



LEGENDS

1. 2 BEDROOM HOUSE (5 TOTAL)
 2. WIDENED ROAD RESERVE
 3. SECURE ENTRY GATES WITH INTERCOM SYSTEM
 4. NEW ROAD
 5. CARPARK
 6. TURNAROUND EXTENSION FOR FIRETRUCK
 7. PWD CARPARK
 8. PLUNGE POOL
 9. VEHICLE TURN AROUND BAY (REVERSE ENTRY)
 10. SINGLE LANE ONLY SECTION OF ROADWAY
 11. NEW SEWER MAIN (REFER ENGINEERS' DRAWINGS)
 12. NEW SEWER MANHOLE (REFER ENGINEERS' DRAWINGS)
 13. EXISTING MANHOLE TO BE REMOVED
 14. EXISTING SEWER MANHOLE
 15. NEW FIRE HYDRANT (REFER ENGINEERS' DRAWINGS)
 16. NEW POTABLE WATER (REFER ENGINEERS' DRAWINGS)
 17. NON-COMBUSTIBLE RUFUSE BIN STORE (12 X 240L BINS) WITH PERIMETER PRIVACY SCREEN
- COASTAL WETLANDS AS PER NSW PLANNING & ENVIRONMENT MAPPING - COASTAL MANAGEMENT SEPP 2018
- SITE BOUNDARY
- LINE OF VEGETATION BASED ON CENTERLINE OF NATIVE TREE TRUNKS AS LOCATED ON SURVEY PLAN
- ASSET PROTECTION ZONE
- TREE PROTECTION ZONE MARKED ON SURVEY PLAN
- IDENTIFIED EXOTIC SPECIES
- EXISTING SEWER MANHOLE TO BE REMOVED
- CLOTHES LINE

SHANE THOMPSON ARCHITECTS

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ISSUE	DATE	FOR
3	12/10/18	FOR INFORMATION
4	05/12/18	FOR INFORMATION
5	07/03/19	FOR INFORMATION
6	16/04/19	FOR INFORMATION
7	23/05/19	FOR INFORMATION
8	30/05/19	DA ISSUE

CLIENT
SAM KANJO

CLIENT PROJECT NUMBER

PROJECT
BANGALOW ROAD HOUSING

ST PROJECT NUMBER
171002

TRUE NORTH
PROJECT NORTH

SCALE (A1)
1:250
Scale 1:500 (A3)

STATUS
SD

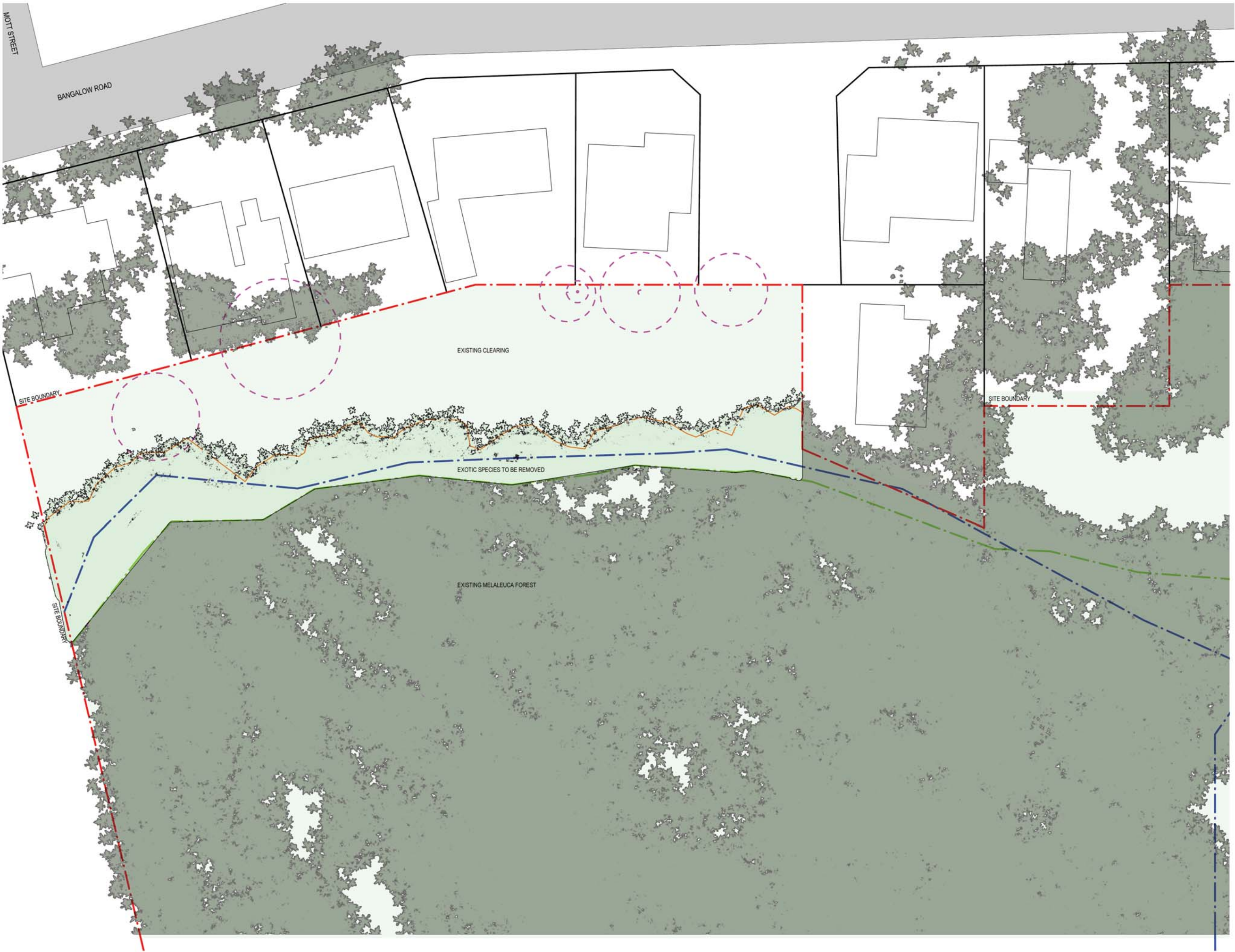
PRELIMINARY ONLY-NOT FOR CONSTRUCTION

DRAWING
MICRO SITE PLAN

DRAWING NUMBER
1002

DATE
30/05/19

ISSUE
8



- LEGEND
- COASTAL WETLANDS AS PER NSW PLANNING & ENVIRONMENT MAPPING - COASTAL MANAGEMENT SEPP 2018
 - SITE BOUNDARY
 - LINE OF VEGETATION BASED ON CENTERLINE OF NATIVE TREE TRUNKS AS LOCATED ON SURVEY PLAN
 - LINE OF EXISTING CANOPY
 - TREES BEYOND THE COSTAL WETLANDS AS PER NSW PLANNING & ENVIRONMENT MAPPING - COASTAL MANAGEMENT SEPP 2018 TO BE REMOVED
 - EXOTIC SPECIES BEYOND LINE OF NATIVE VEGETATION TO BE REMOVED

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ISSUE	DATE	FOR
1	26/04/18	FOR INFORMATION
2	22/05/18	FOR INFORMATION
3	26/05/18	FOR INFORMATION
4	26/05/18	FOR INFORMATION
5	25/09/18	FOR INFORMATION
6	30/05/19	FOR ISSUE

CLIENT
SAM KANUO

CLIENT PROJECT NUMBER

PROJECT
BANGALOW ROAD HOUSING

ST PROJECT NUMBER
171002

TRUE NORTH



SCALE (A1)

1:250

STATUS
SD

PROJECT NORTH



0 2.5 5m 10m

Scale: 1:500 (A3)

PRELIMINARY ONLY NOT FOR CONSTRUCTION

DRAWING
EXOTIC SPECIES REMOVAL

DRAWING NUMBER
1003

ISSUE
6

DATE
30/05/19



- LEGEND
- 1. 2 BEDROOM HOUSE (5 TOTAL)
 - 2. NEW ROAD
 - 3. CARPARK
 - 4. PWD CARPARK
 - 5. PLUNGE POOL
 - 6. TURNAROUND EXTENSION FOR FIRETRUCK
 - 7. NON-COMBUSTIBLE FENCE
 - 8. NEW SEWER MAIN (REFER ENGINEERS' DRAWINGS)
 - 9. NEW SEWER MANHOLE (REFER ENGINEERS' DRAWINGS)
 - 10. EXISTING SEWER MANHOLE
 - 11. NEW FIRE HYDRANT (REFER ENGINEERS' DRAWINGS)
 - 12. NEW POTABLE WATER (REFER ENGINEERS' DRAWINGS)
 - 13. NON-COMBUSTIBLE RUFUSE/BIN STORE (12 X 240L BINS) WITH PERIMETER PRIVACY SCREEN
- COASTAL WETLANDS AS PER NSW PLANNING & ENVIRONMENT MAPPING - COASTAL MANAGEMENT SEPP 2018
- SITE BOUNDARY
- LINE OF VEGETATION BASED ON NATIVE TREE TRUNKS AS MAPPED BY ECOLOGIST ON SITE
- ASSET PROTECTION ZONE
- EXISTING MELALEUCA FOREST
- REINFORCED TURF
- NATIVE TREE CANOPY AS LOCATED ON SURVEY PLAN
- CLOTHES LINE
- CRUSHED STONE GRAVEL

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ISSUE	DATE	FOR
3	10/10/18	FOR INFORMATION
4	12/10/18	FOR INFORMATION
5	09/12/18	FOR INFORMATION
6	14/01/19	FOR INFORMATION
7	23/05/19	FOR INFORMATION
8	30/05/19	DATE ISSUE

