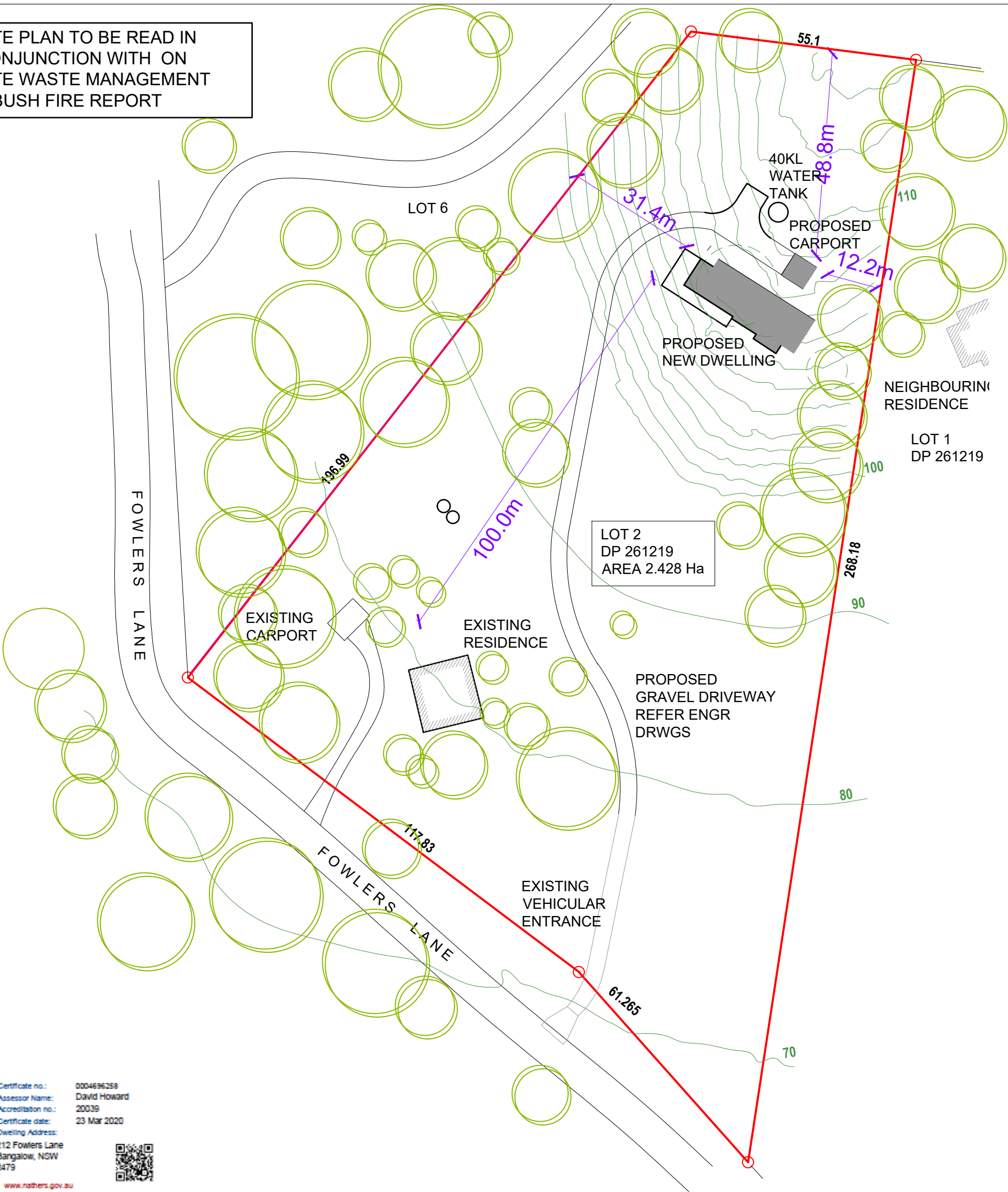


SITE PLAN TO BE READ IN
CONJUNCTION WITH ON
SITE WASTE MANAGEMENT
& BUSH FIRE REPORT



STANDARD NOTES:

ALL CONSTRUCTION WILL COMPLY WITH THE BUILDING
CODE OF AUSTRALIA

DO NOT SCALE FROM DRAWING

ENSURE ALL BUILDING CONSTRUCTION WITHIN
BUILDING ENVELOPE.

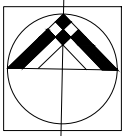
CHECK FOR UNDERGROUND OBSTACLES PRIOR TO
CONSTRUCTION

CONFIRM DIMENSIONS AND RELEVANT INFORMATION
ON SITE BEFORE COMMENCING WORK.

