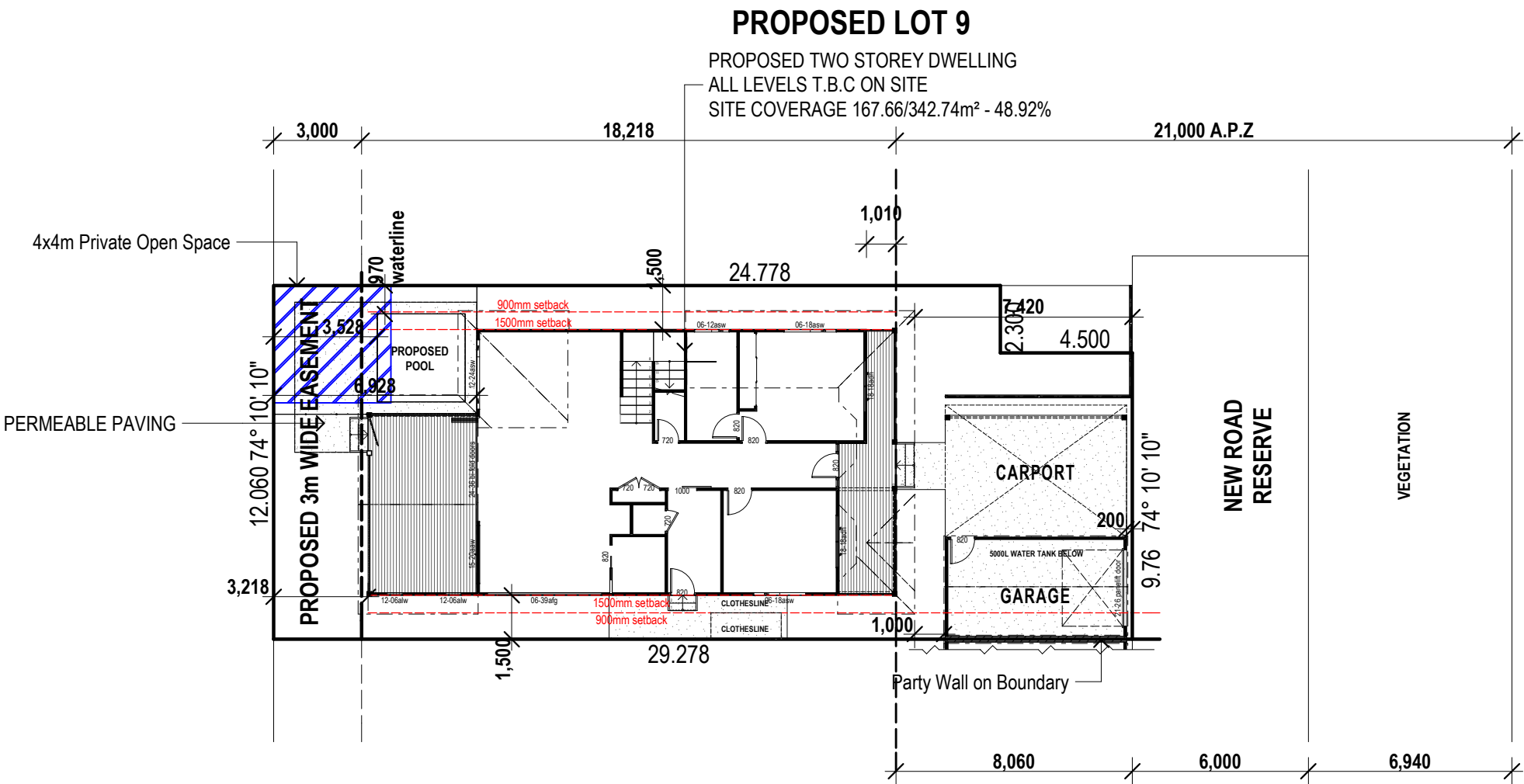
SHEET NUMBER: 4 of 11
JOB NUMBER: **7890**

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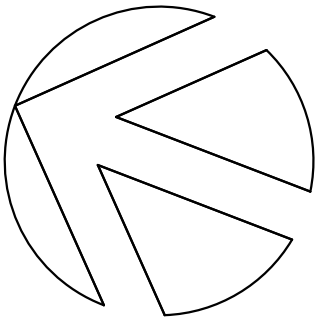
SITE PLAN - GROUND FLOOR

SCALE 1:200 SHEET 4 OF 94 JOB NUMBER - 7890

PRELIMINARY PLANS ONLY NOT FOR CONSTRUCTION



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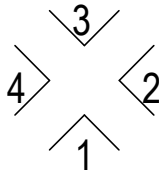
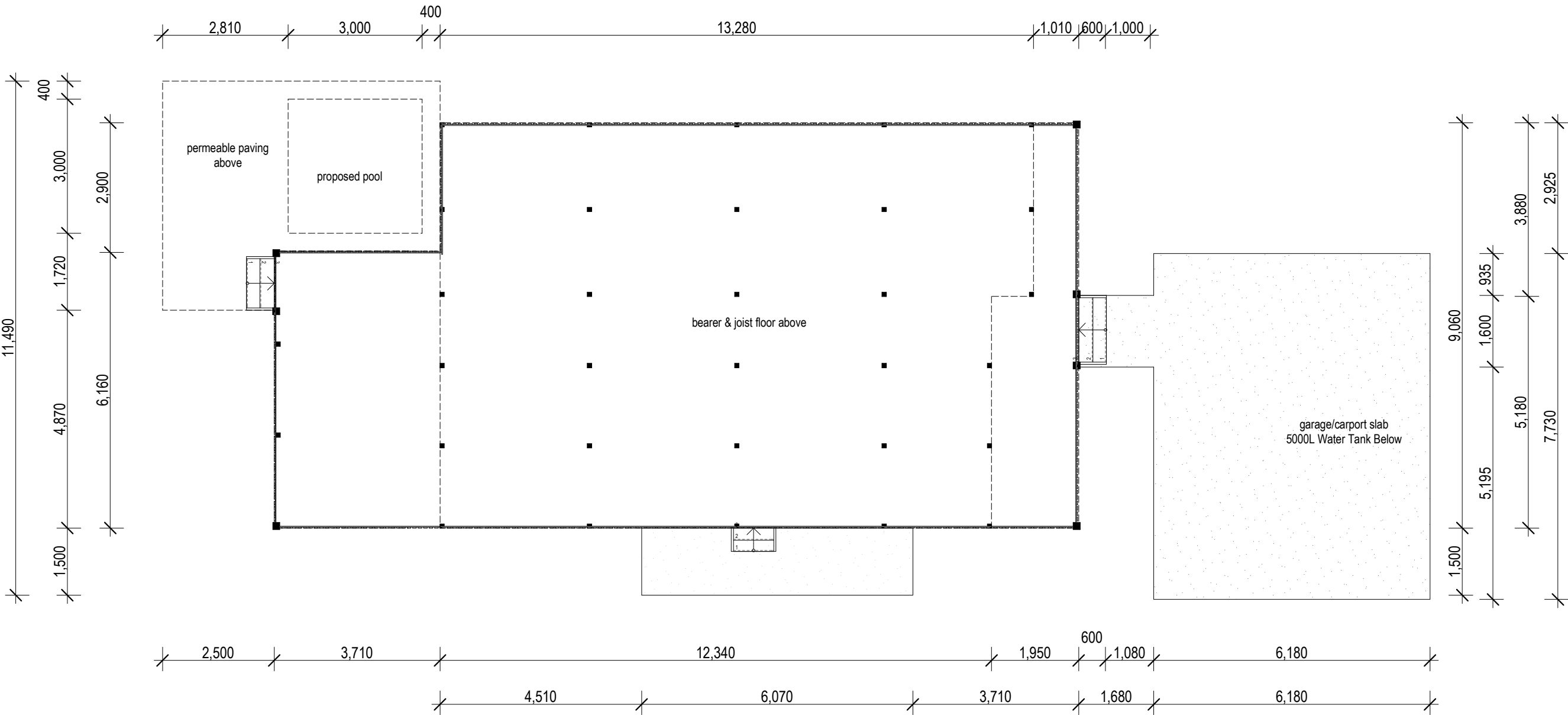
PROPOSED RESIDENCES

BUILDER: TBC
CLIENT: MR. Z. KENNEDY
PROJECT: LOT 9
KEATS STREET
BYRON BAY

DRAWN BY: RH/MB
CHECKED BY: SO
DESIGN: CUSTOM
DATE: A 12/11/2019
SCALES: 1:100 @ A3

AMENDMENTS:
B251119 F270220 J021120
C111219 G170420
D310120 H180820
E140220 i021120
SHEET NUMBER: 5 of 11
JOB NUMBER: 7890