CLIENT
SAM KANJO

CLIENT PROJECT NUMBER

PROJECT
BANGALOW ROAD HOUSING

ST PROJECT NUMBER
171002

TRUE NORTH
PROJECT NORTH

SCALE (A1)
1:125

STATUS
SD

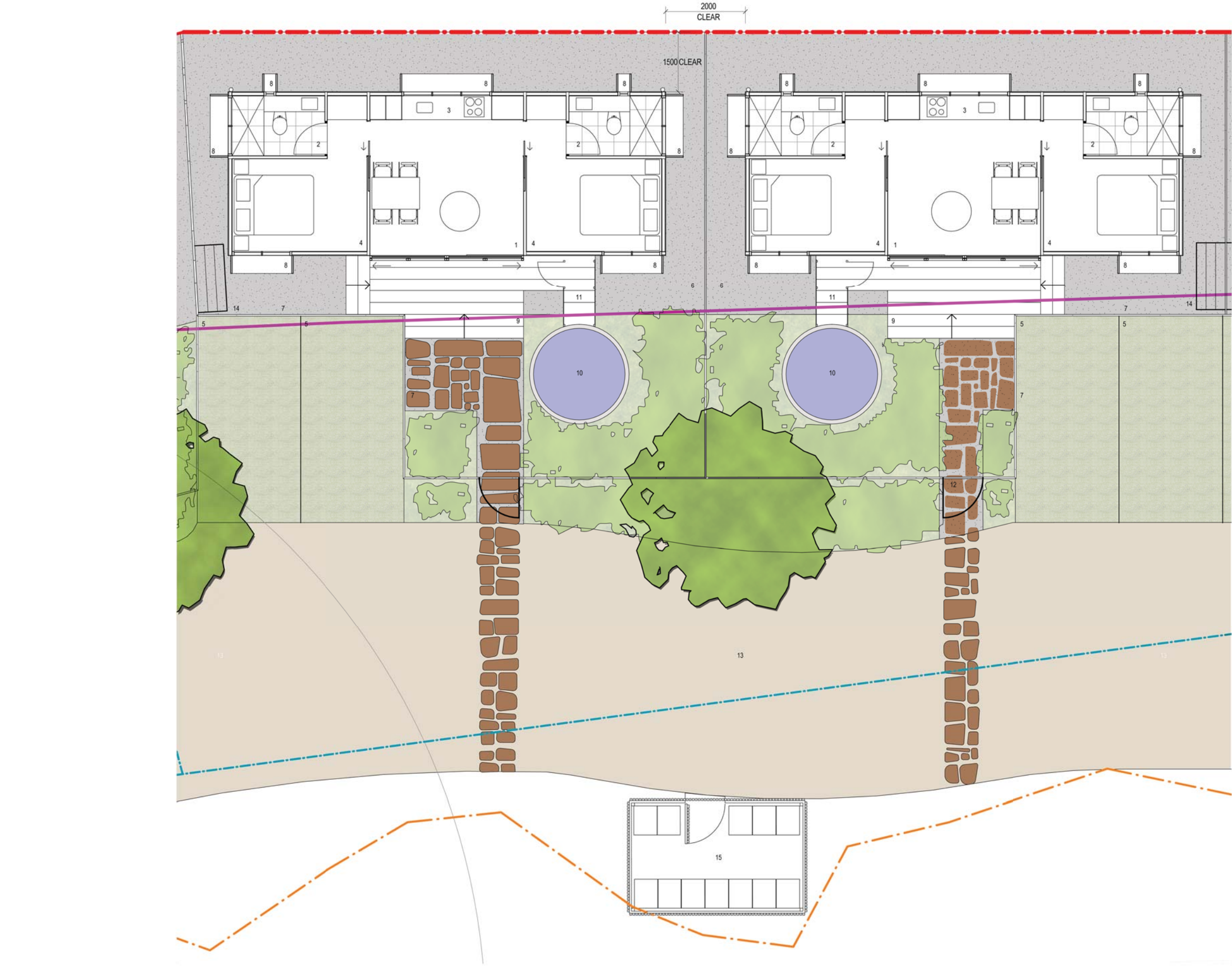
PRELIMINARY ONLY-NOT FOR CONSTRUCTION

DRAWING
SITE PLAN OF DEVELOPED
AREA

DRAWING NUMBER
1004

DATE
30/05/19

ISSUE
8



LEGEND

- 1. LIVING/DINING ROOM
 - 2. ENSUITE
 - 3. KITCHEN
 - 4. BEDROOM
 - 5. CARPARK
 - 6. CRUSHED STONE GRAVEL
 - 7. NON-COMBUSTIBLE FENCE
 - 8. NON-COMBUSTIBLE SUNHOOD
 - 9. NON-COMBUSTIBLE STAIRS
 - 10. PLUNGE POOL
 - 11. NO-COMBUSTIBLE POOL FENCE
 - 12. ENTRY PATH
 - 13. NEW ROAD
 - 14. CLOTHES LINE
 - 15. NON-COMBUSTIBLE REFUSE/BIN STORE
- NOXIOUS WEEDS TO BE REMOVED ONLY
 - LINE OF EXISTING CANOPY
 - COASTAL WETLANDS AS PER NSW PLANNING & ENVIRONMENT MAPPING - COASTAL MANAGEMENT SEPP 2018
 - SITE BOUNDARY
 - LINE OF VEGETATION BASED ON NATIVE TREE TRUNKS AS MAPPED BY ECOLOGIST ON SITE
 - ASSET PROTECTION ZONE

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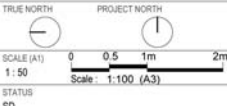
ISSUE	DATE	FOR
3	28/05/18	FOR INFORMATION
4	12/10/18	FOR INFORMATION
5	30/11/18	FOR INFORMATION
6	18/04/19	FOR INFORMATION
7	23/05/19	FOR INFORMATION
8	30/05/19	DA ISSUE

CLIENT
SAM KANJO

CLIENT PROJECT NUMBER

PROJECT
BANGALOW ROAD HOUSING

ST PROJECT NUMBER



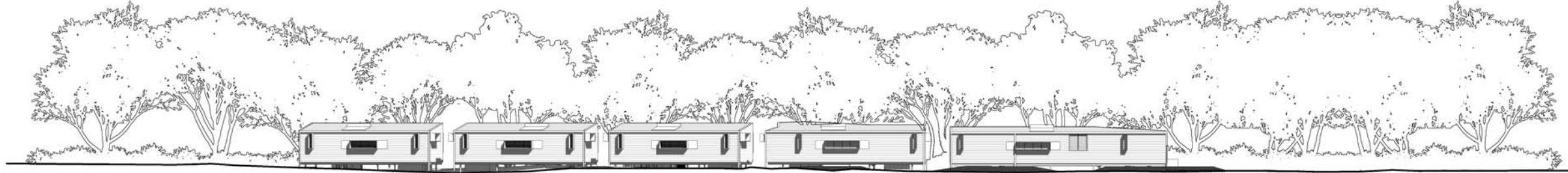
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DRAWING
TYPICAL FLOOR PLAN

DRAWING NUMBER
1005

DATE
2019.05.30

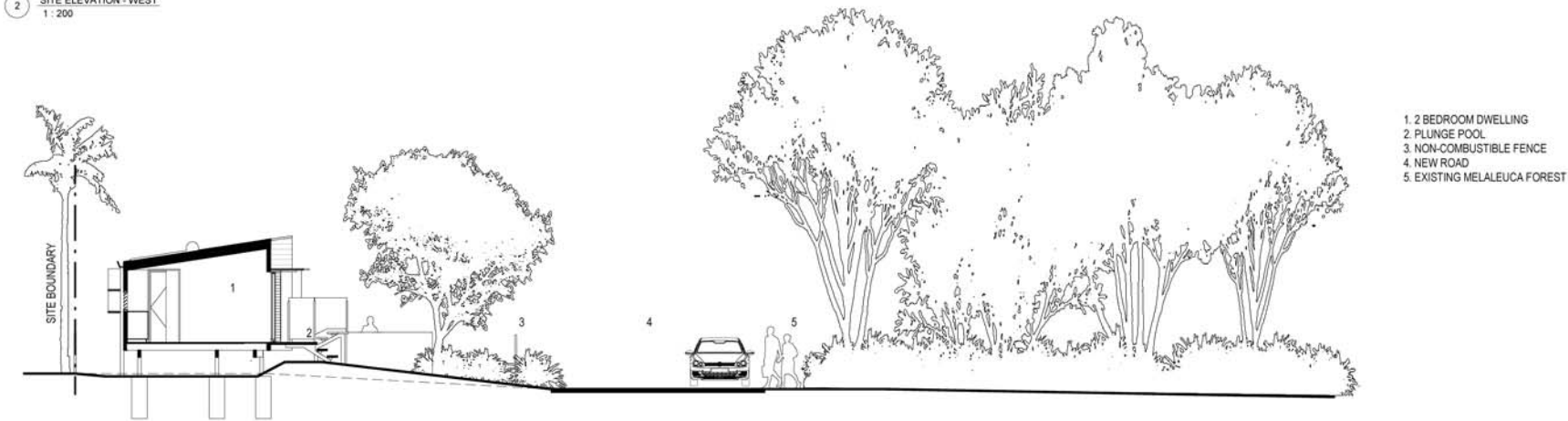
ISSUE
8



1 SITE ELEVATION - EAST
1 : 200



2 SITE ELEVATION - WEST
1 : 200



3 SITE SECTION
1 : 100

ISSUE	DATE	FOR
1	08/10/18	FOR INFORMATION
2	12/10/18	FOR INFORMATION
3	15/10/18	FOR INFORMATION
4	20/11/18	FOR INFORMATION
5	30/04/19	FOR INFORMATION
6	30/05/19	DA ISSUE

CLIENT
SAM KANJO

CLIENT PROJECT NUMBER

PROJECT
BANGALOW ROAD HOUSING

ST PROJECT NUMBER

TRUE NORTH PROJECT NORTH

SCALE (A1)
As indicated
STATUS
on

PRELIMINARY ONLY NOT FOR CONSTRUCTION

DRAWING
SITE SECTION &
ELEVATIONS

DRAWING NUMBER	1006
ISSUE	9
DATE	30/05/19

ISSUE	DATE	FOR
1	26/04/18	FOR INFORMATION
2	25/06/18	FOR INFORMATION
3	28/07/18	FOR INFORMATION
4	02/10/18	FOR INFORMATION
5	12/10/18	FOR INFORMATION
6	30/05/19	FOR ISSUE

CLIENT
SAM KANJO

CLIENT PROJECT NUMBER

PROJECT
BANGALOW ROAD HOUSING

ST PROJECT NUMBER
171002

TRUE NORTH PROJECT NORTH

SCALE (A1)
1 : 50

Scale: 1:100 (A3)

STATUS
SD

PRELIMINARY ONLY-NOT FOR CONSTRUCTION

DRAWING
TYPICAL FLOOR & ROOF

PLAN

DRAWING NUMBER
1007

DATE
30/05/19

ISSUE
6

LEGEND

- LIVING/DINING ROOM
- ENSUITE
- KITCHEN
- BEDROOM
- WARDROBE
- NON-COMBUSTIBLE LANDING
- NON-COMBUSTIBLE STAIRS
- NON-COMBUSTIBLE POOL FENCE

