



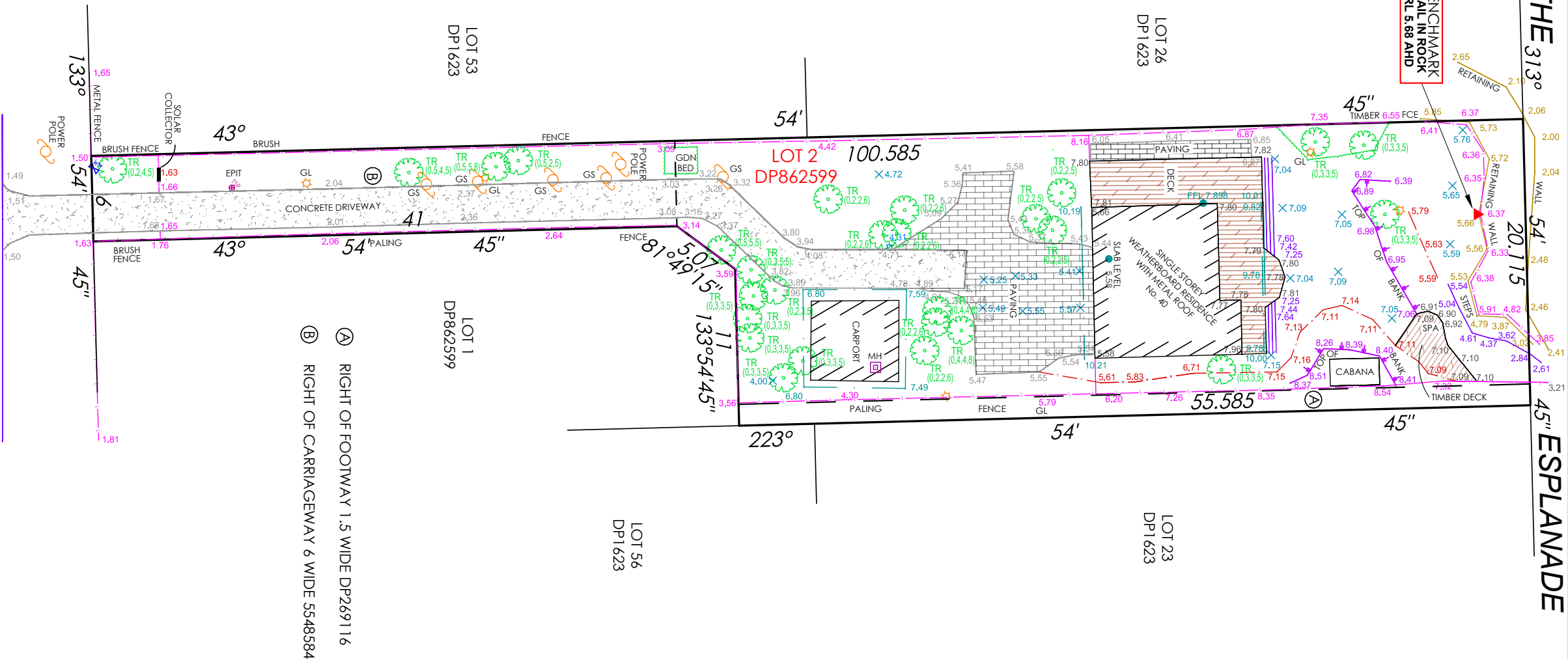


NOTES:

1. NO BOUNDARY SURVEY HAS BEEN MADE. THIS DETAIL SURVEY IS NOT A BOUNDARY SURVEY AS PER THE SURVEYING & SPATIAL INFORMATION ACT, 2002. BOUNDARY DIMENSIONS & AREAS SHOWN ARE TAKEN FROM THE TITLE DP & MAY NOT REFLECT ACTUAL AMOUNTS AVAILABLE WERE A FULL BOUNDARY SURVEY UNDERTAKEN, EASEMENTS & RESTRICTIONS NOTED ON TITLE WERE NOT INVESTIGATED AS PART OF THIS SURVEY.
2. CRITICAL FEATURES ON PLAN MUST BE VERIFIED BY USER AS TO ACCURACY REQUIRED FOR THE INTENDED PURPOSE.
3. DATUM OF LEVELS IS AHD. ORIGIN OF LEVELS IS PM30309. RL 1.266 AHD (SCMS 28/08/2017)
4. ONLY VISIBLE SERVICES HAVE BEEN LOCATED. UNDERGROUND SERVICES HAVE NOT BEEN INVESTIGATED. A 'DIAL BEFORE YOU DIG' SERVICES LOCATION SEARCH SHOULD BE CONDUCTED PRIOR TO ANY EXCAVATION WORKS.
5. SPOT LEVELS & CONTOURS INDICATE GENERAL TOPOGRAPHY. DO NOT SCALE OR INFER ACCURATE LEVELS.
6. LINENWORK IS APPROXIMATE / DIAGRAMMATIC. POINTS SHOWN WITH A CROSS & CODE / HEIGHT ARE SURVEYED.
7. LEGEND
 - SUBJECT PROPERTY BOUNDARY
 - APPROXIMATE ADJOINING PROPERTY BOUNDARY
 - BUILDING / WALL
 - EAVE & GUTTER
 - FENCE
 - EDGE OF VEGETATION
 - TOP OF BANK
 - BOTTOM OF BANK
 - SPOT LEVEL ON NATURAL SURFACE
 - TIMBER DECKING BOARDS
 - CONCRETE
 - PAVERS
8. THIS PLAN HAS BEEN PREPARED FOR HARLEY GRAHAM.
9. THIS PLAN REPRESENTS A COPY OF INFORMATION SUPPLIED IN DWG/DXF FORMAT. THIS INFORMATION SHOULD BE VERIFIED AGAINST THIS PLAN. DIGITAL DATA ASSOCIATED WITH THIS PLAN IS SUBJECT TO CONDITIONS CONTAINED IN THESE NOTES.
10. THESE NOTES FORM AN INTEGRAL PART OF THIS PLAN AND AS SUCH MUST REMAIN WITH THE PLAN IN REPRODUCTION.

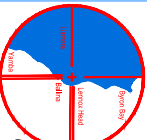


10.14.3
0.1.4.3
DENOTES A TREE.
ONLY MAJOR TREES HAVE BEEN LOCATED.
TREE SPECIES & SIZES ARE INDICATIVE ONLY.
HEIGHT
CANOPY RADIUS
DIAMETER OF TRUNK



CHILDE STREET

THE 313° 45" ESPLANADE



Prepared by:
Kennedy Surveying
Registered Project Surveyors
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Email: office@kennedysurveying.com.au
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Scaling Office:
Unit 1, 10 Pape Drive
BAHUA NSW 248
Ph: 02 4468 200
Mobile: 0414 521 809

SCALE 1:300			
0	1	2	5
10	15		
REVISIONS			
REV	DATE	DESCRIPTION	
1	11/09/2017	ORIGINAL ISSUE	

HORIZONTAL DATUM:		VERTICAL DATUM:	
ORIGIN:	DP862599	ORIGIN:	PM30309
AHD		REDUCED LEVEL:	RL 1.266 AHD
SCMS DATE:	28/08/2017		

JOB No:		FIELD BOOK:	
17069	O. CHENNAIS	DATE OF SURVEY:	31/08/2017
OM1701		DRAWN:	A. KENNEDY
		PASSED:	B. MAGEL

TITLE:		CLIENT:	
SKETCH SHOWING CONTOURS & DETAIL		HARLEY GRAHAM	DWG No: 17069A.DWG
SITE: LOT 2 in DP862599		BYRON BAY, NSW 2841	REV 1
40 CHILDE STREET			

HARLEY GRAHAM ARCHITECTS

LEVEL 1 / 144 JONSON STREET - BYRON BAY | PO BOX 1285 NSW 2481
F: 02 66809820 | T: 02 66809690 | E: office@harleygraham.com
ABN: 85158246003 NSW 7892