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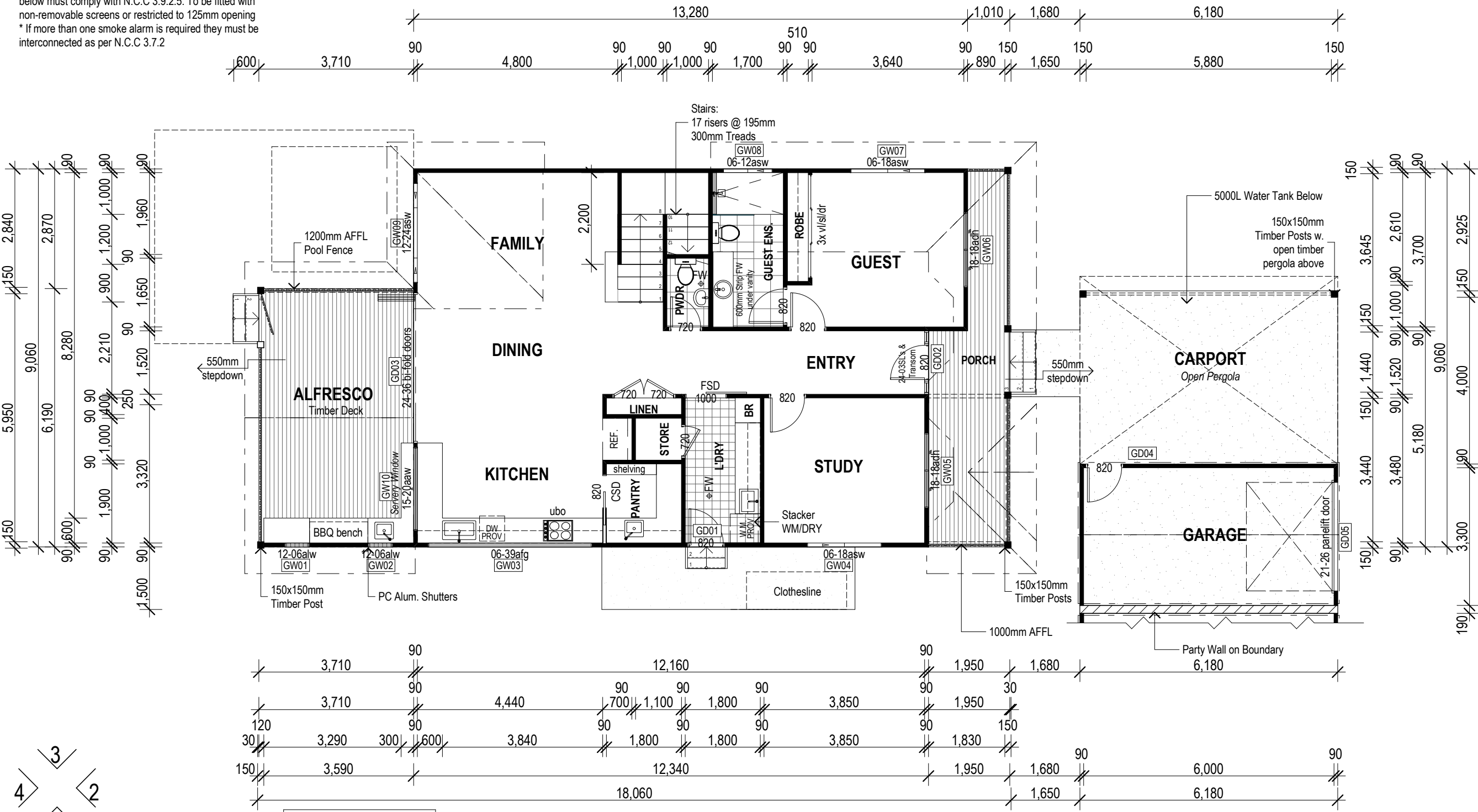
ELEVATIONS

SUB-FLOOR PLAN

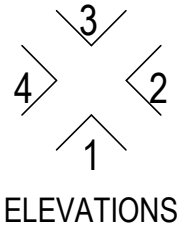
SCALE 1:100

PRELIMINARY PLANS ONLY NOT FOR CONSTRUCTION

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 - * Insulation to ceiling (living only) R2.5 batts
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 - * If more than one smoke alarm is required they must be interconnected as per N.C.C 3.7.2



FLOOR AREAS	
	Area (m ²)
LOWER LIVING	115.45
UPPER LIVING	93.51
GARAGE	21.54
ALFRESCO	20.08
PORCH	10.59
TOTAL	261.17 m²

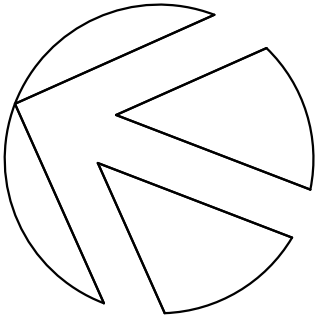


ELEVATIONS

GROUND FLOOR PLAN

SCALE 1:100

PRELIMINARY PLANS ONLY NOT FOR CONSTRUCTION



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ABN 73 097 995 616
QBCC License No: 1129687

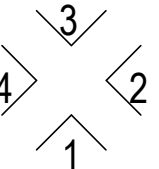
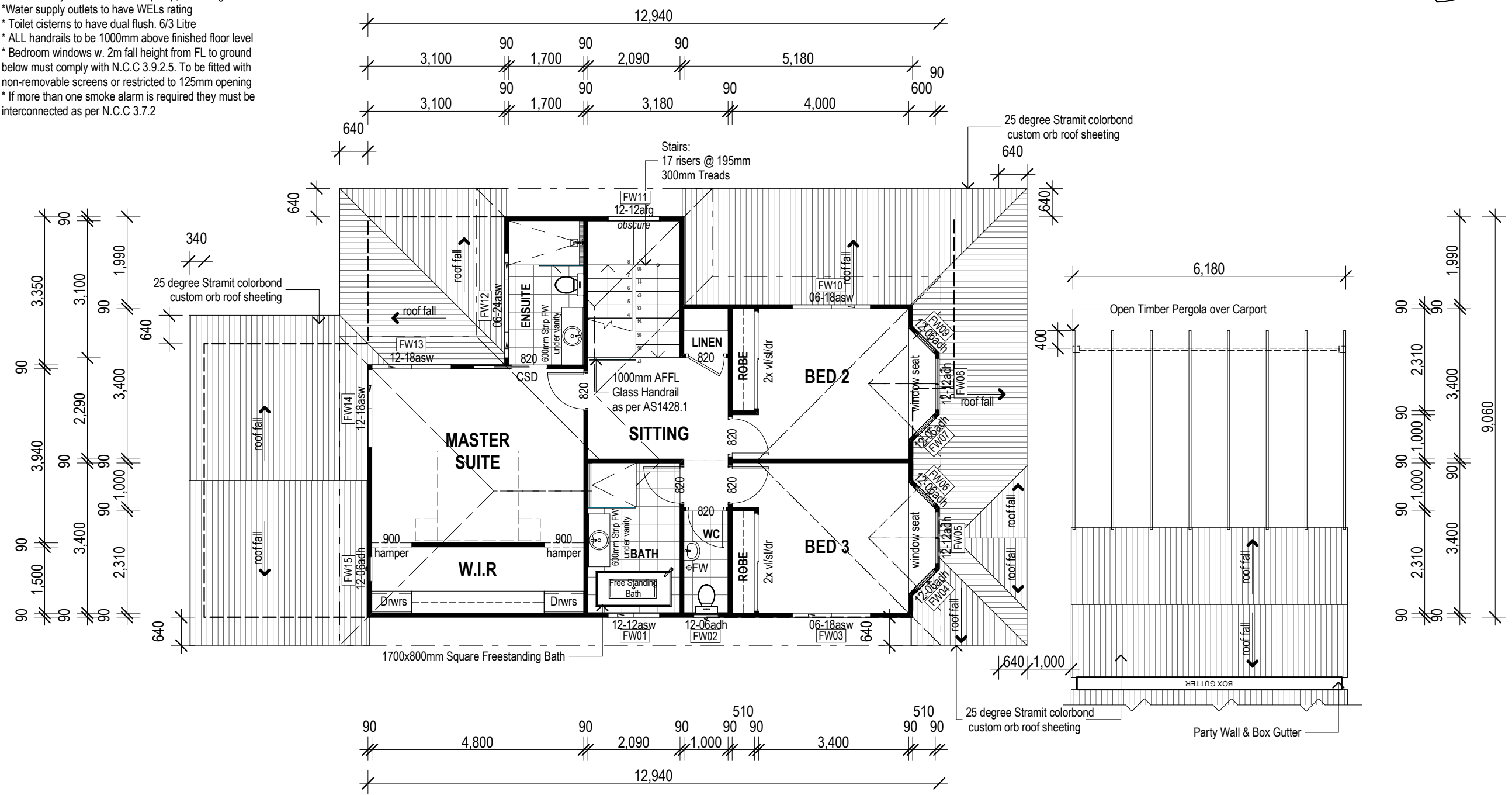


PROPOSED RESIDENCES

BUILDER: TBC
CLIENT: MR. Z. KENNEDY
PROJECT: LOT 9
KEATS STREET
BYRON BAY
DRAWN BY: RH/MB
CHECKED BY: SO
DESIGN: CUSTOM
DATE: A 12/11/2019
SCALES: 1:100 @ A3
AMENDMENTS:
B251119 F270220 J021120
C111219 G170420
D310120 H180820
E140220 i021120
SHEET NUMBER: 6 of 11
JOB NUMBER: 7890