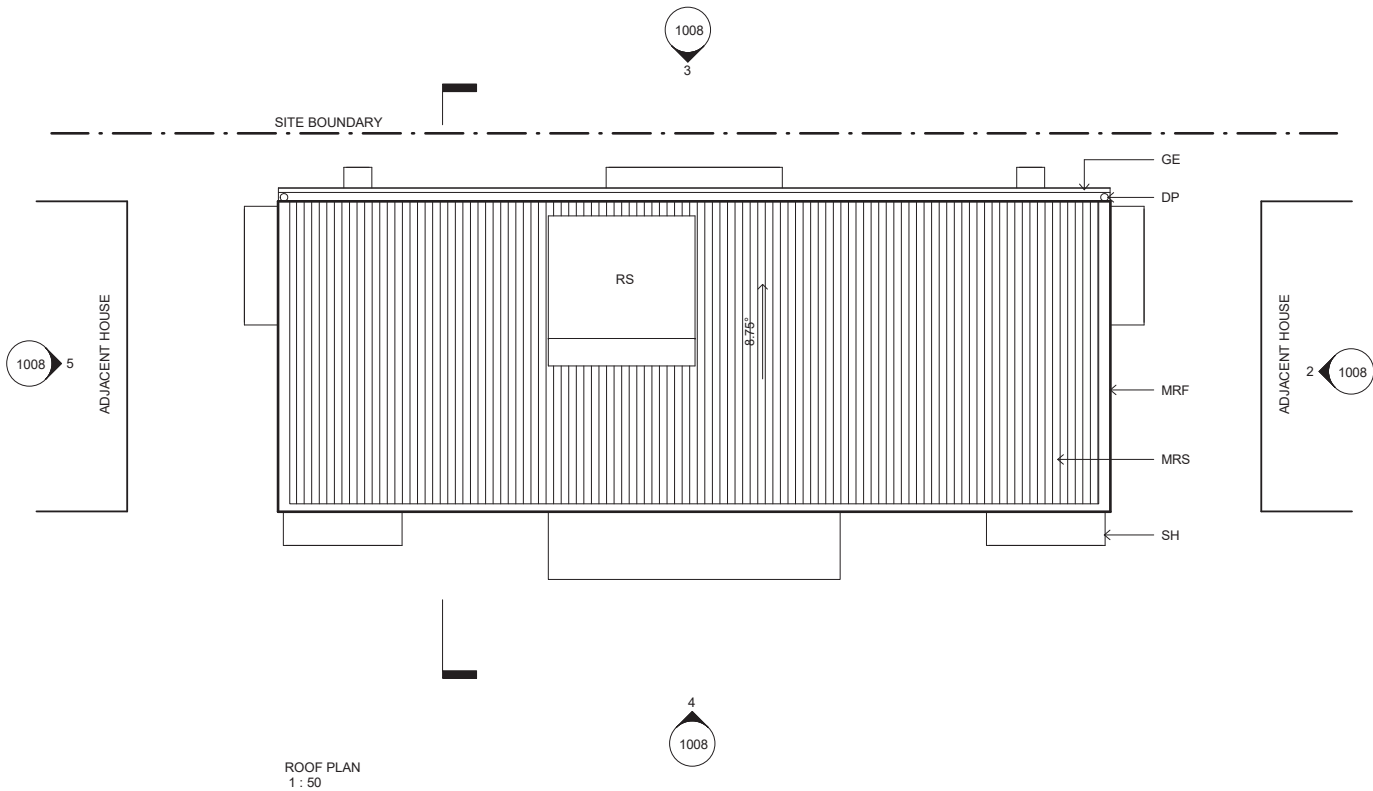
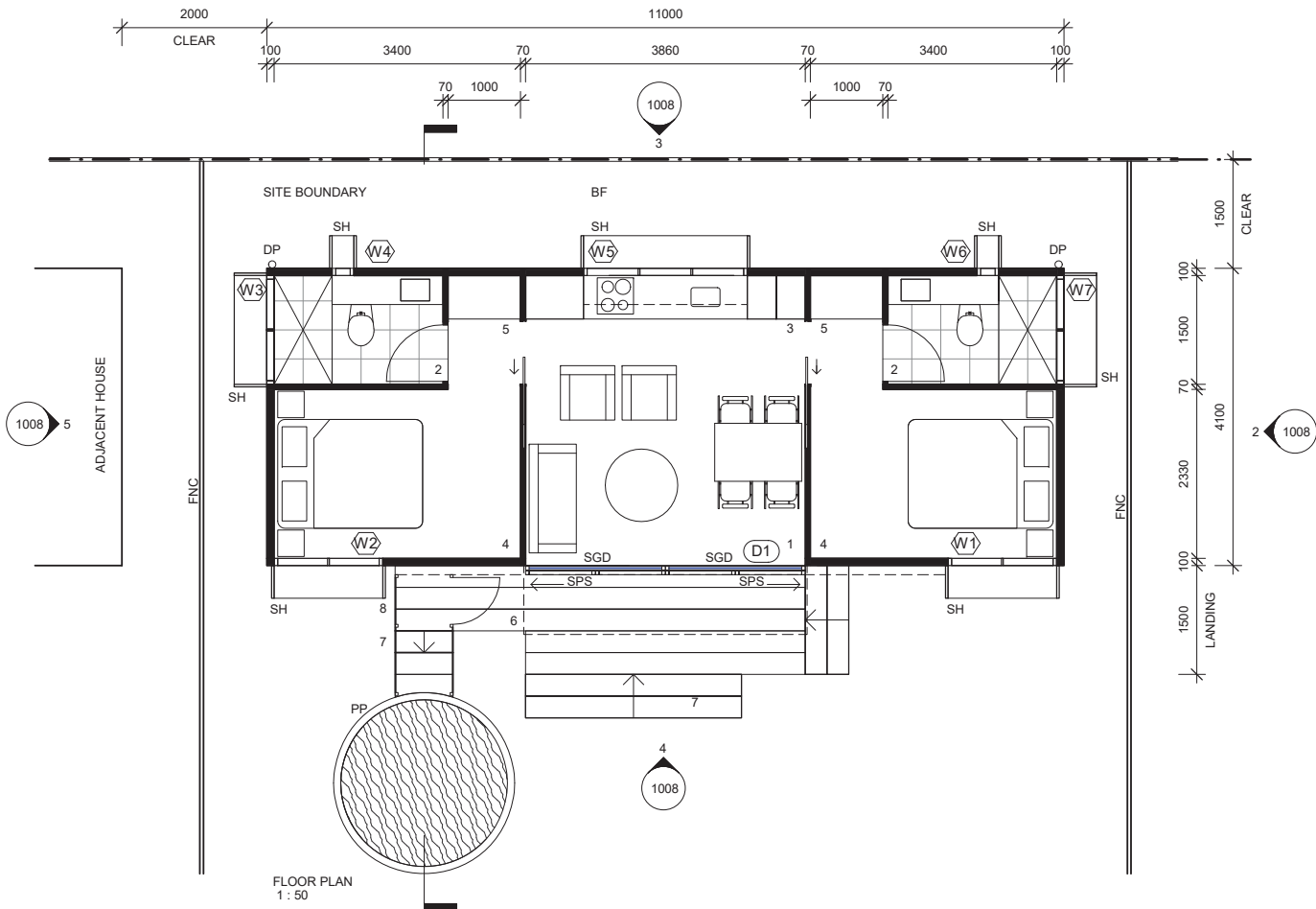
- BF BOUNDARY FENCE
DP DOWNPIPE
FNC NON-COMBUSTIBLE FENCE
GE GUTTER - EAVES
MRF METAL ROOF FLASHING
MRS METAL ROOF SHEETING
PP PLUNGE POOL
RS ROOFTOP SOLAR HOT WATER SYSTEM
SH NON-COMBUSTIBLE SUNHOOD
SGD SLIDING GLASS DOOR
SPS SLIDING PLANTATION LOUVRE SHUTTER

COMPLIANCE WITH AS 3959-2009 CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS

BUILDINGS CONSTRUCTED TO BAL 40
EASTERN ELEVATION OF BUILDINGS
CONSTRUCTED TO BAL 29
REFER TO BUSH FIRE DESIGN BRIEF FOR FURTHER INFORMATION

WINDOW SCHEDULE			
MARK	WIDTH	HEIGHT	GLAZED AREA
W1	1500	1500	2.016m ² (1.42 x 1.42)
W2	1500	1500	2.016m ² (1.42 x 1.42)
W3	1500	600	0.738m ² (1.42 x 0.52)
W4	300	1200	0.246m ² (0.22 x 1.12)
W5	2260	600	1.133m ² (2.18 x 0.52)
W6	300	1200	0.246m ² (0.22 x 1.12)
W7	1500	600	0.738m ² (1.42 x 0.52)

EXTERNAL DOOR SCHEDULE			
MARK	WIDTH	HEIGHT	GLAZED AREA
D1	3860	2050	7.446m ² (3.78 x 1.97)



ISSUE	DATE	FOR
1	26/04/18	FOR INFORMATION
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3	28/07/18	FOR INFORMATION
4	02/10/18	FOR INFORMATION
5	12/10/18	FOR INFORMATION
6	30/05/19	FOR ISSUE

CLIENT
SAM KANJO

CLIENT PROJECT NUMBER

PROJECT
BANGALOW ROAD HOUSING

ST PROJECT NUMBER
171002

TRUE NORTH PROJECT NORTH

SCALE (A1)
1 : 50

Scale: 1:100 (A3)

STATUS
SD

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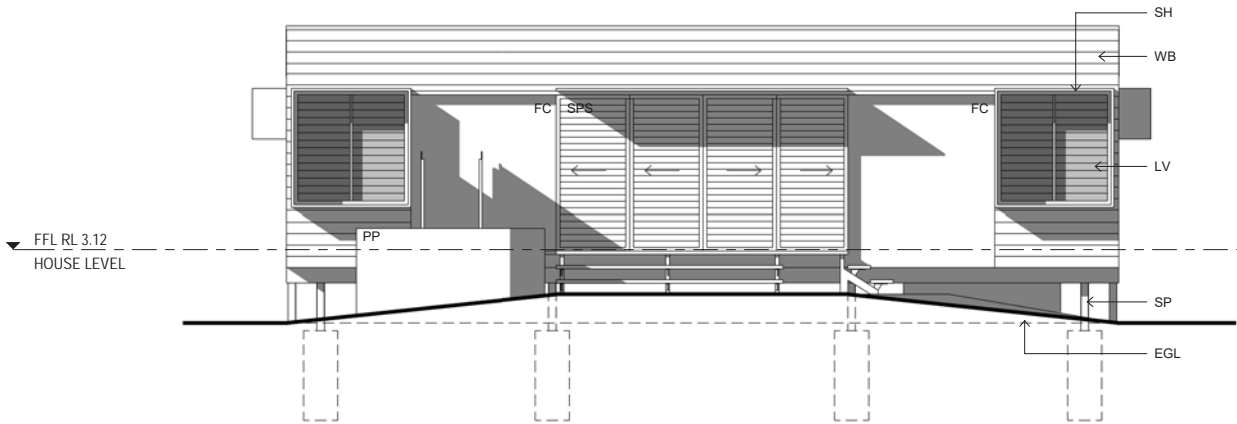
DRAWING
TYPICAL FLOOR & ROOF

PLAN

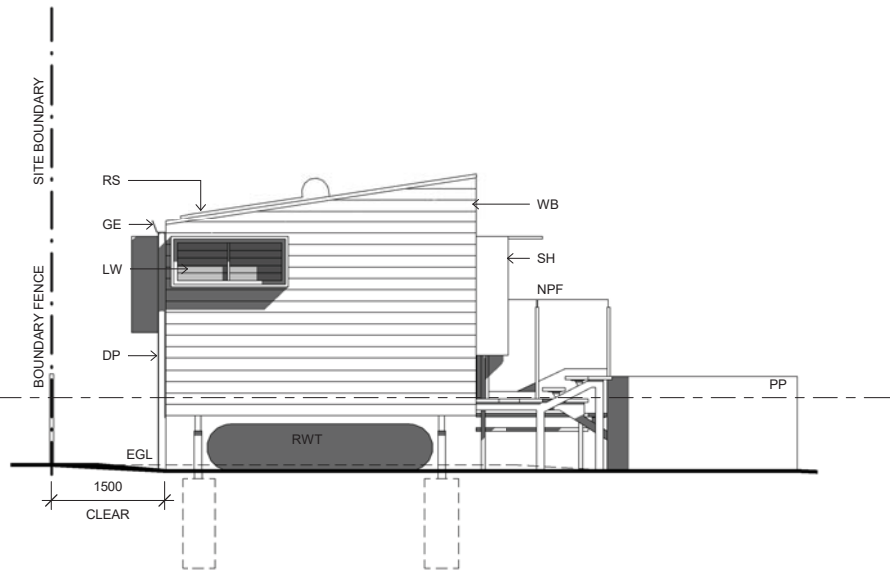
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1007