- All building works to be carried out in accordance with the Building Code of Australia (BCA) and to the satisfaction of the principle certifying authority.
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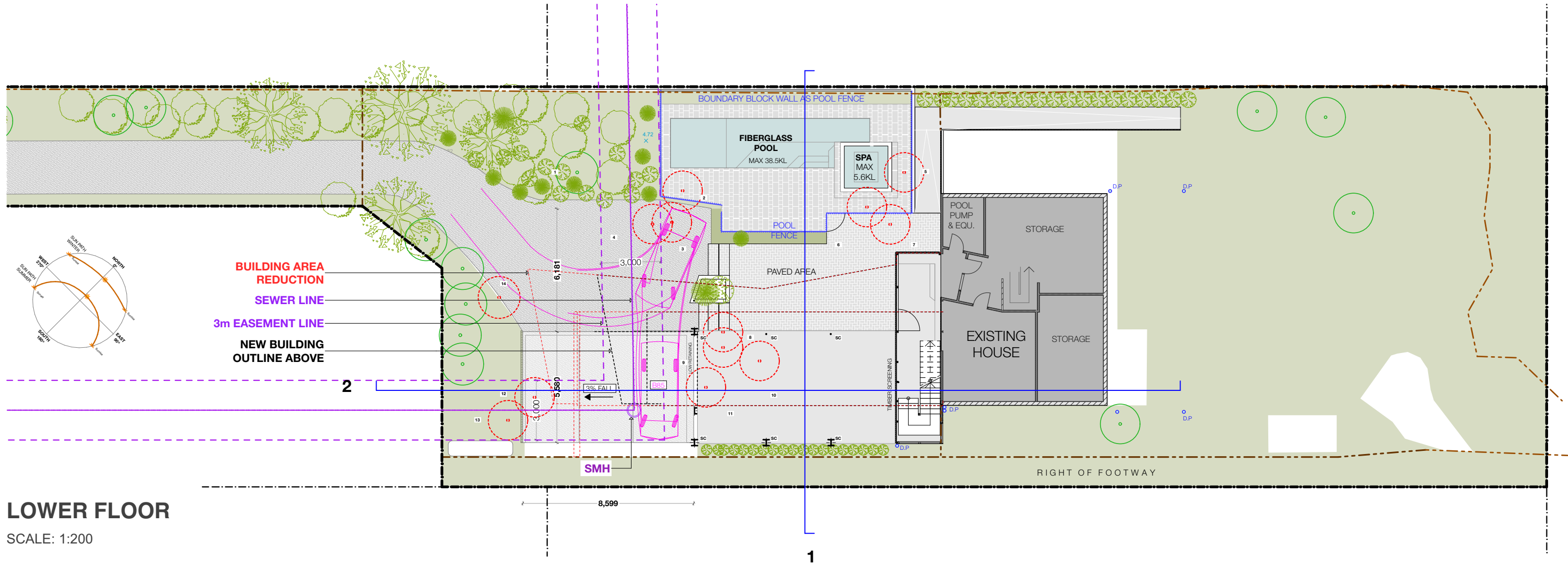
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ISSUE/REVISIONS

C	AM DA	7/6/19
B	AM DA	20/12/18
A	DA	16/08/18

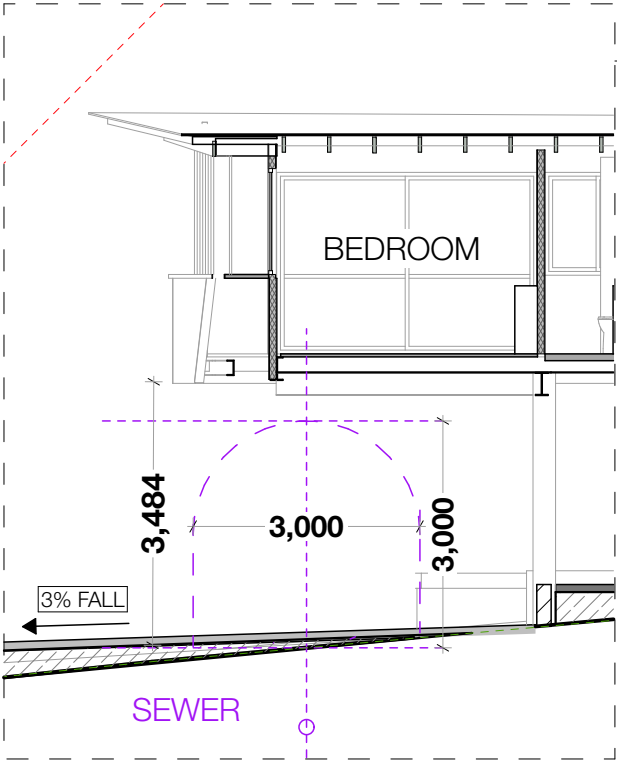
ISSUE/REVISIONS

CLIENT	David TREWERN	ADDRESS	40 CHILDE STREET, BYRON BAY, NSW 2841	SHEET N#	02
JOB NAME	HGA199 - ADDITION + POOL	LOT + DP	LOT 2 DP 862599	PAPER	A3
DRAWING	SURVEY			DRAWN: MB	DATE
				APPROVED: HG	7/6/19