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ELEVATIONS

FIRST FLOOR PLAN

SCALE 1:100

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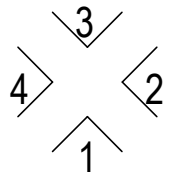
PO BOX 2845
Burleigh Heads DC QLD 4220
ABN 73 097 995 616
QBCC License No: 1129687



PROPOSED RESIDENCES			
BUILDER:	T.B.C		
CLIENT:	MR. Z. KENNEDY		
PROJECT:	LOT 9	KEATS STREET	BYRON BAY
DRAWN BY:	RH/MB	CHECKED BY:	SO
DESIGN:	CUSTOM	DATE:	A 12/11/2019
SCALES:	1:100 @ A3	AMENDMENTS:	
	B251119	F270220	J021120
	C111219	G170420	
	D310120	H180820	
	E140220	I021120	
SHEET NUMBER:	7	of	11
JOB NUMBER:	7890		

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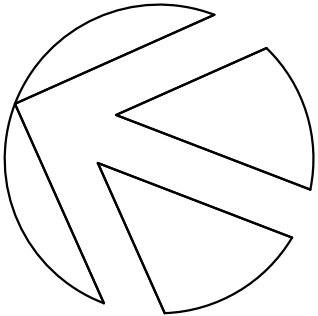
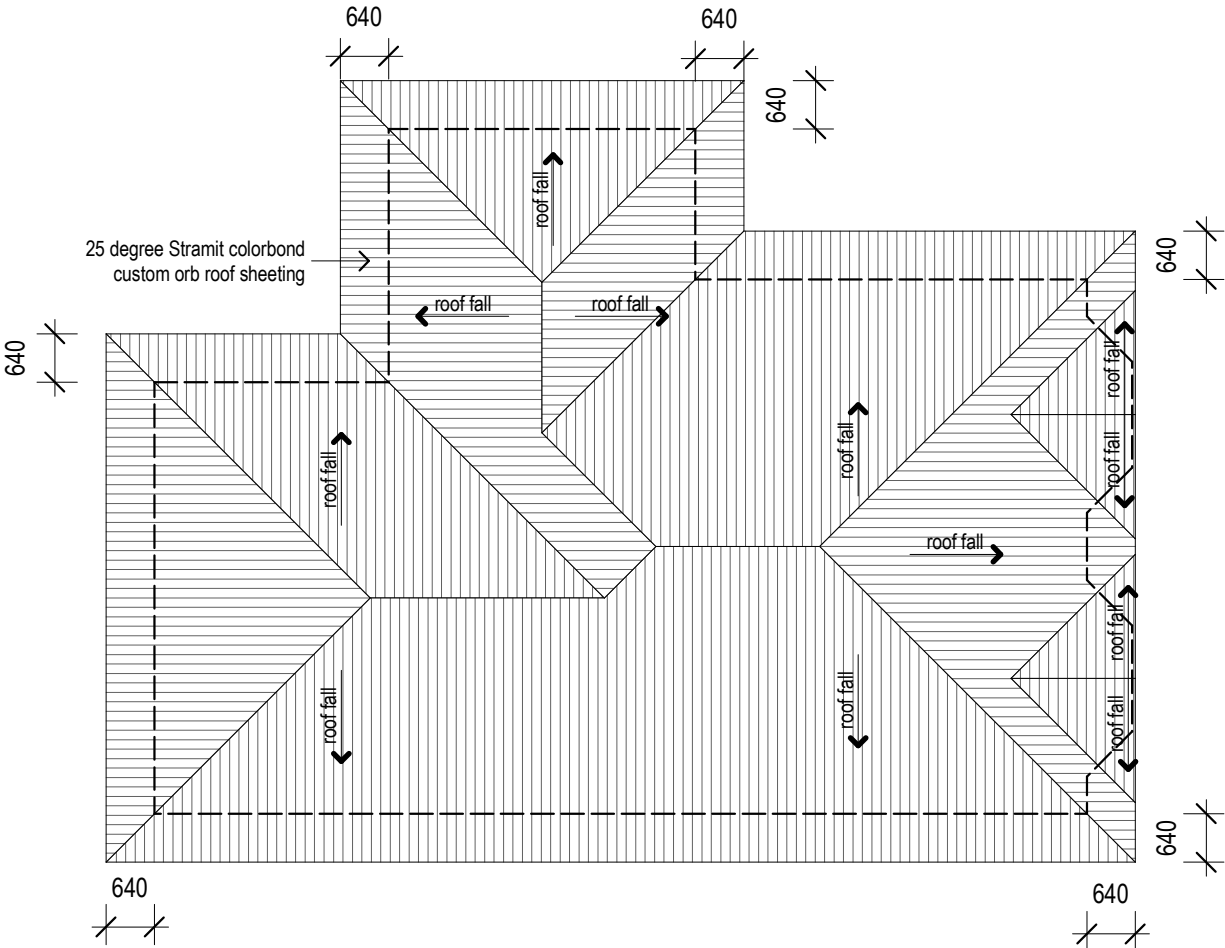
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ELEVATIONS

ROOF PLAN

SCALE 1:100



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PROPOSED RESIDENCES

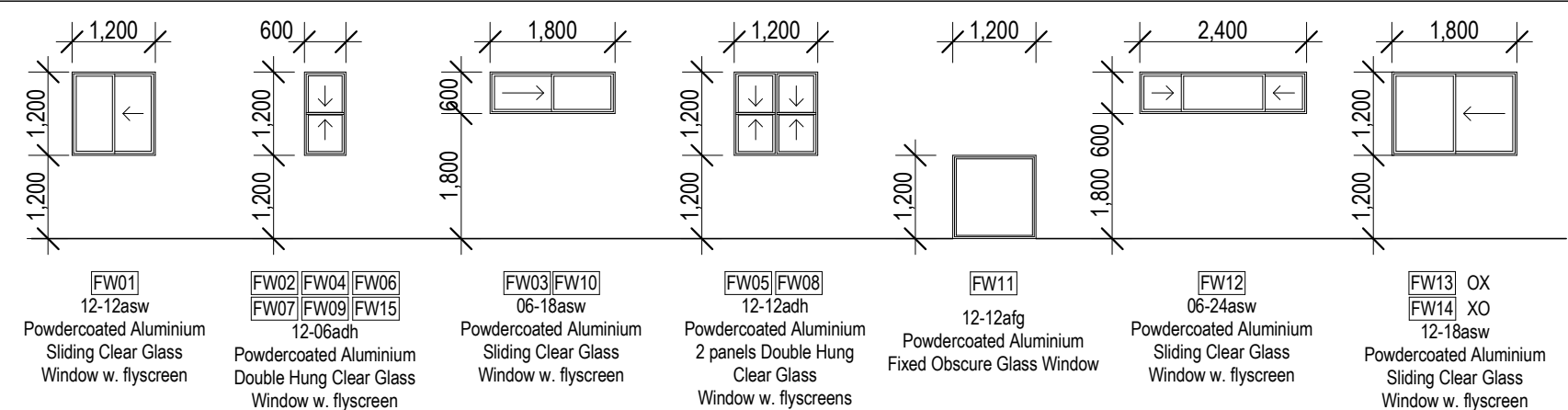
BUILDER: T.B.C
CLIENT: MR. Z. KENNEDY
PROJECT: LOT 9
KEATS STREET
BYRON BAY

DRAWN BY: RH/MB
CHECKED BY: SO
DESIGN: CUSTOM
DATE: A 12/11/2019
SCALES: 1:100 @ A3

AMENDMENTS:
B251119 F270220 J021120
C111219 G170420
D310120 H180820
E140220 i021120
SHEET NUMBER: 8 of 11
JOB NUMBER: 7890