DATE
30/05/19

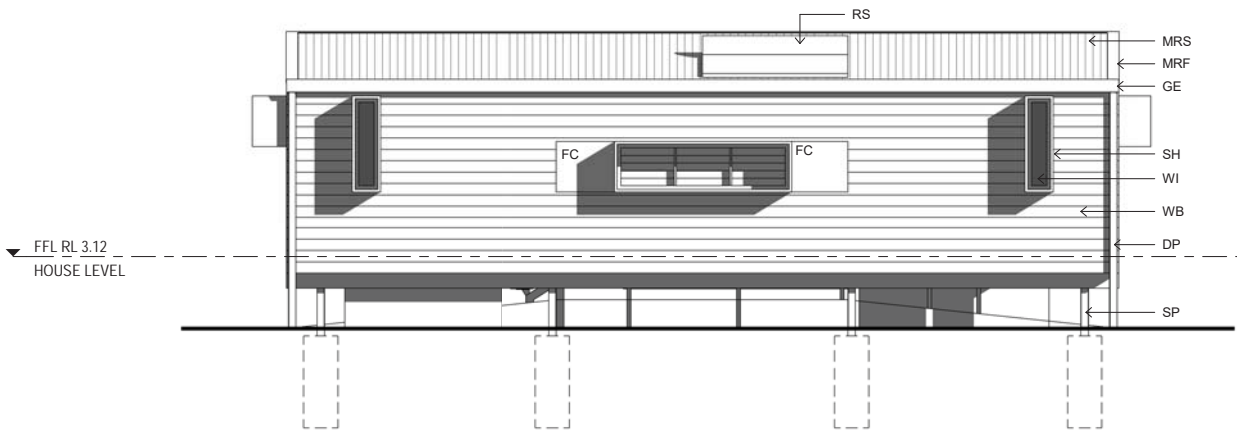
ISSUE
6



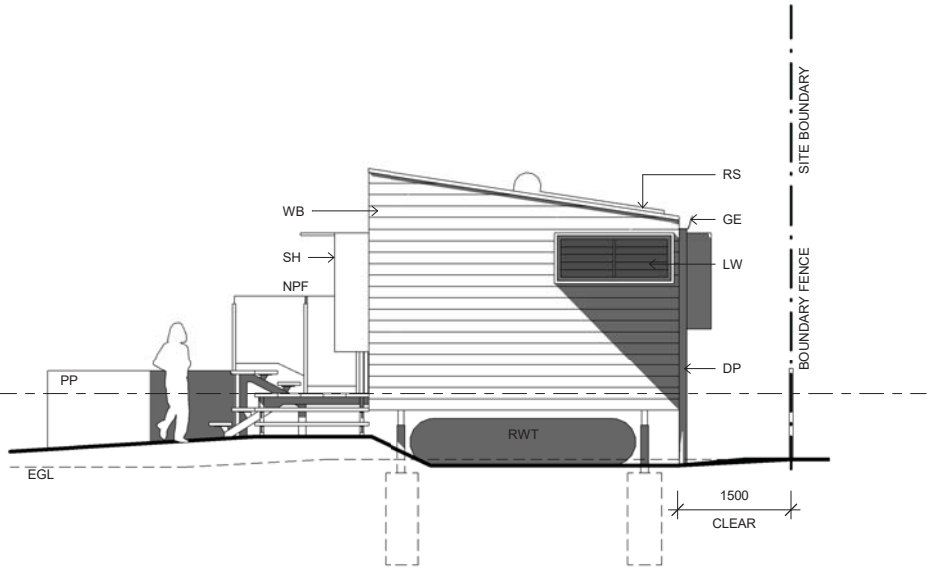
SOUTH ELEVATION
1 : 50



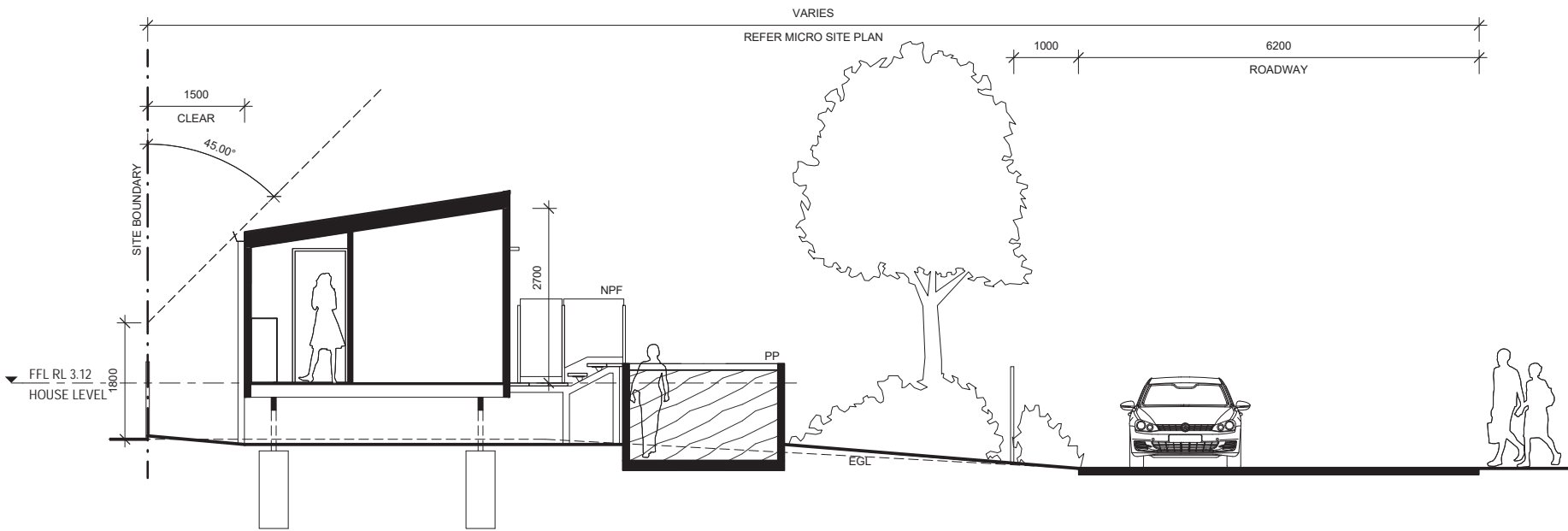
WEST ELEVATION
1 : 50



NORTH ELEVATION
1 : 50



EAST ELEVATION
1 : 50



SHORT SECTION
1 : 50

- LEGEND:
- DP DOWNPIPE
 - EGL EXISTING GROUND LEVEL
 - FC FLAT FIBRE CEMENT CLADDING
 - GE GUTTER - EAVES
 - LV LOUVRE WINDOW
 - WB FIBRE CEMENT WEATHERBOARD CLADDING
 - MRS METAL ROOF FLASHING
 - MRF METAL ROOF SHEETING
 - NPF NON-COMBUSTIBLE POOL FENCE
 - PP PLUNGE POOL
 - RS ROOFTOP SOLAR HOT WATER SYSTEM
 - RWT RAIN WATER TANK
 - SH NON-COMBUSTIBLE SUNHOOD
 - SPS SLIDING PLANTATION LOUVRE SHUTTER
 - SP STEEL POST
 - WI WINDOW

ISSUE	DATE	FOR
3	28/09/18	FOR INFORMATION
4	08/10/18	FOR INFORMATION
5	12/10/18	FOR INFORMATION
6	30/11/18	FOR INFORMATION
7	15/04/19	FOR INFORMATION
8	30/05/19	FOR INFORMATION

CLIENT
SAM KANJO

CLIENT PROJECT NUMBER

PROJECT
BANGALOW ROAD HOUSING

ST PROJECT NUMBER
171002

TRUE NORTH PROJECT NORTH

SCALE (A1)
1 : 50
Scale : 1:100 (A3)

STATUS
SD

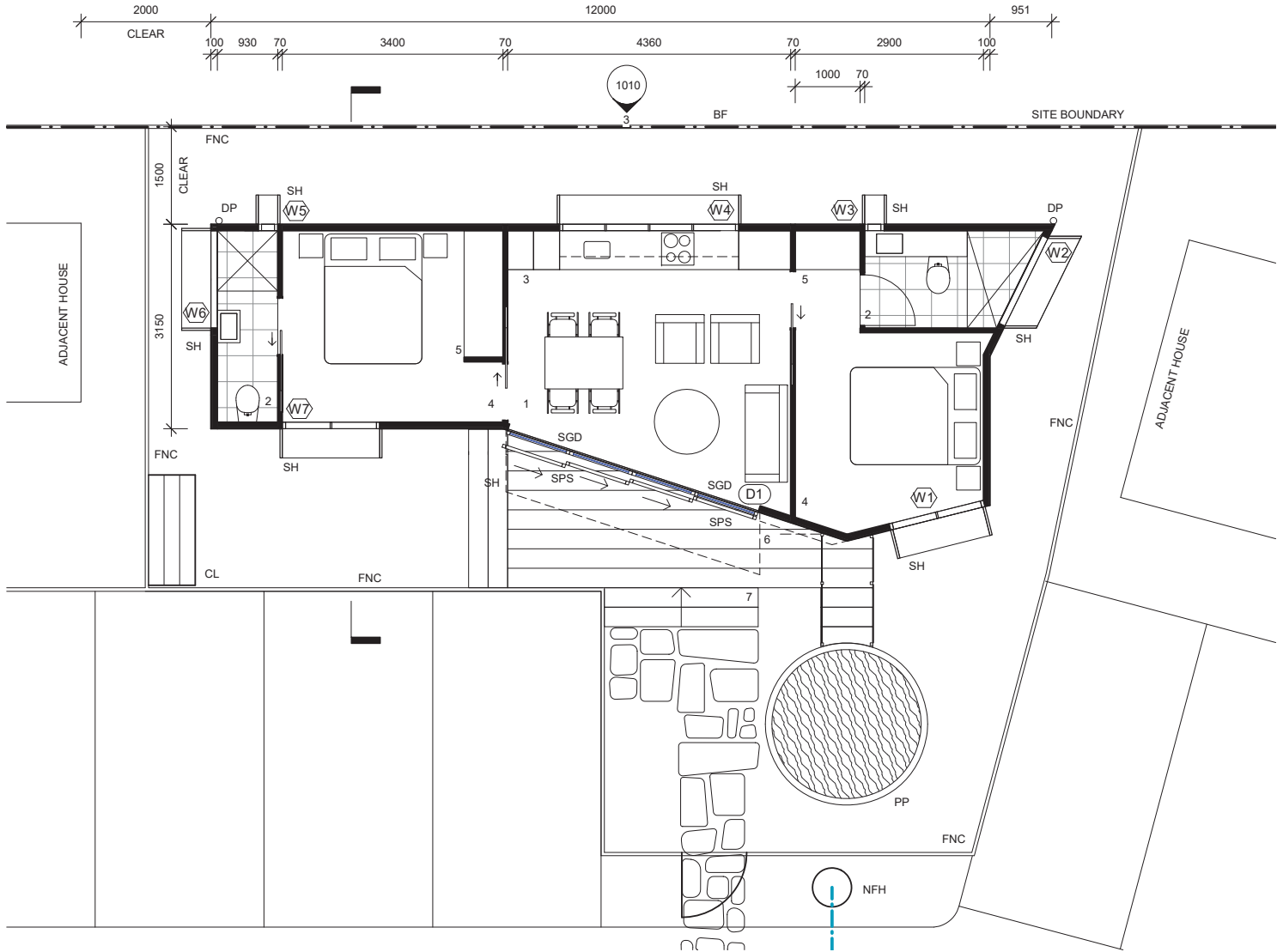
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DRAWING
TYPICAL ELEVATIONS &
SECTION