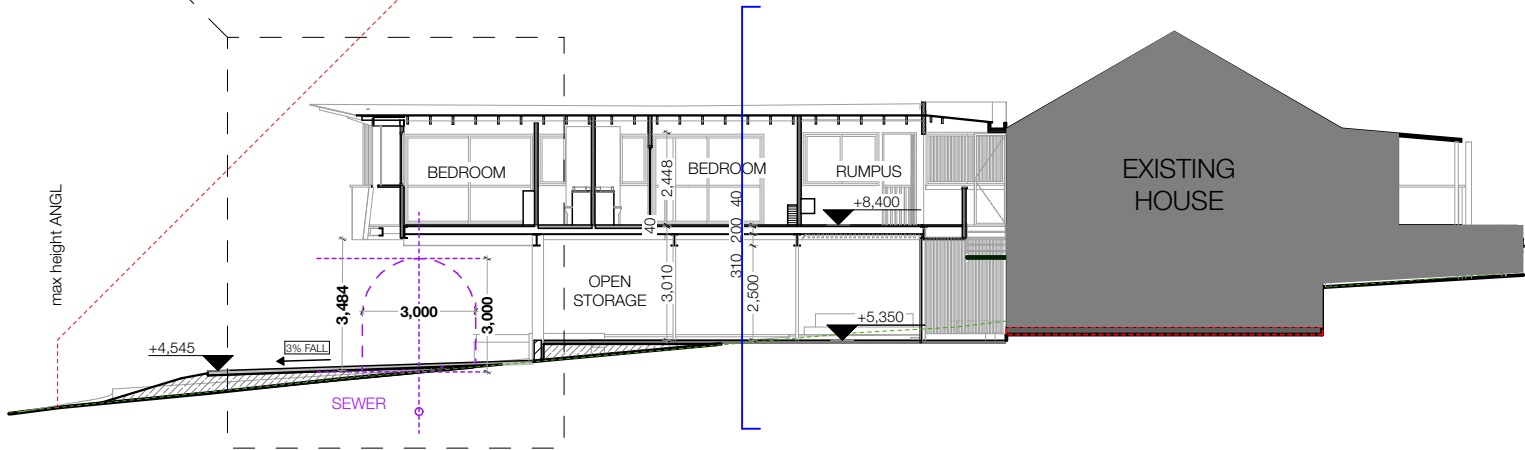
LOWER FLOOR

SCALE: 1:200



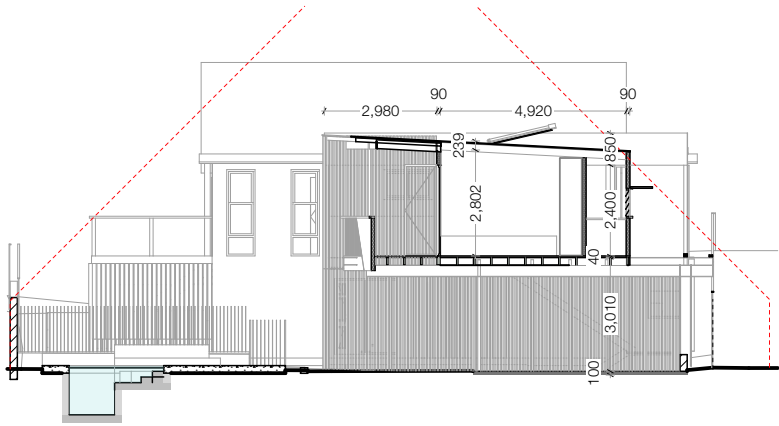
ZOOM

SCALE: 1:100



SECTION 2

SCALE: 1:200

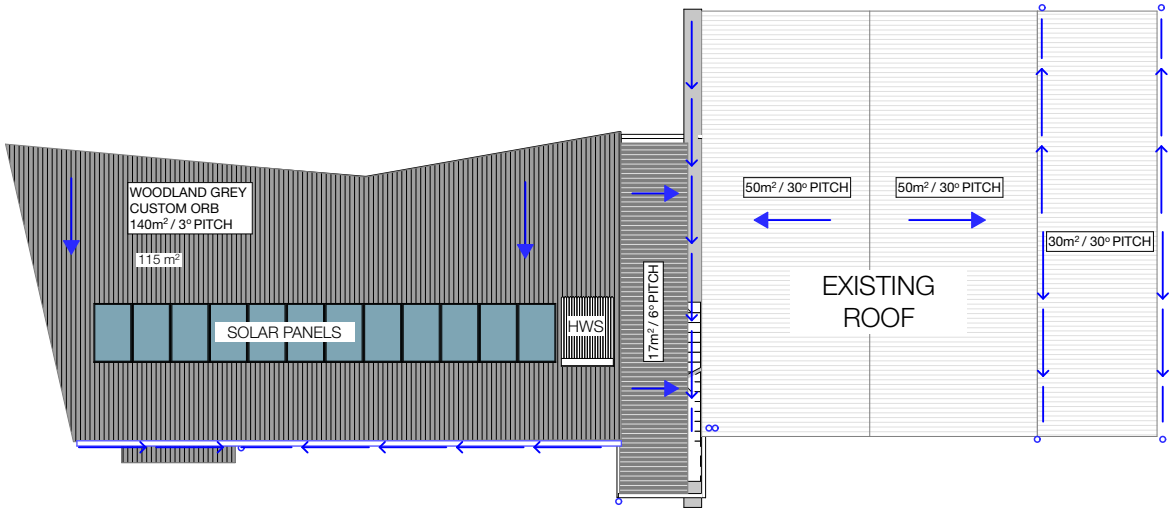


SECTION 1

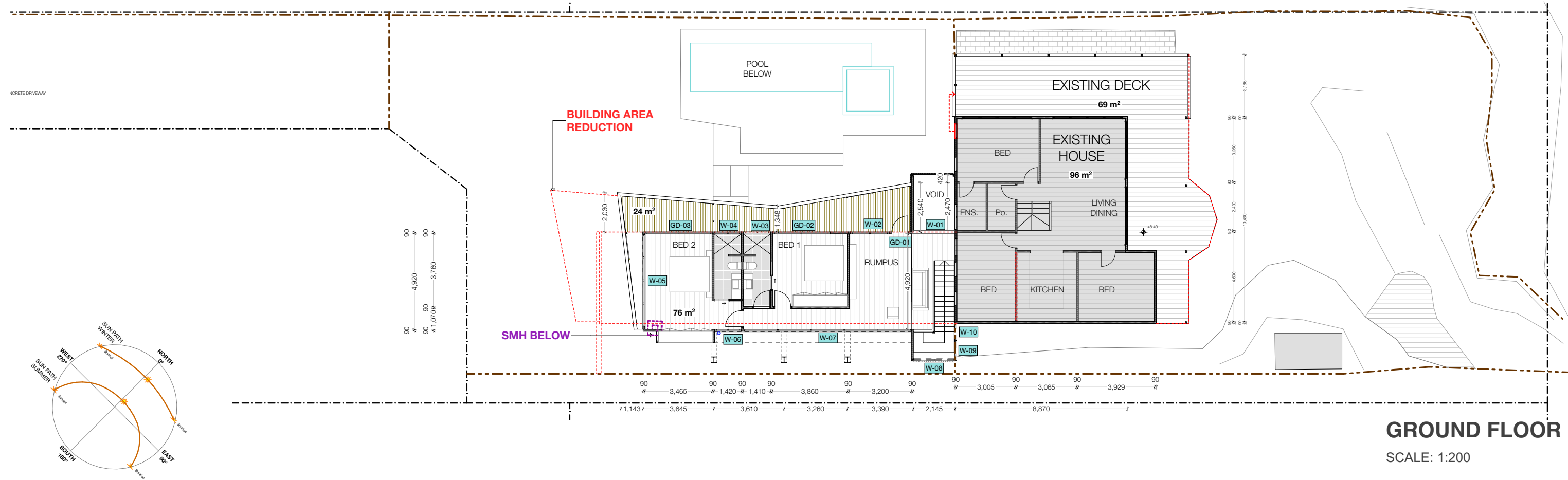
SCALE: 1:200

HARLEY GRAHAM ARCHITECTS LEVEL 1 / 144 JONSON STREET - BYRON BAY PO BOX 1285 NSW 2481 F: 02 66809820 T: 02 66809690 E: office@harleygraham.com ABN: 85158246003 NSW 7892	• All building works to be carried out in accordance with the Building Code of Australia (BCA) and to the satisfaction of the principle certifying authority. • Builders/Contractors are to verify all dimensions prior to commencement of site work or off-site fabrication. • Figured dimensions take precedence - do not scale.			ISSUE/REVISIONS			ISSUE/REVISIONS			CLIENT David TREWERN	ADDRESS 40 CHILDE STREET, BYRON BAY, NSW 2841	SHEET N# 03
	C AM DA 7/6/19			C AM DA 7/6/19			JOB NAME HGA199 - ADDITION + POOL			LOT + DP LOT 2 DP 862599	PAPER A3	REVISION C
	B AM DA 20/12/18			B AM DA 20/12/18			DRAWING PLANS / SECTIONS			DRAWN: MB		
	A DA 16/08/18			A DA 16/08/18			APPROVED: HG			DATE 7/6/19		