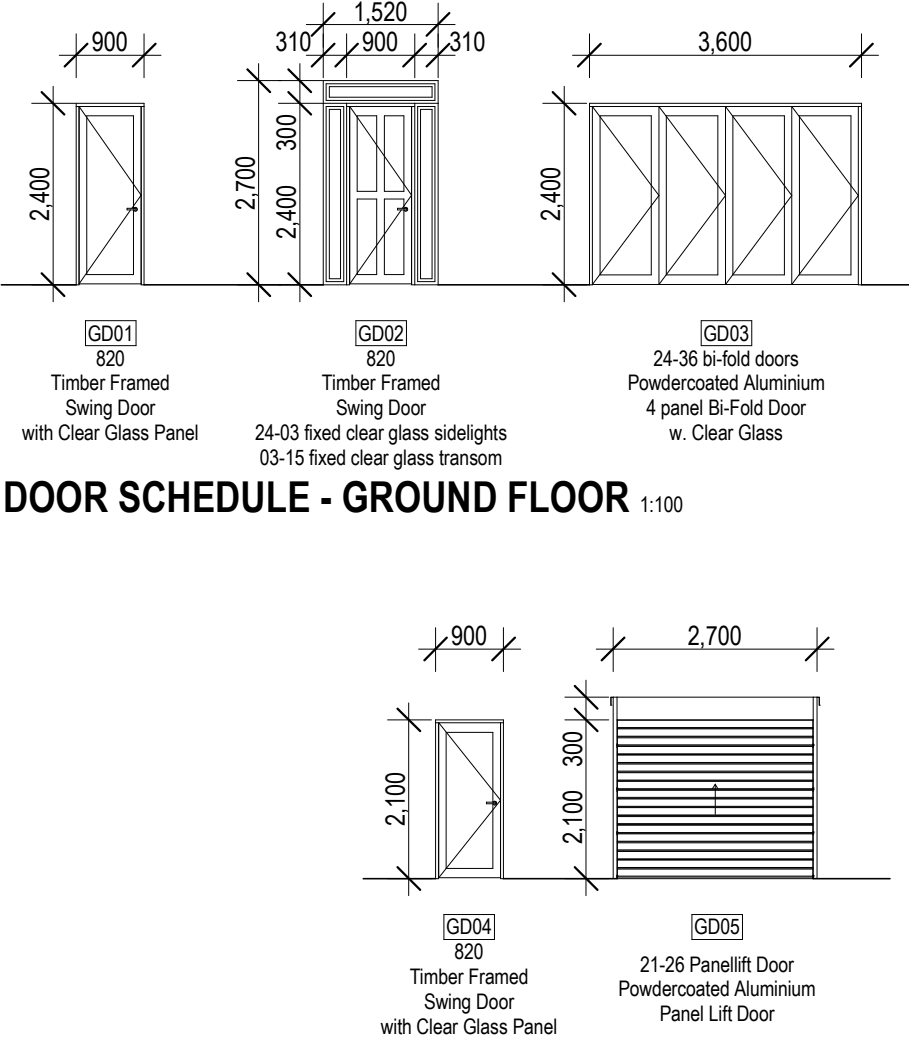
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WINDOW SCHEDULE - GROUND FLOOR 1:100



WINDOW SCHEDULE - FIRST FLOOR 1:100

DOOR SCHEDULE - GROUND FLOOR 1:100

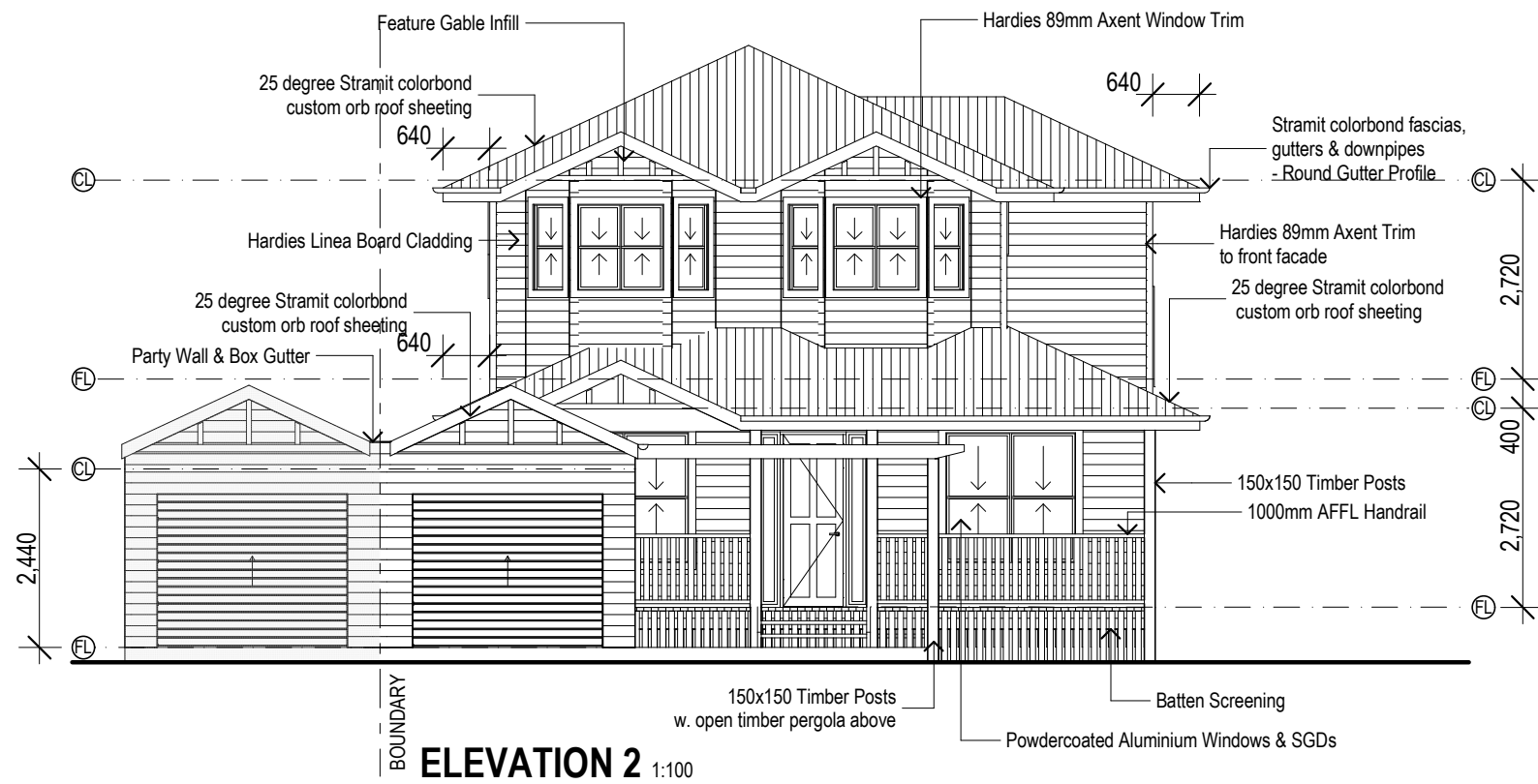
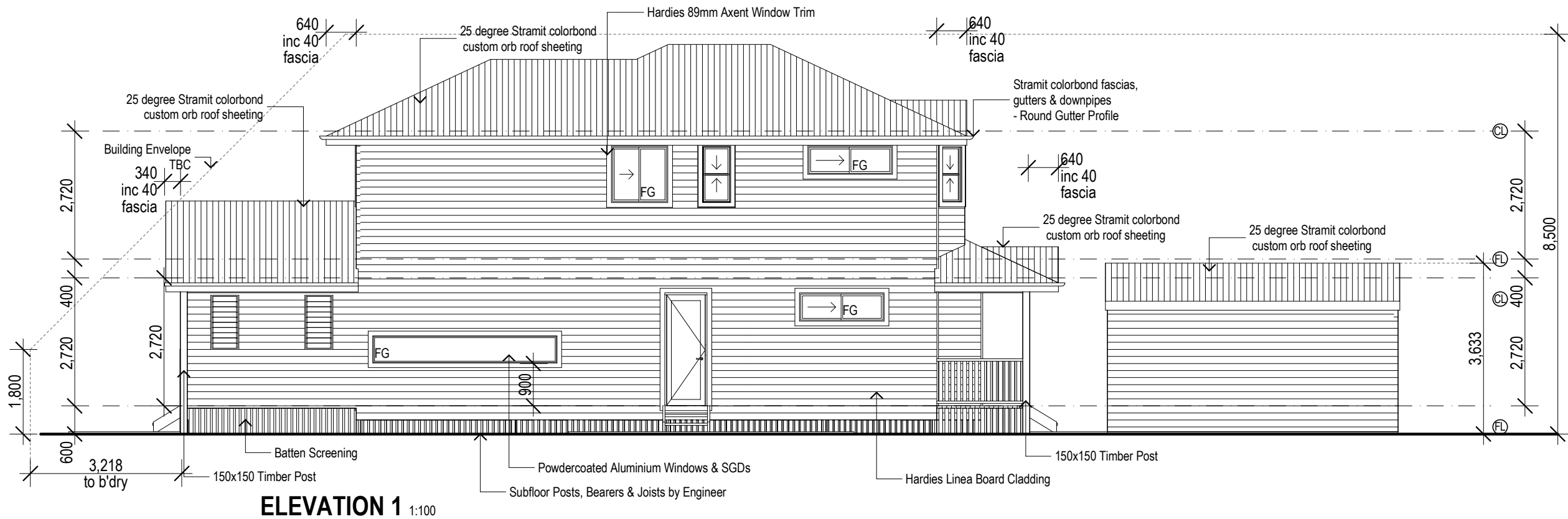


PRELIMINARY PLANS ONLY NOT FOR CONSTRUCTION

PROPOSED RESIDENCES

BUILDER: TBC
CLIENT: MR. Z. KENNEDY
PROJECT: LOT 9
KEATS STREET
BYRON BAY
DRAWN BY: RH/MB
CHECKED BY: SO
DESIGN: CUSTOM
DATE: A 12/11/2019
SCALES: 1:100 @ A3
AMENDMENTS:
B251119 F270220 J021120
C111219 G170420
D310120 H180820
E140220 I021120
SHEET NUMBER: 9 of 11
JOB NUMBER: 7890

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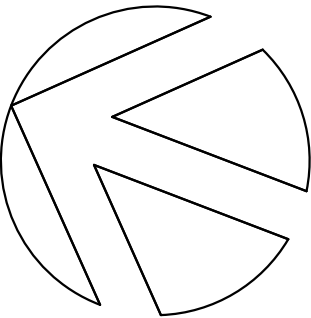


- NOTES:
- * Discharge waste to connection point
 - * Provide sediment control to site where req'd
 - * Discharge stormwater to TANK, where possible, all other stormwater & overflow to kerb & channel
 - * Meter box position T.B.C on site
 - * All retaining walls by owner

****NOTE** ALL STORMWATER & DRAINAGE TO BE IN COMPLIANCE WITH NCC PARTS 3.1.2. & 3.5.2. AS WELL AS ASNZS3500**

- * GUTTERS TO BE 125MM D-SECTION COLORBOND GUTTERS
- * 2 DOWNPIPES MAX. TO EACH 100mm STORMWATER PIPE, SUBSURFACE PIPES TO BE 100mm DIAMETER, ANY UNDERSLAB PIPING TO HAVE AN INSPECTION OPENING AT UPPER END, THEN TO BE 100mm SEWER GRADE PIPING WITH NO JOINS UNDER SLAB.