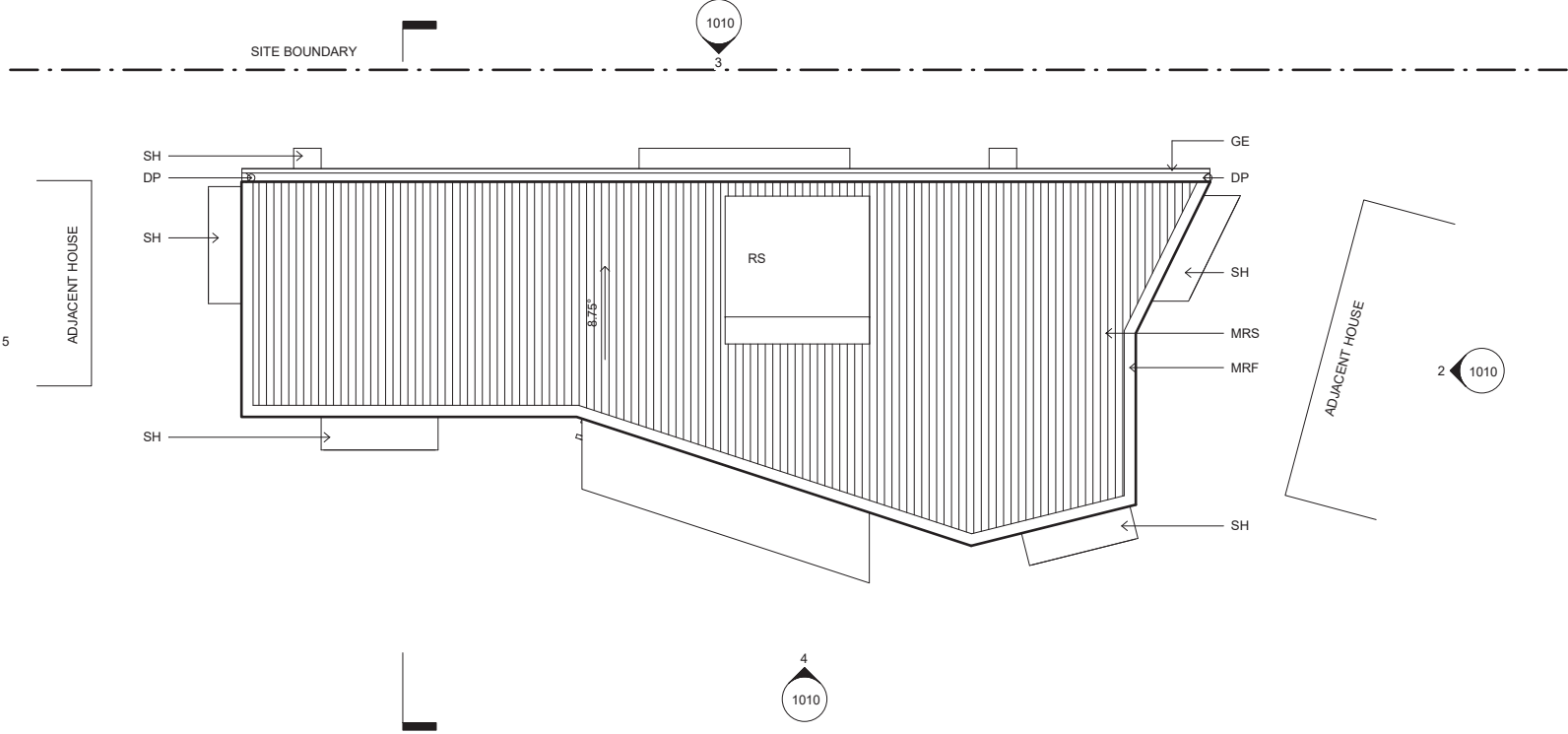
DRAWING NUMBER
1008

DATE
30/05/19

ISSUE
8



FLOOR PLAN - CONTEXT OF RESIDENCE 4 SHOWN
1 : 50



ROOF PLAN
1 : 50

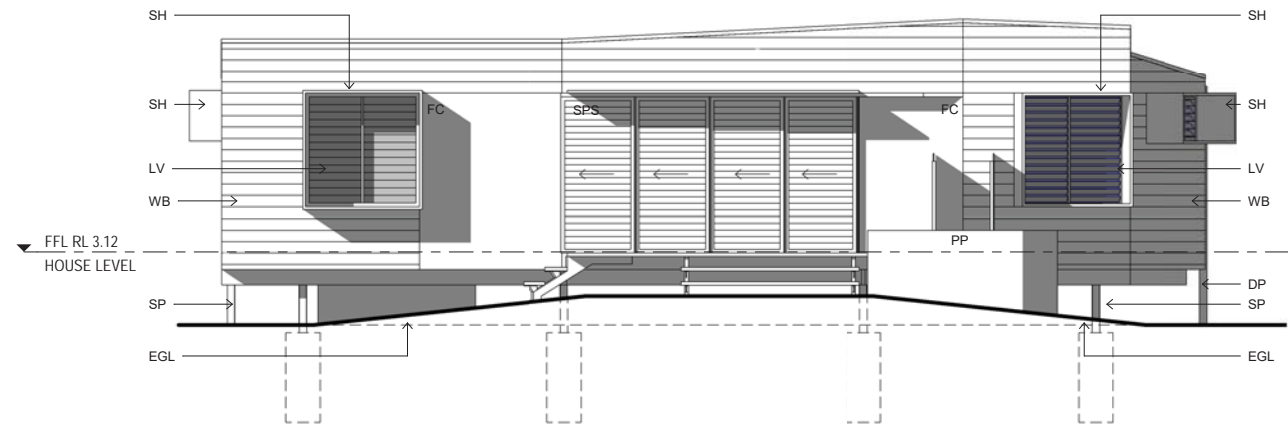
- LEGEND
- LIVING/DINING ROOM
 - ENSUITE
 - KITCHEN
 - BEDROOM
 - WARDROBE
 - NON COMBUSTIBLE LANDING
 - NON-COMBUSTIBLE STAIRS
 - NON-COMBUSTIBLE POOL FENCE
- BF BOUNDARY FENCE
CL CLOTHES LINE
DP DOWPIPE
ESM EXISTING SEWER MANHOLE
FNC NON-COMBUSTIBLE FENCE
GE GUTTER - EAVES
MRF METAL ROOF FLASHING
MRS METAL ROOF SHEETING
NFH NEW FIRE HYDRANT (REFER ENGINEER'S DRAWINGS)
PP PLUNGE POOL
RS ROOFTOP SOLAR HOT WATER SYSTEM
SH NON-COMBUSTIBLE SUNHOOD
SGD SLIDING GLASS DOOR
SPS SLIDING PLANTATION LOUVRE SHUTTER

COMPLIANCE WITH WITH DEEMED TO SATISFY
PROVISIONS OF AS 3959-2009 CONSTRUCTION OF
BUILDINGS IN BUSHPRONE AREAS

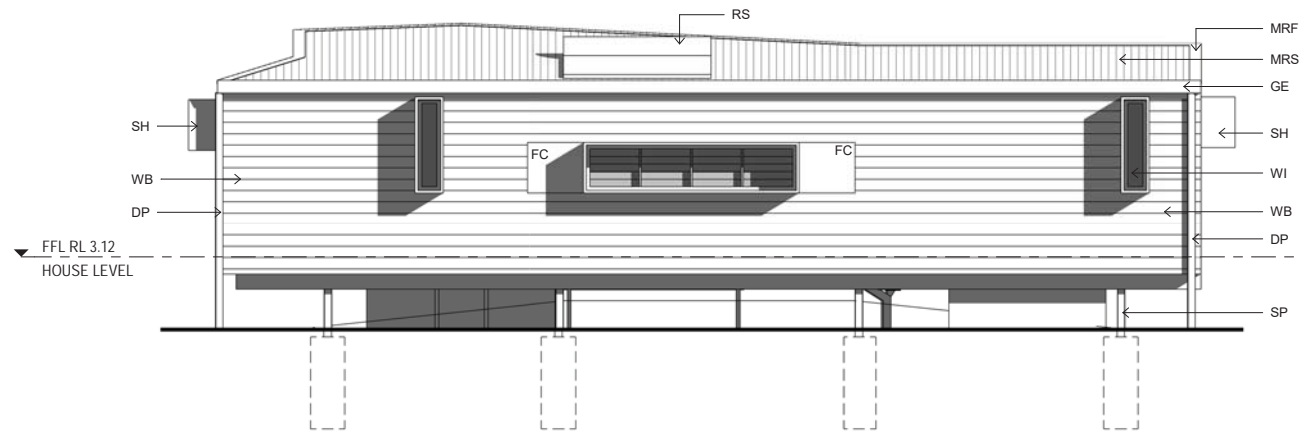
BUILDINGS CONSTRUCTED TO BAL 40
EAST ELEVATION CONSTRUCTED TO BAL 29
REFER TO BUSH FIRE DESIGN BRIEF FOR FUTHER
DETAILS

WINDOW SCHEDULE			
MARK	WIDTH	HEIGHT	GLAZED AREA
W1	1500	1500	2.016m ² (1.42 x 1.42)
W2	1500	600	0.738m ² (1.42 x 0.52)
W3	300	1200	0.246m ² (0.22 x 1.12)
W4	2760	600	1.393m ² (2.68 x 0.52)
W5	300	1200	0.246m ² (0.22 x 1.12)
W6	1500	600	0.738m ² (1.42 x 0.52)
W7	1500	1500	2.016m ² (1.42 x 1.42)