COMPLIANCE WITH BASIX REQUIREMENTS AS PER CERTIFICATE N#: 880795S
NATHERS N#: 70C5UQZZS2
ALL WORKS TO COMPLY WITH BASIX REQUIREMENTS AS DETAILED IN THE BASIX CERTIFICATE, INCLUDING BUT NOT LIMITED TO:
- ALL SHOWER HEADS TO HAVE A MIN. 3 STAR RATING
- ALL KITCHEN AND BATHROOM TAPS TO HAVE A MINIMUM OF A 3 STAR RATING.
- TOILETS TO HAVE A MINIMUM STAR 4 STAR RATING.
- A MINIMUM 2500L WATER TANK TO BE PROVIDED COLLECTING RUNOFF FROM AT LEAST 100 SQUARE METRES OF ROOF AREA.
- RAINWATER TANK TO CONNECT TO ALL TOILETS IN THE DEVELOPMENT, AT LEAST 1 OUTDOOR TAP IN THE DEVELOPMENT.
- THE DEVELOPMENT IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE THERMAL PERFORMANCE SPECIFICATIONS SET OUT IN THE ASSESSOR CERTIFICATE.
- THE FLOORS AND WALLS OF THE DEVELOPMENT IS TO BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS OUTLINED IN BASIX CERTIFICATION.
- AN INSTANTANEOUS GAS HOT WATER SYSTEM IS TO BE INSTALLED WITH A MINIMUM PERFORMANCE 5 STARS.
- COOLING SYSTEMS AND CEILING FANS INSTALLED AS PER CERTIFICATION RECOMMENDATIONS
- VENTILATION INSTALLED AS PER CERTIFICATION.
- ARTIFICIAL AND NATURAL LIGHTING REQUIREMENTS ARE TO COMPLY WITH THE BASIX CERTIFICATE.
- APPLIANCES INSTALLED AS PER REQUIREMENTS INDICATED IN BASIX CERTIFICATION.



ROOF PLAN
SCALE: 1:200



GROUND FLOOR
SCALE: 1:200

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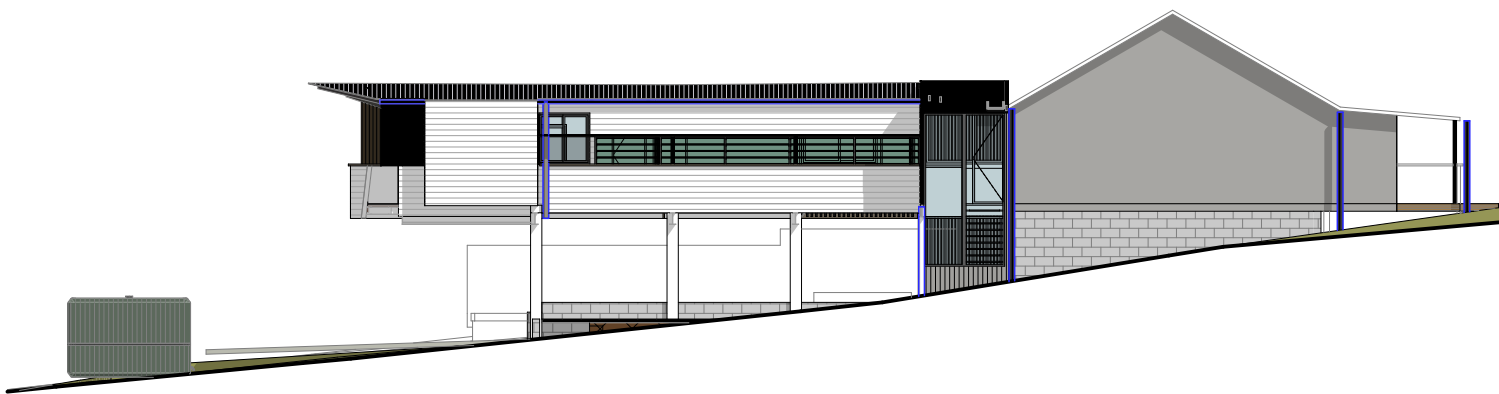
ISSUE/REVISIONS