**** 1:5 MAX DRIVEWAY SLOPE TO LOCAL GOVERNMENT REQUIREMENTS AND STANDARDS ****



G.L	GL 00.000	approx.
CUT	00.000	
FILL	00.000	
F.L	-----	



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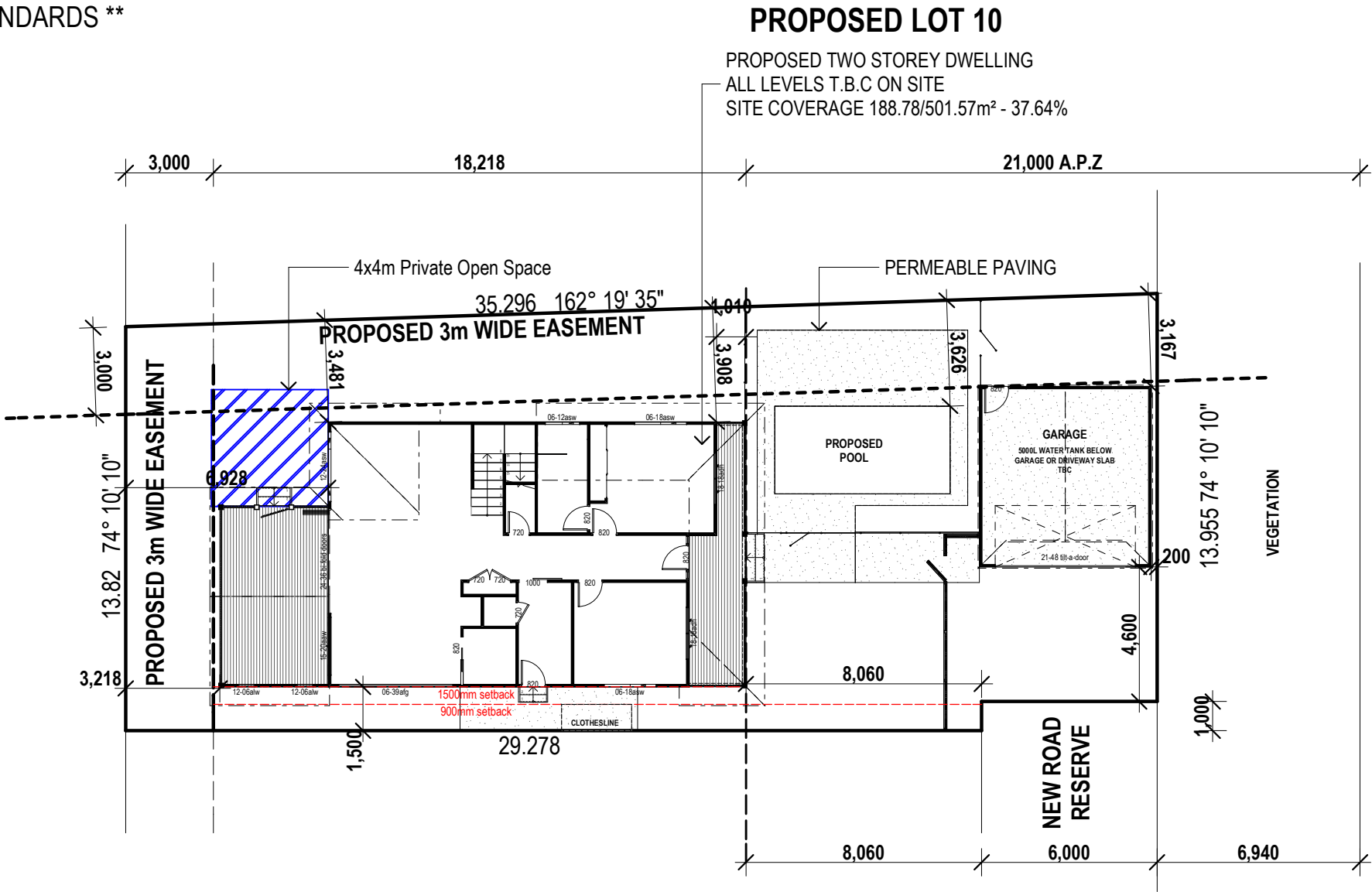
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ABN 73 097 995 616

QBCC License No: 1129687





PROPOSED RESIDENCES

BUILDER: T.B.C.

CLIENT: **MR. Z. KENNEDY**

PROJECT: LOT 10
KEATS STREET
BYRON BAY

DRAWN BY: RH/MB

CHECKED BY: SO

DESIGN: CUSTOM

DATE: A 12/11/2019

SCALES: 1:100 @ A3

AMENDMENTS:

B251119	F270220	J021120
C111219	G170420	K021120
D310120	H210520	
E170220	I170820	

SHEET NUMBER: 4 of 12

JOB NUMBER: **7890**

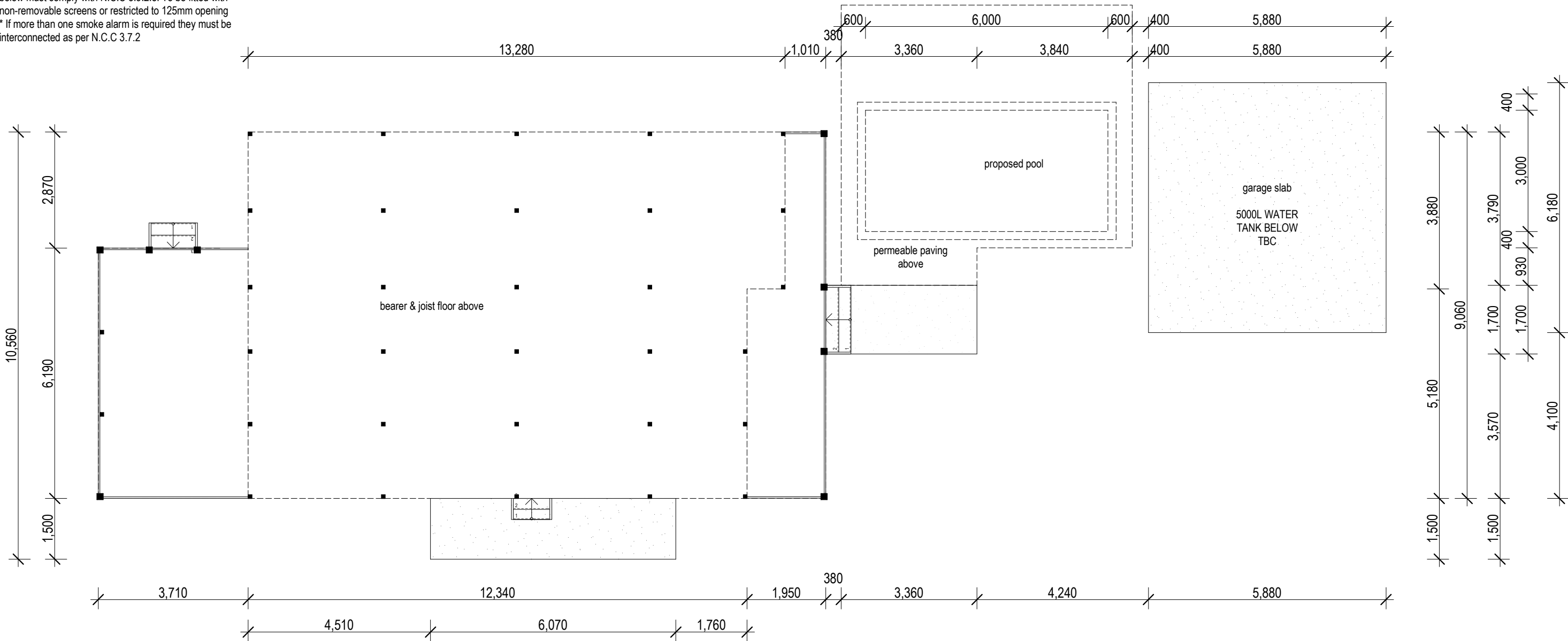
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SITE PLAN - GROUND FLOOR