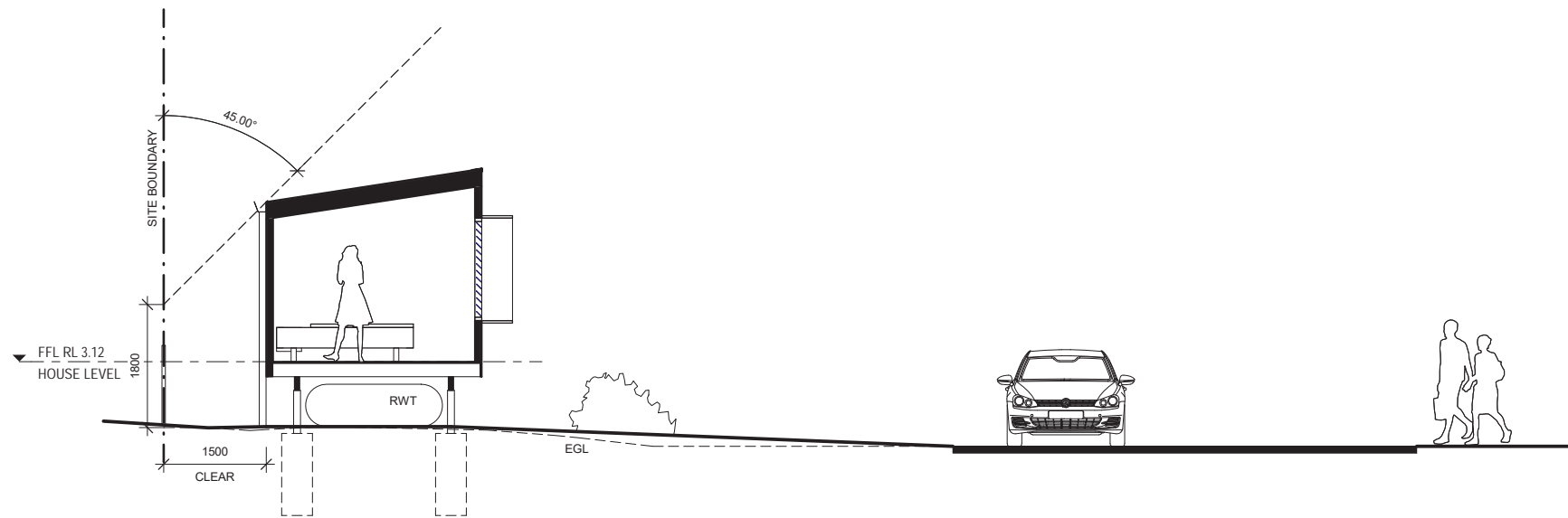
EXTERNAL DOOR SCHEDULE			
MARK	WIDTH	HEIGHT	GLAZED AREA
D1	4060	2050	7.840m ² (3.98 x 1.97)