CLIENT	David TREWERN
JOB NAME	HGA199 - ADDITION + POOL
DRAWING	

ADDRESS	40 CHILDE STREET, BYRON BAY, NSW 2841
LOT + DP	LOT 2 DP 862599

PLANS

SHEET N#	04
PAPER	A3
REVISION	C
DRAWN: MB	DATE
APPROVED: HG	7/6/19



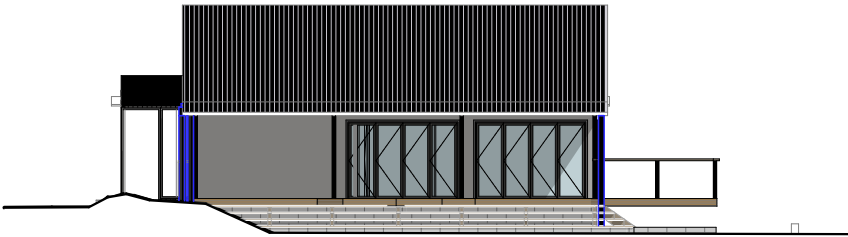
EAST ELEVATION

SCALE: 1:200



WEST ELEVATION

SCALE: 1:200



NORTH ELEVATION

SCALE: 1:200



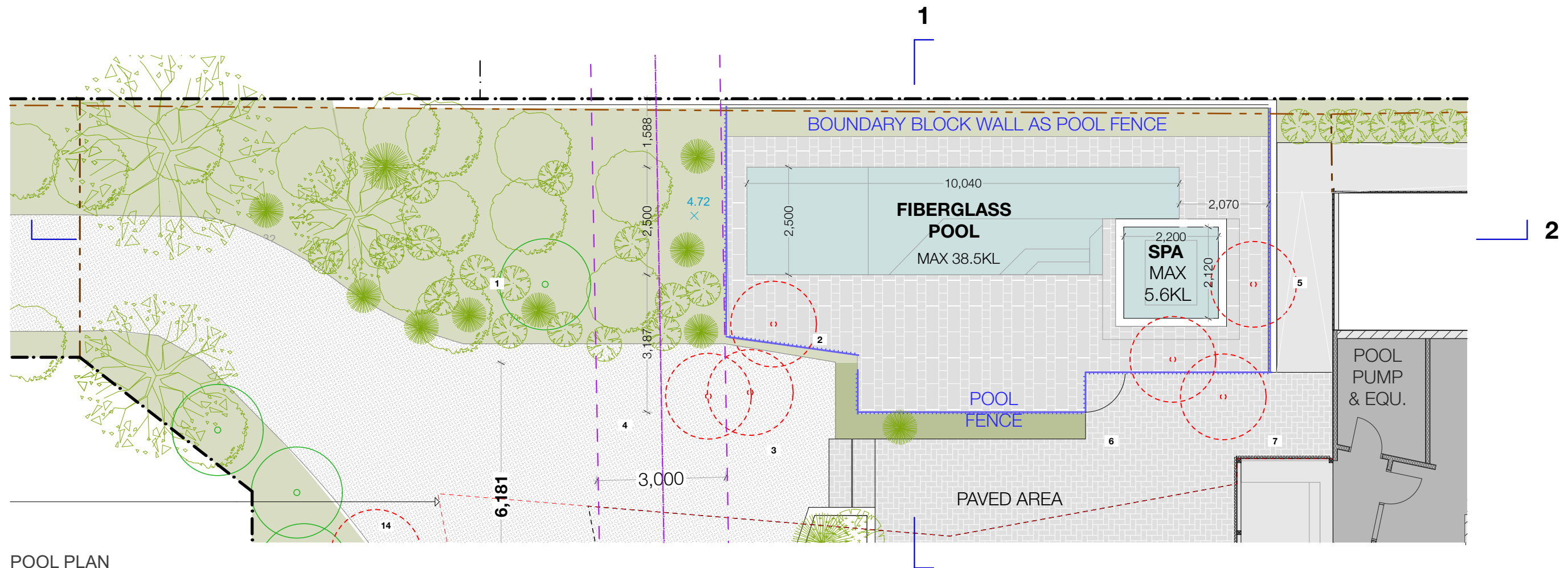
SOUTH ELEVATION

SCALE: 1:200

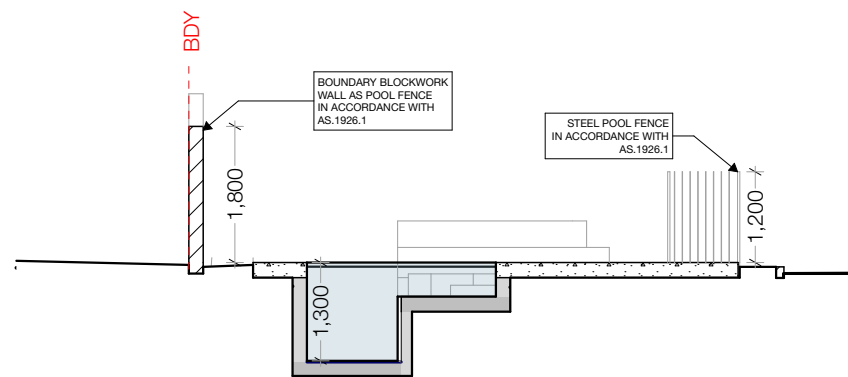
Key

- BLOCKWORK / Antracit grey
- FC-Weatherboards / Off white
- FC Sheeting / Monument (Black)
- Timber BATTENS Painted black
- GLAZING / Aluminum Frames, Black

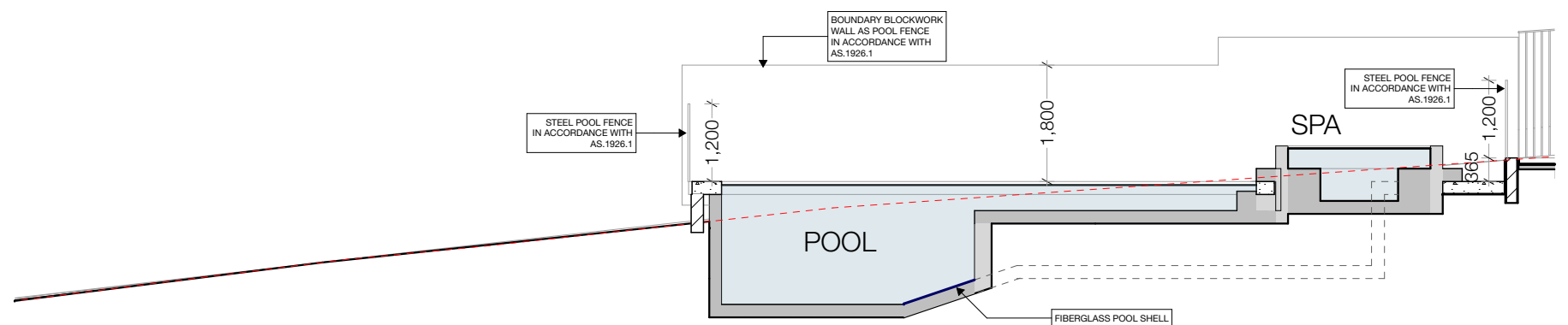
<div>HARLEY GRAHAM ARCHITECTS</div> <div>LEVEL 1 / 144 JONSON STREET - BYRON BAY PO BOX 1285 NSW 2481</div> <div>F: 02 66809820 T: 02 66809690 E: office@harleygraham.com</div> <div>ABN: 85158246003 NSW 7892</div>	<div><div>• All building works to be carried out in accordance with the Building Code of Australia (BCA) and to the satisfaction of the principle certifying authority.</div><div>• Builders/Contractors are to verify all dimensions prior to commencement of site work or off-site fabrication.</div><div>• Figured dimensions take precedence - do not scale.</div></div> <div>© COPYRIGHT HARLEY GRAHAM ARCHITECTS</div>	ISSUE/REVISIONS		ISSUE/REVISIONS		CLIENT		ADDRESS		SHEET N#	
		David TREWERN				40 CHILDE STREET, BYRON BAY, NSW 2841		05			
		JOB NAME				LOT + DP		PAPER	REVISION		
		HGA199 - ADDITION + POOL				LOT 2 DP 862599		A3	C		
		DRAWING		ELEVATIONS		DRAWN: MB		DATE			
						APPROVED: HG		7/6/19			



POOL PLAN
SCALE: 1:100



SECTION 1
SCALE: 1:100



SECTION 2
SCALE: 1:100

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CLIENT	David TREWERN	ADDRESS	40 CHILDE STREET, BYRON BAY, NSW 2841	SHEET N#	06
JOB NAME	HGA199 - ADDITION + POOL	LOT + DP	LOT 2 DP 862599	PAPER	A3
DRAWING	POOL DETAILS			DRAWN: MB APPROVED: HG	REVISION C DATE 7/6/19