SCALE 1:200 SHEET 4 OF 95 JOB NUMBER - 7890

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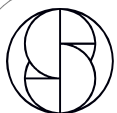


3
4
2
1

ELEVATIONS

SUB-FLOOR PLAN

SCALE 1:100



**Stuart
Osman**

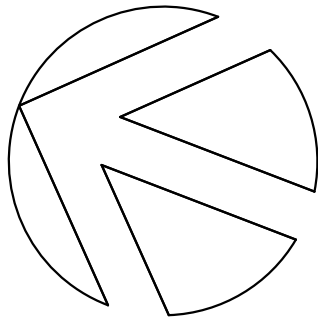
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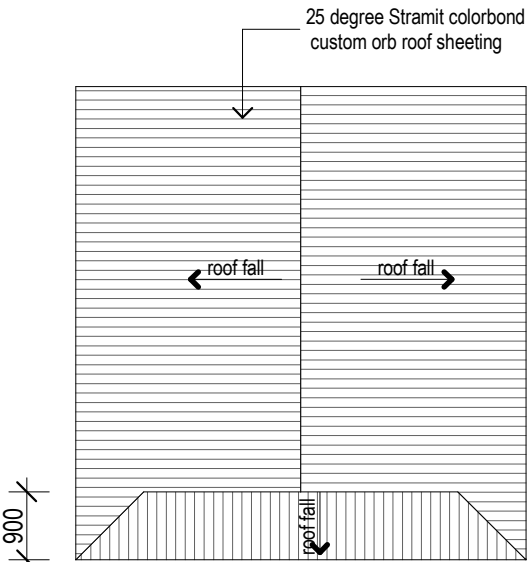
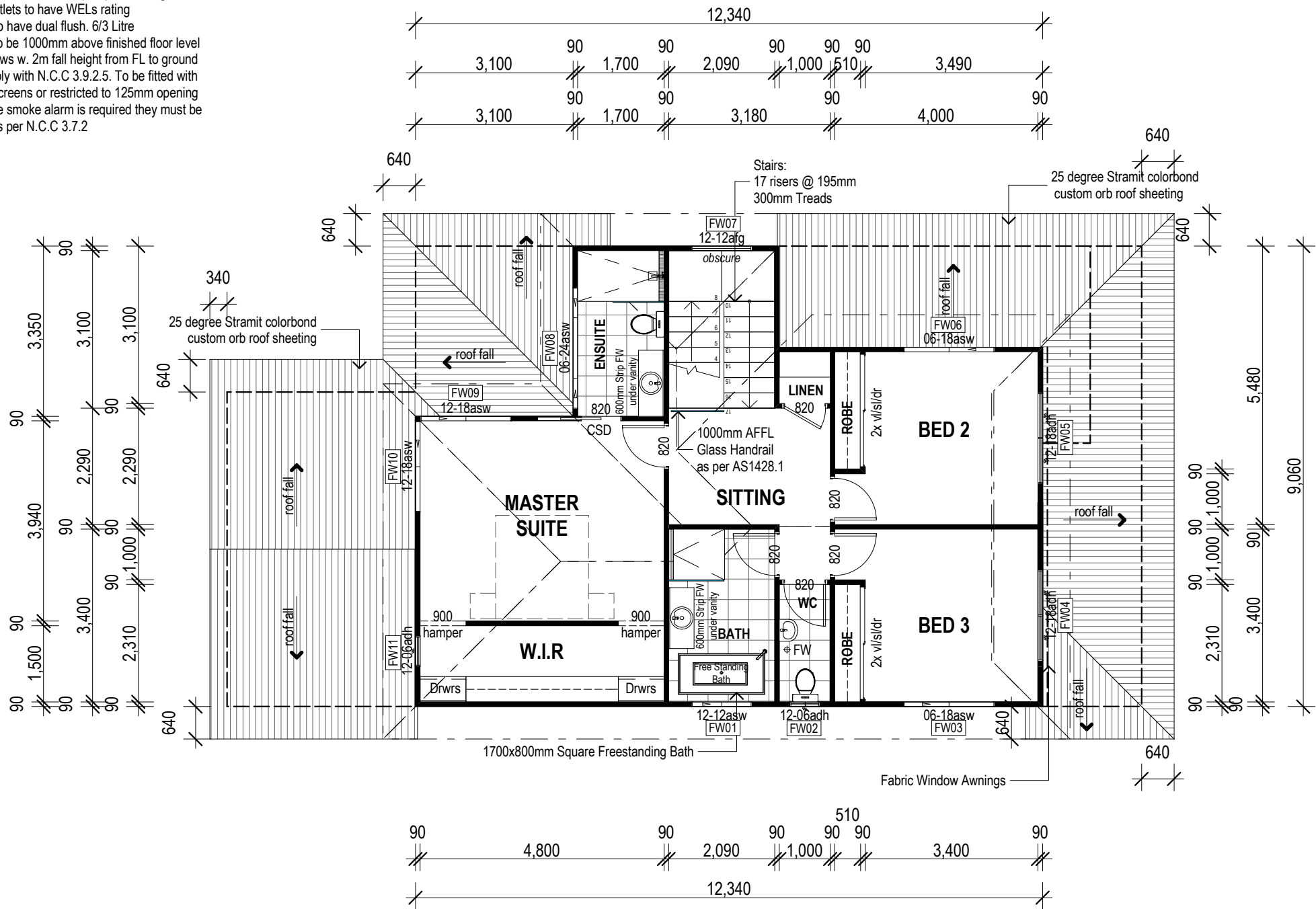
PROPOSED RESIDENCES
DRAWN BY: RH/MB
BUILDER: B251119 H210520
CLIENT: T.B.C. CHECKED BY: SO C111219 i170820
D310120 J021120
MR. Z. KENNEDY DESIGN: CUSTOM E170220 K021120
F270220
PROJECT: LOT 10 DATE: A 12/11/2019
KEATS STREET
BYRON BAY SCALES: 1:100 @ A3 SHEET NUMBER: 5 of 12
JOB NUMBER: 7890

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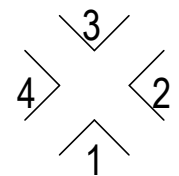


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PRELIMINARY PLANS ONLY NOT FOR CONSTRUCTION




ELEVATIONS
FIRST FLOOR PLAN
SCALE 1:100




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MASTER BUILDERS QUEENSLAND



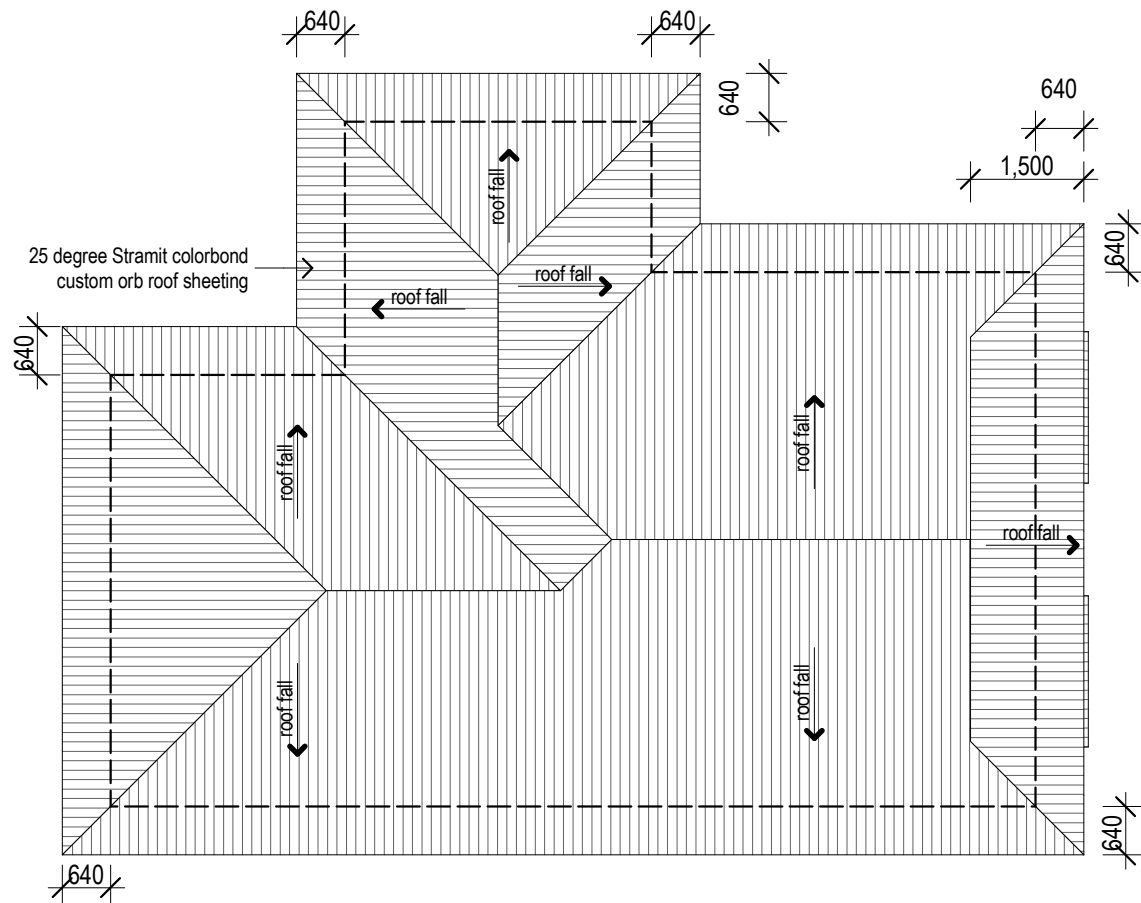
bd aa
BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA