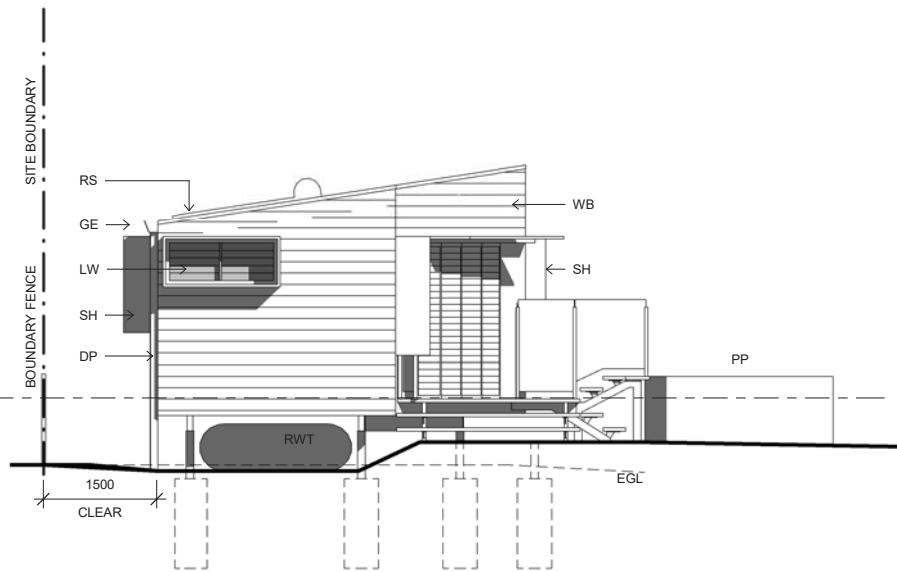
SOUTH ELEVATION
1 : 50



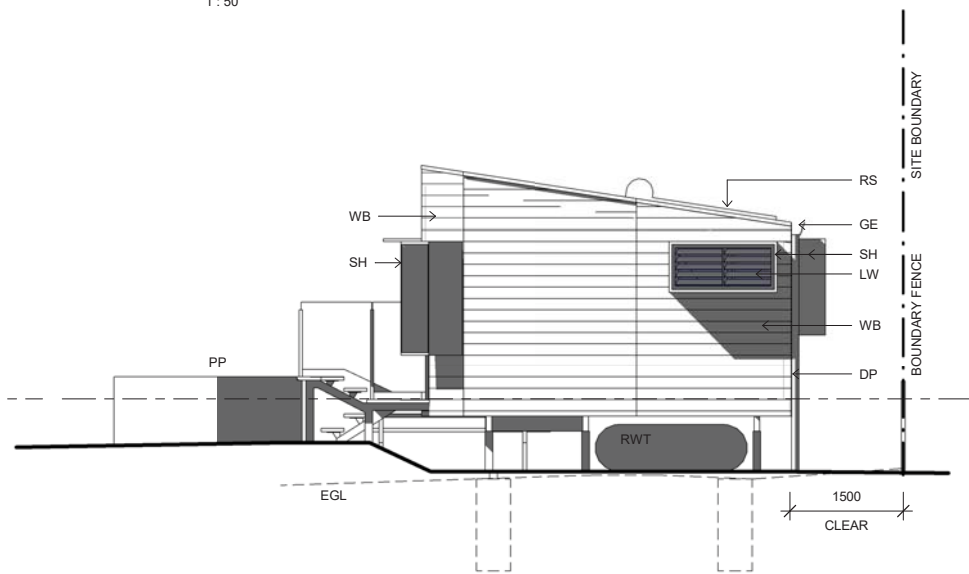
NORTH ELEVATION
1 : 50



SHORT SECTION
1 : 50

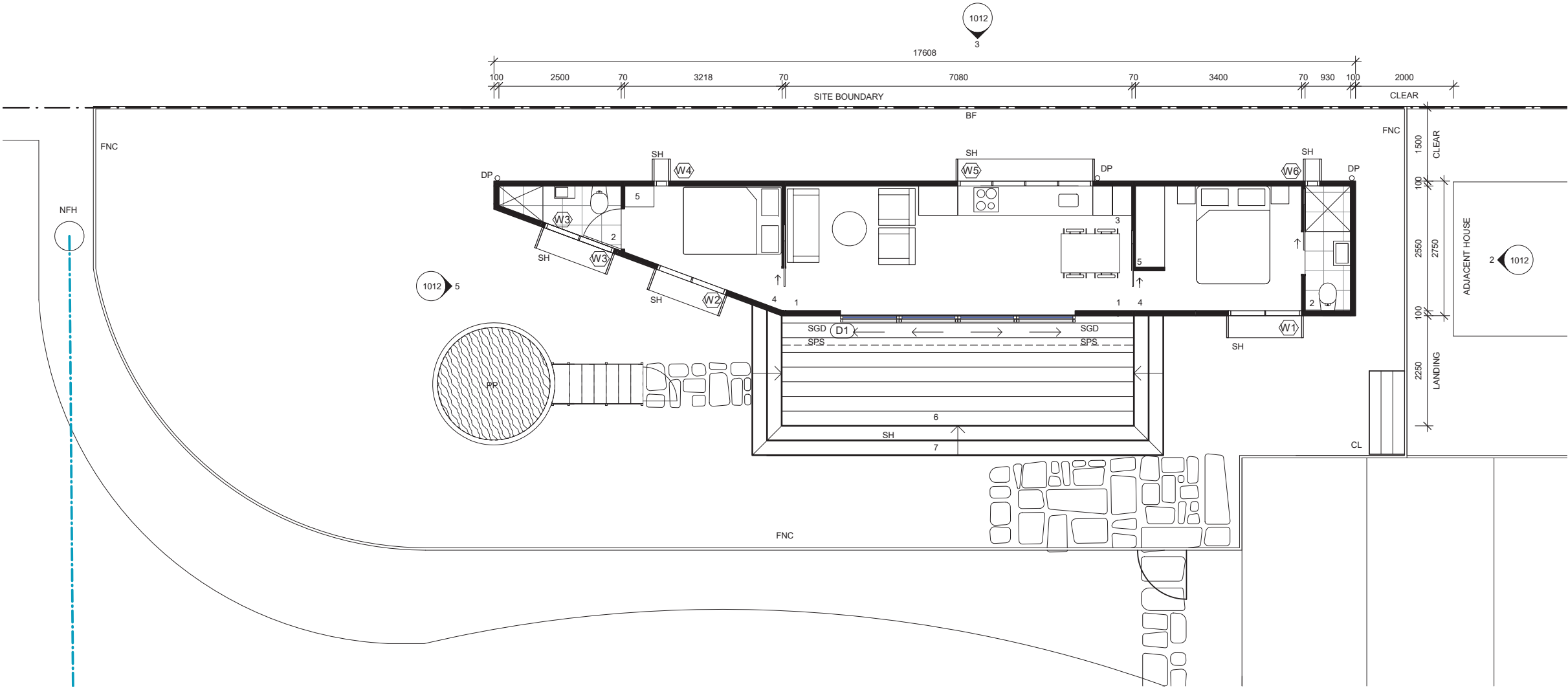


WEST ELEVATION
1 : 50

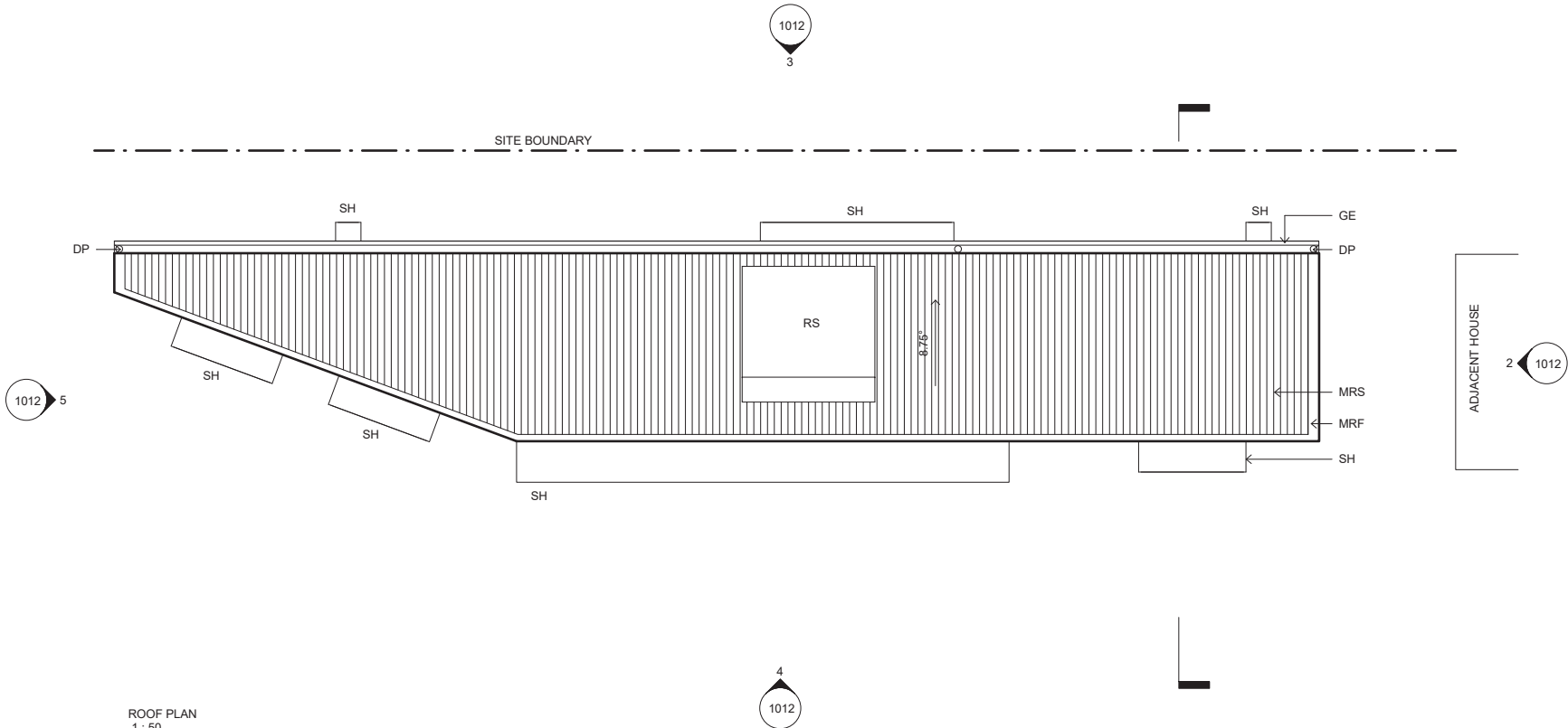


EAST ELEVATION
1 : 50

- LEGEND:
- DP DOWNPIPE
 - EGL EXISTING GROUND LEVEL
 - FC FLAT FIBRE CEMENT CLADDING
 - GE GUTTER - EAVES
 - LV LOUVRE WINDOW
 - WB FIBRE CEMENT WEATHERBOARD CLADDING
 - MRF METAL ROOF FLASHING
 - MRS METAL ROOF SHEETING
 - PP PLUNGE POOL
 - RS ROOFTOP SOLAR HOT WATER SYSTEM
 - RWT RAIN WATER TANK
 - SH NON-COMBUSTIBLE SUNHOOD
 - SPS SLIDING PLANTATION LOUVRE SHUTTER
 - SP STEEL POST
 - WI WINDOW



FLOOR PLAN - CONTEXT OF RESIDENCE 7 SHOWN
1 : 50



ROOF PLAN
1 : 50

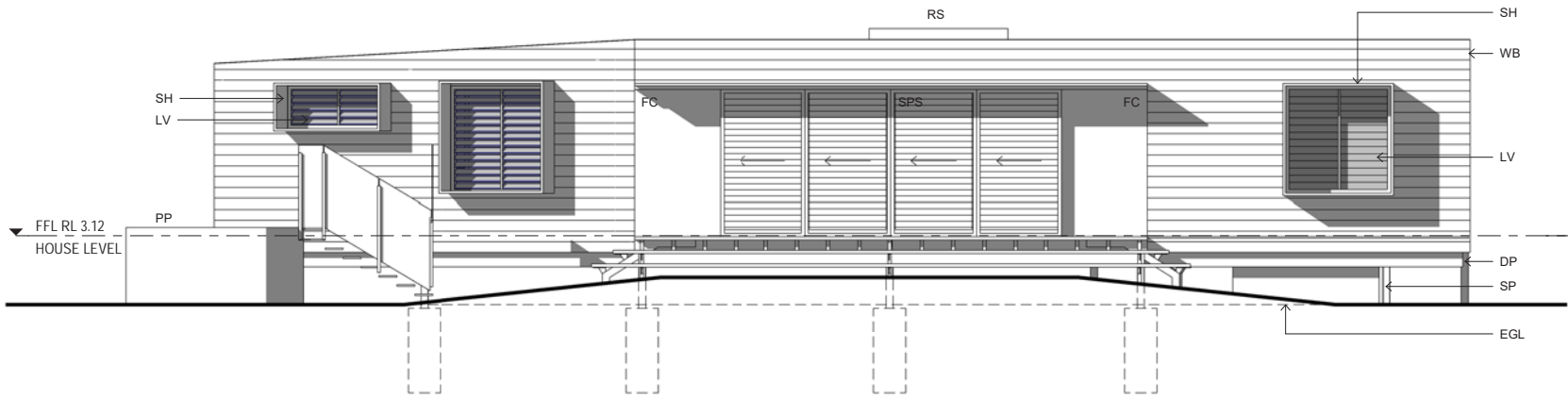
- LEGEND
1. LIVING/DINING ROOM
 2. ENSUITE
 3. KITCHEN
 4. BEDROOM
 5. WARDROBE
 6. NON COMBUSTIBLE LANDING
 7. NON-COMBUSTIBLE STAIRS
 8. NON-COMBUSTIBLE POOL FENCE
- BF BOUNDARY FENCE
CL CLOTHES LINE
DP DOWPIPE
ESM EXISTING SEWER MANHOLE
FNC NON-COMBUSTIBLE FENCE
GE GUTTER - EAVES
MRF METAL ROOF FLASHING
MRS METAL ROOF SHEETING
NFH NEW FIRE HYDRANT (REFER ENGINEER'S DRAWINGS)
PP PLUNGE POOL
RS ROOFTOP SOLAR HOT WATER SYSTEM
SH NON-COMBUSTIBLE SUNHOOD
SGD SLIDING GLASS DOOR
SMA NEW SEWER MAIN (REFER ENGINEER'S DRAWINGS)
SPS SLIDING PLANTATION LOUVRE SHUTTER

COMPLIANCE WITH WITH DEEMED TO SATISFY
PROVISIONS OF AS 3959-2009 CONSTRUCTION OF
BUILDINGS IN BUSHPRONE AREAS

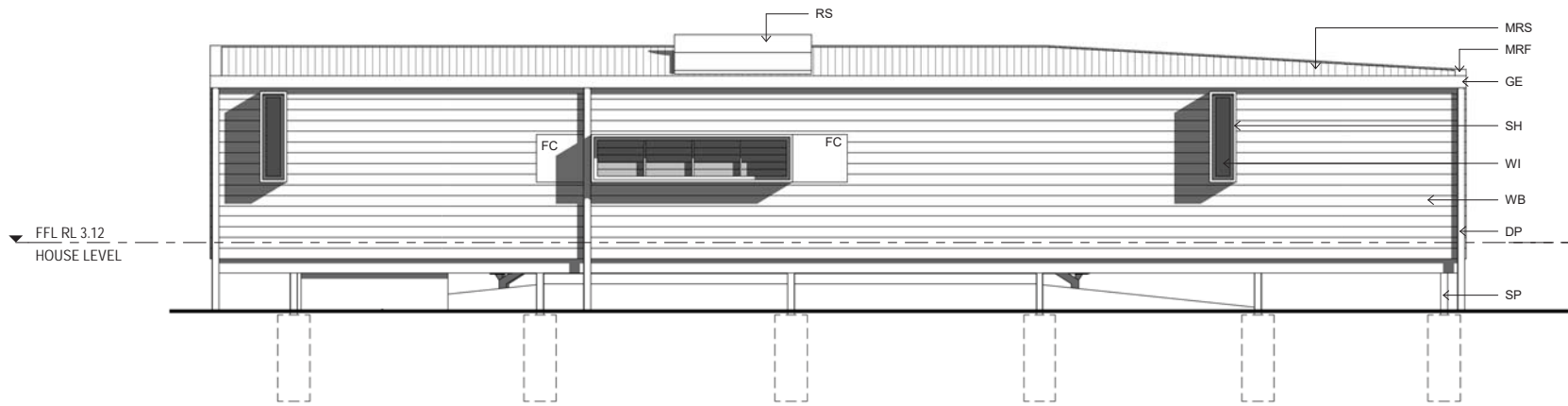
BUILDINGS CONSTRUCTED TO BAL 40
EAST ELEVATION CONSTRUCTED TO BAL 29
REFER TO BUSH FIRE DESIGN BRIEF FOR FUTHER
DETAILS

WINDOW SCHEDULE			
MARK	WIDTH	HEIGHT	GLAZED AREA
W1	1500	1500	2.016m ² (1.42 x 1.42)
W2	1500	1500	2.016m ² (1.42 x 1.42)
W3	1500	600	0.738m ² (1.42 x 0.52)
W4	300	1200	0.246m ² (0.22 x 1.12)
W5	2760	600	1.393m ² (2.68 x 0.52)
W6	300	1200	0.246m ² (0.22 x 1.12)

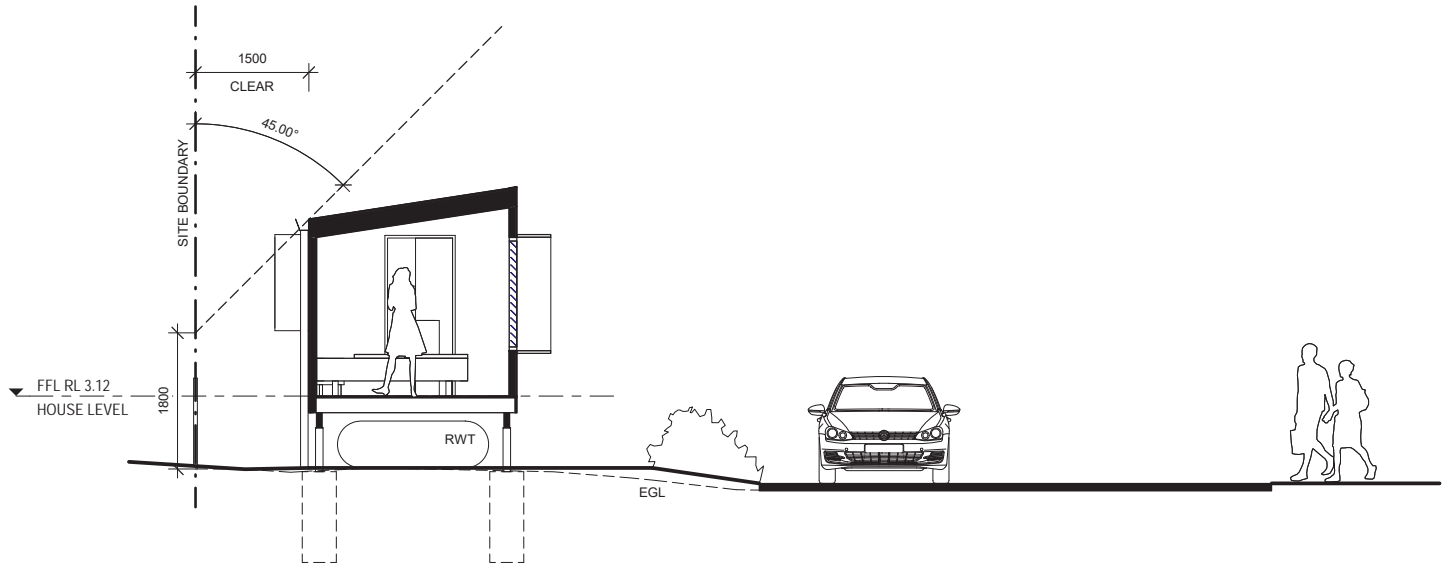
EXTERNAL DOOR SCHEDULE			
MARK	WIDTH	HEIGHT	GLAZED AREA
D1	4800	2050	7.840m ² (3.98 x 1.97)