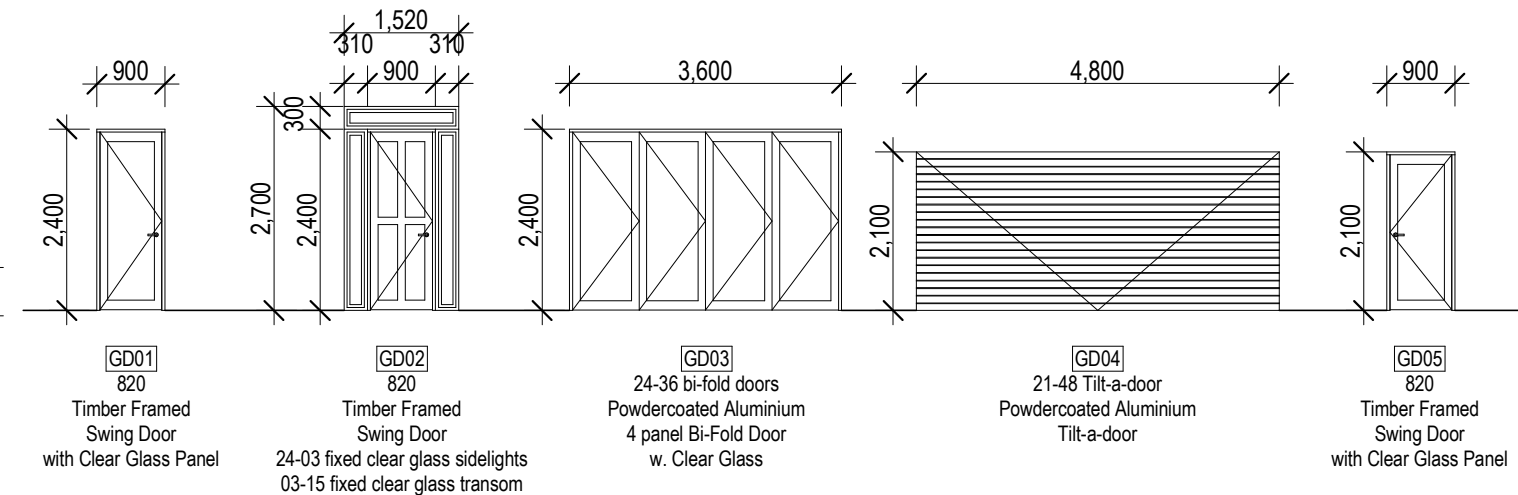
bdq
building designers association of queensland inc.

PROPOSED RESIDENCES	DRAWN BY:	RH/MB	AMENDMENTS
BUILDER:	T.B.C	B251119	H210520
CLIENT:	CHECKED BY:	SO	C111219 i170820
	MR. Z. KENNEDY	D310120	J021120
	DESIGN:	CUSTOM	E170220 K021120
			F270220
PROJECT:	LOT 10 DATE:	A 12/11/2019	
	KEATS STREET		
	BYRON BAY		
	SCALES:	1:100 @ A3	SHEET NUMBER: 7 of 12
		JOB NUMBER:	7890

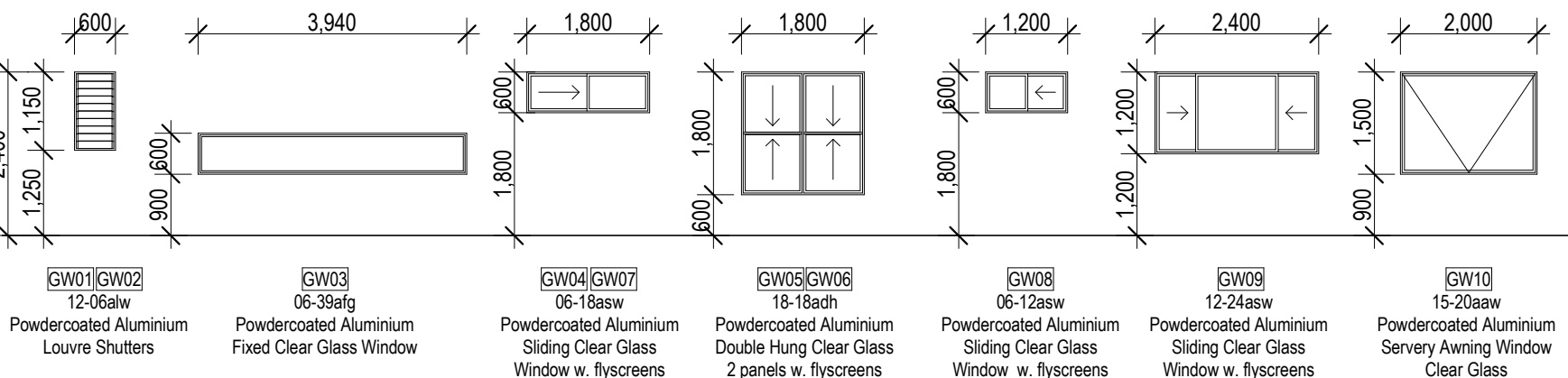
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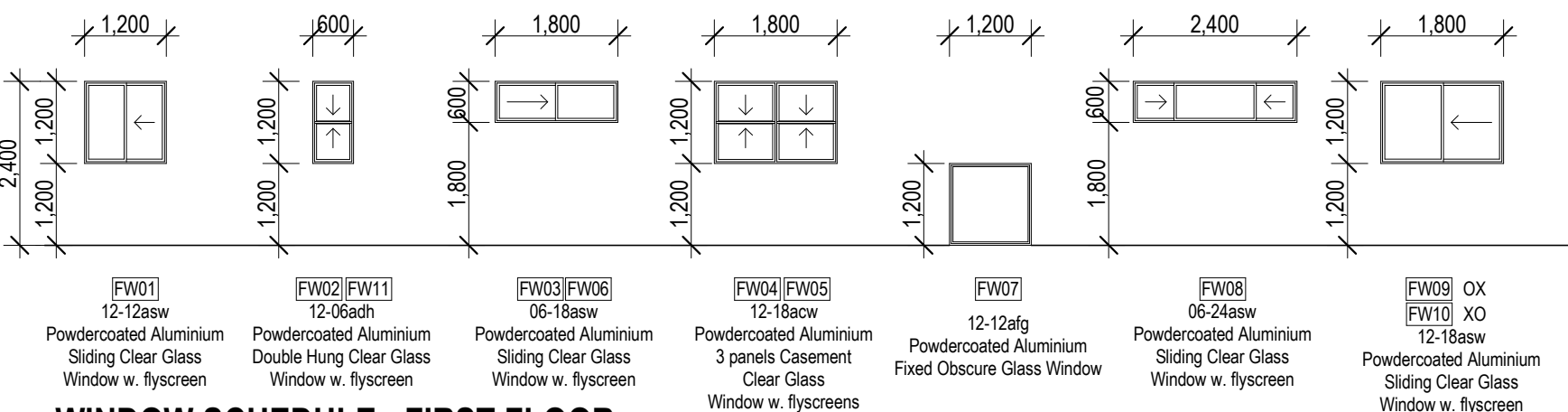
ROOF PLAN
SCALE 1:100



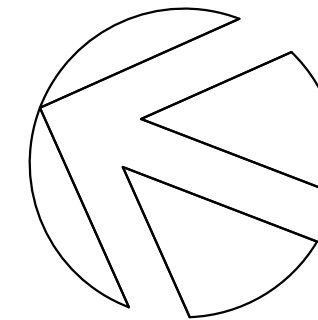
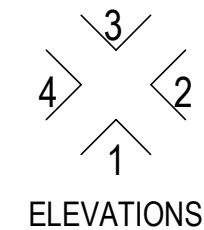
DOOR SCHEDULE - GROUND FLOOR 1:100



WINDOW SCHEDULE - GROUND FLOOR 1:100



WINDOW SCHEDULE - FIRST FLOOR 1:100



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Burleigh Heads DC QLD 4220
ABN 73 097 995 616
QBCC License No: 1129687



PROPOSED RESIDENCES

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CLIENT: **MR. Z. KENNEDY**
PROJECT: LOT 10
KEATS STREET
BYRON BAY

DRAWN BY: RH/MB
CHECKED BY: SO
DESIGN: CUSTOM
DATE: A 12/11/2019
SCALES: 1:100 @ A3

AMENDMENTS:
B251119 F270220 J021120
C111219 G170420 K021120
D310120 H210520
E170220 I170820
SHEET NUMBER: 8 of 12
JOB NUMBER: **7890**

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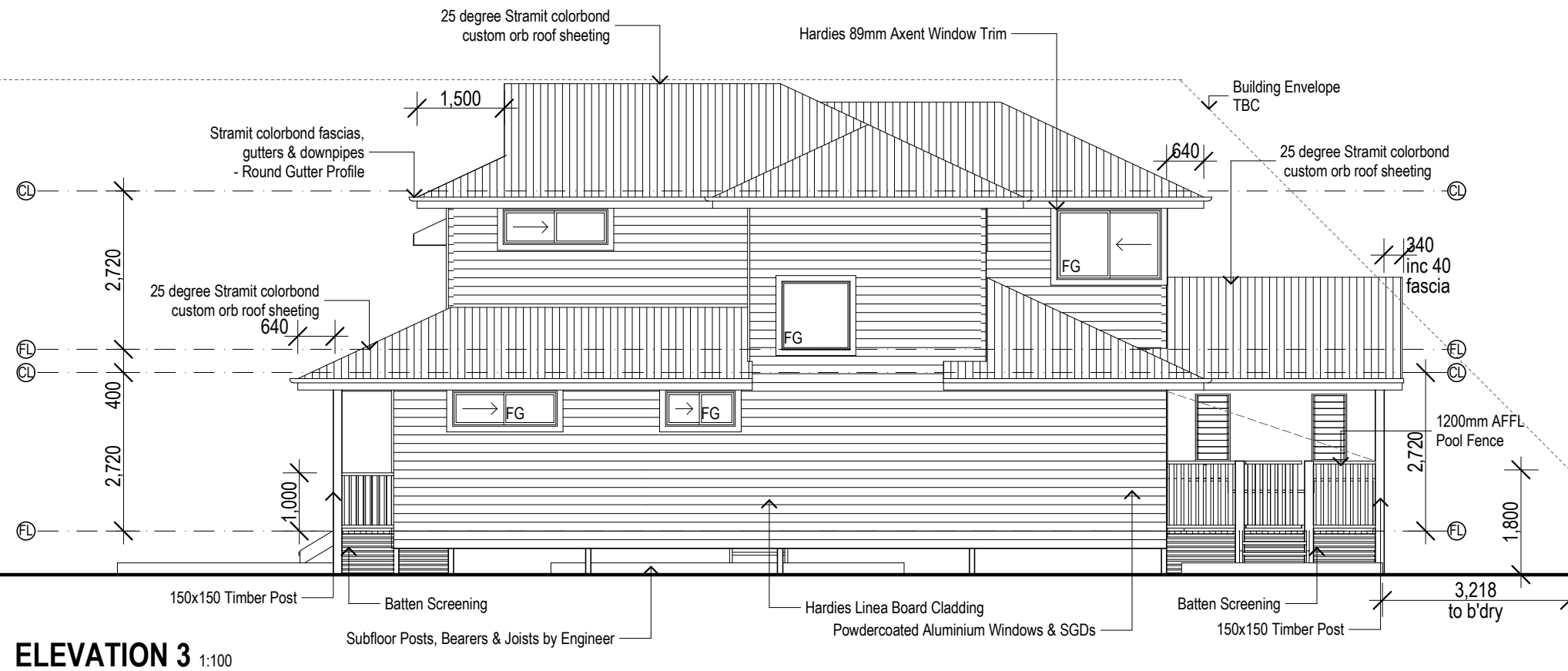
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BUILDER: T.B.C.
CLIENT: MR. Z. KENNEDY
PROJECT: LOT 10
KEATS STREET
BYRON BAY
DRAWN BY: RH/MB
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E170220 i170820
SHEET NUMBER: 10 of 12
JOB NUMBER: **7890**

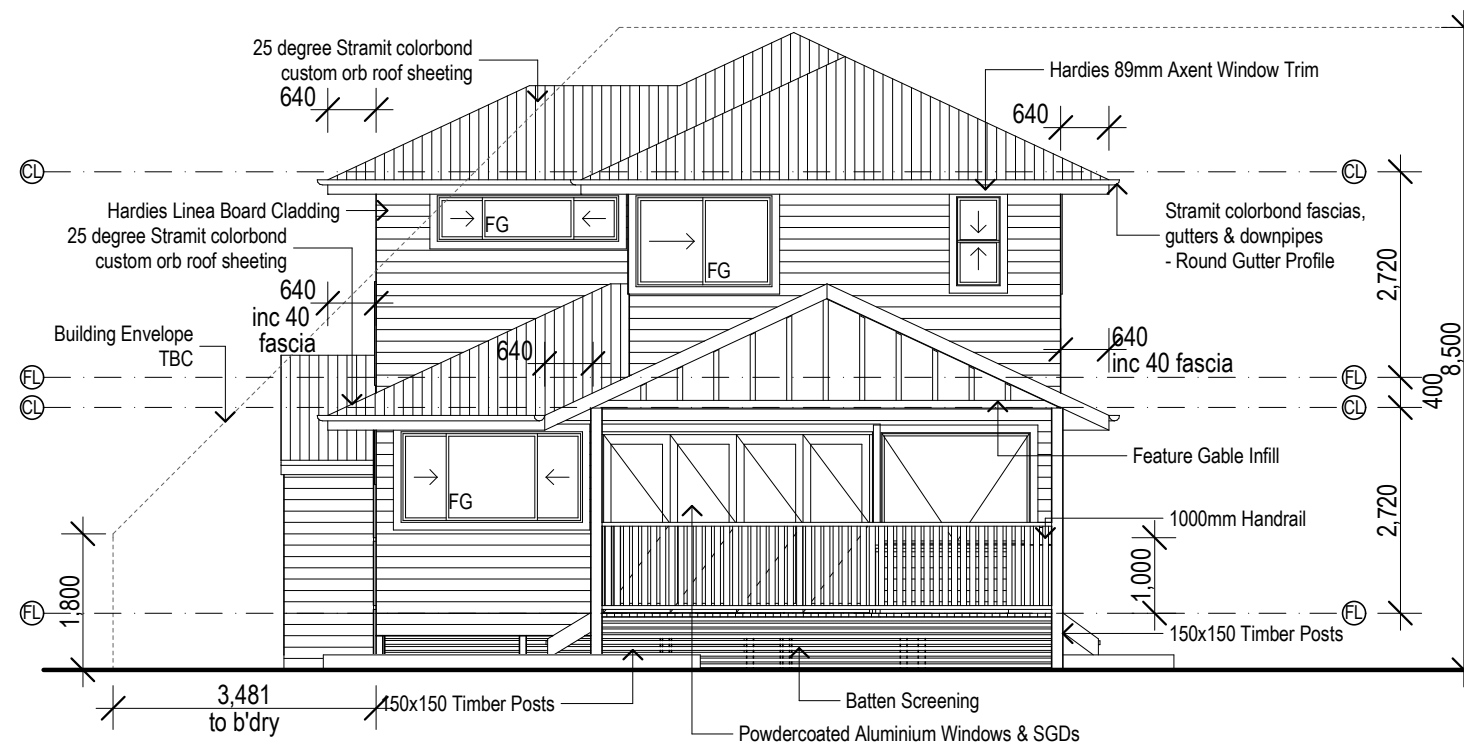
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N.B ALL WRITTEN DIMENSIONS TAKE
PRECEDENCE OVER SCALED SIZES
Contractor to verify dimensions.
Notify designers of discrepancies.
Failure to do so shall void the designers
responsibilities.
BE WARNED: SUBSTITUTION OF ANY
STRUCTURAL MEMBERS, AND OR ANY
VARIATION TO ANY PART OF THE DESIGN
WILL VOID ANY RESPONSIBILITIES OF
STUART OSMAN FOR THE STRUCTURAL
INTEGRITY AND PERFORMANCE OF
THE BUILDING

NOTES:

- * Lift off hinges to WC door, as per N.C.C 3.8.3
- * Provide GPO & cold water provisions to DW space
- * ALL External and Internal doors & windows to be measured on site and confirmed by builder
- * Sarking to external walls
- * Insulation to ceiling (living only) R2.5 batts
- * All windows & SGD to be tinted
- * Mechanically vent rooms without natural ventilation
- * All shower roses to be AAA rated
- * Maximum water supply pressure not to exceed 500kpa at any outlet
- * Hot water system shall be heat pump, solar or gas
- * Water supply outlets to have WELs rating
- * Toilet cisterns to have dual flush. 6/3 Litre
- * ALL handrails to be 1000mm above finished floor level
- * Bedroom windows w. 2m fall height from FL to ground below must comply with N.C.C 3.9.2.5. To be fitted with non-removable screens or restricted to 125mm opening
- * If more than one smoke alarm is required they must be interconnected as per N.C.C 3.7.2



ELEVATION 3 1:100



ELEVATION 4 1:100