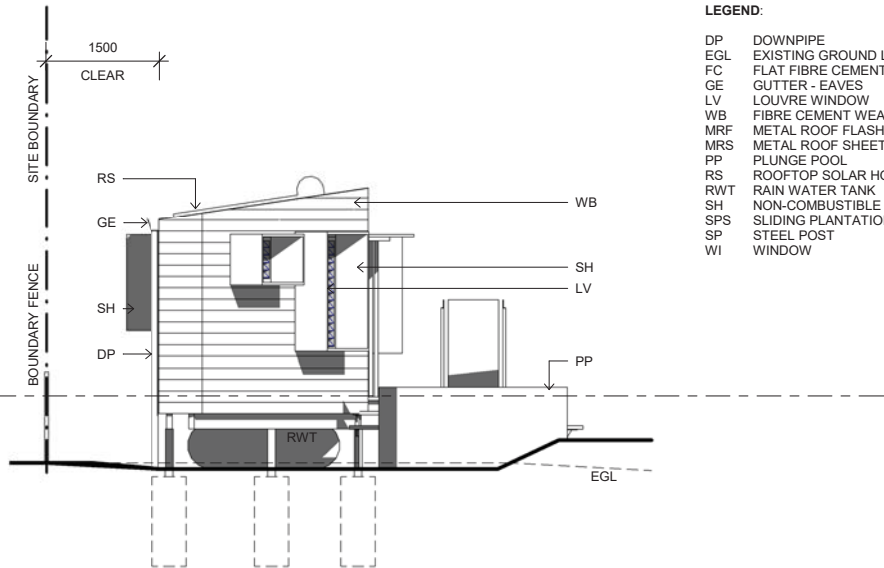
SOUTH ELEVATION
1:50



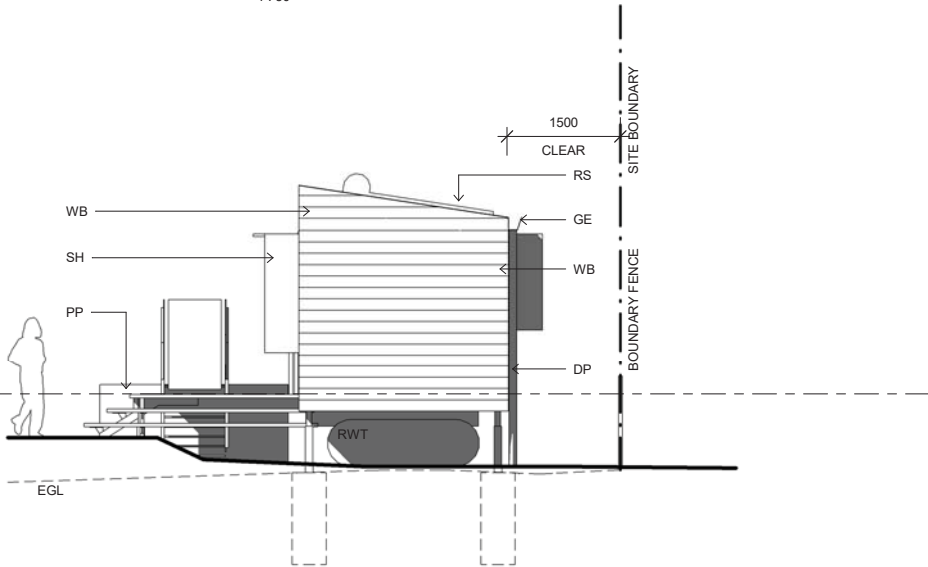
NORTH ELEVATION
1:50



SHORT SECTION
1:50

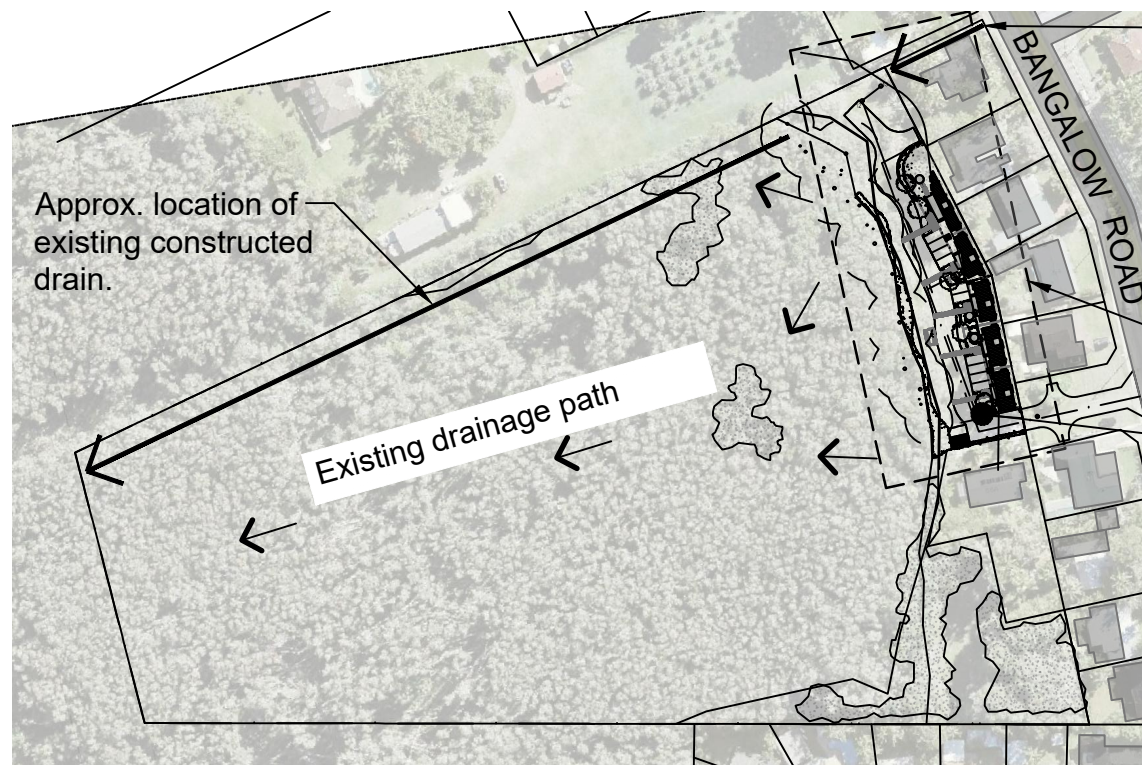


WEST ELEVATION
1:50



EAST ELEVATION
1:50

- LEGEND:
- DP DOWNPIPE
 - EGL EXISTING GROUND LEVEL
 - FC FLAT FIBRE CEMENT CLADDING
 - GE GUTTER - EAVES
 - LV LOUVRE WINDOW
 - WB FIBRE CEMENT WEATHERBOARD CLADDING
 - MRF METAL ROOF FLASHING
 - MRS METAL ROOF SHEETING
 - PP PLUNGE POOL
 - RS ROOFTOP SOLAR HOT WATER SYSTEM
 - RWT RAIN WATER TANK
 - SH NON-COMBUSTIBLE SUNHOOD
 - SPS SLIDING PLANTATION LOUVRE SHUTTER
 - SP STEEL POST
 - WI WINDOW



Approx. location of existing Mott St drainage line

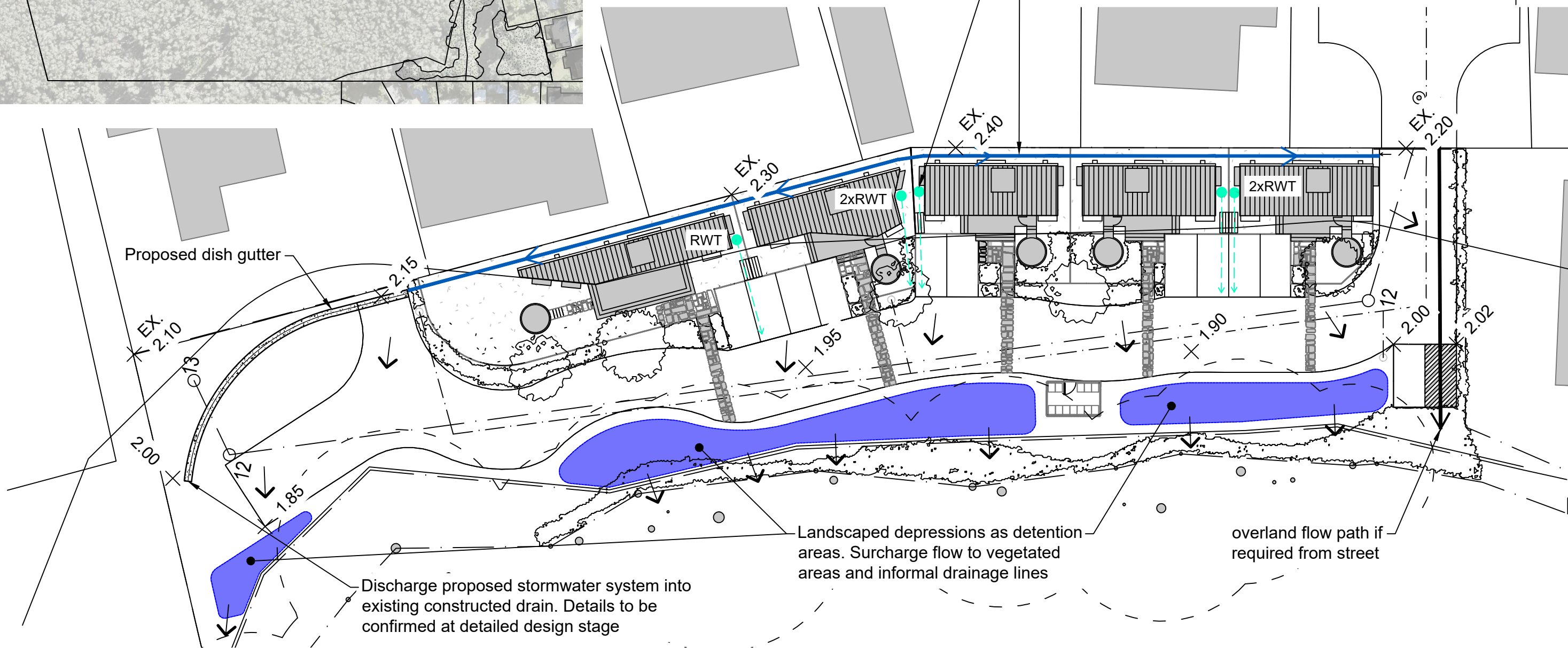
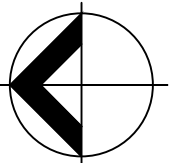
Note: levels are based on LIDAR survey data and are for conceptual purposes only.

Refer to detailed layout below

Site to be re-graded to generally fall to the north or north-west as into landscaped depressions and existing constructed drain

BASIX tanks to surcharge to depression by overland flow.

Proposed swale to convey overland flow from neighboring sites to the east. Direction of swale fall as per arrows.



Project: Lot 14 DP 792128
Bangalow Road, Byron Bay

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Client: Kanjogroup

Title: STORMWATER MANAGEMENT LAYOUT PLAN

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& P a r t n e r s
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Designed	BP	Scale Not to scale		
Drawn	TB			
Checked	APP	File Name 8463 SMP.dwg		
Approved	APP	Date 18/04/2019	Datum AHD	
Job No.	8463	Dwg No.	SMP1	Issue 04