DRAWINGS TO BE READ IN CONJUNCTION WITH BASIX
CERTIFICATE & ENGINEERING DRAWINGS

100m² TOTAL AREA OF GARDEN & LAWN

SUITABLE INDIGENIOUS VEGETATION- BANGALOW	
SPECIES	HEIGHT
NARROW LEAVED GARDENIA	3m
FINGER LIME	5m
BROAD LEAF PALM LILY	2-5m
TREE FERN	1.0m
BOLWARA	3m
HAIRY PSYCHOTRIA	3m
BANGALOW PALM	20m
WALKING STICK PALM	2-3m
FLAME TREE	8m
SCRUB CHERRY	4-10m
GLOSSY LAUREL	2-6m
VEGETATION TO OWNERS SELECTION	



SITE PLAN

SCALE 1:1000



5.1

54.4 MJ/m²

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Certificate no.: 0004696258
Assessor Name: David Howard
Accreditation no.: 20039
Certificate date: 23 Mar 2020
Dwelling Address: 212 Fowlers Lane
Bangalow, NSW 2479

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SITE PLAN

Scale : 1:1000 @ A3

Drwg No: 20.01.01

Rev

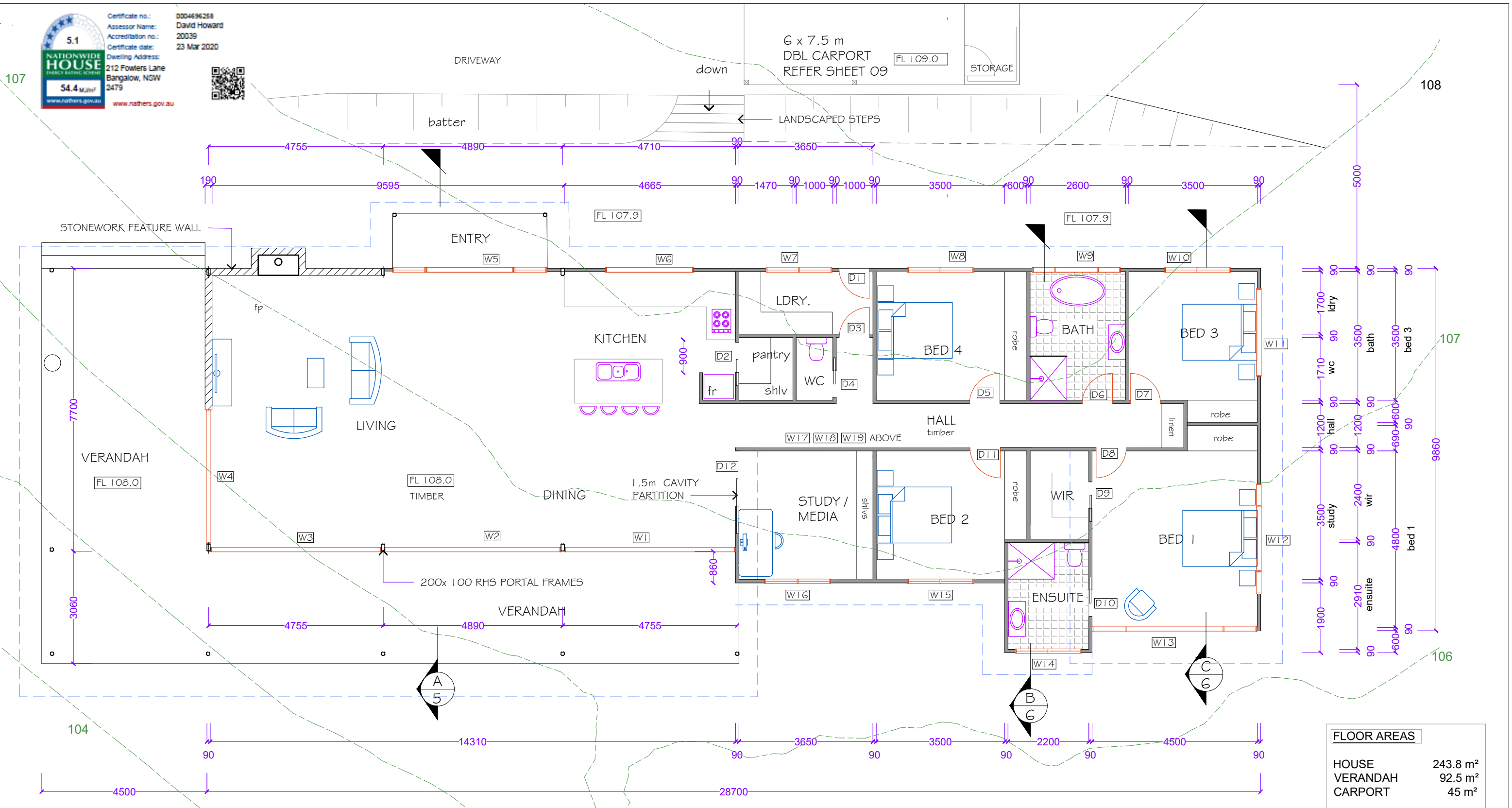
1 of 10

Date: MAR 2020

NEW DUAL OCCUPANCY

212 FOWLERS LANE, BANGALOW

for JAMES MORTENSEN & BEC READON



STANDARD NOTES:

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CHECK FOR UNDERGROUND OBSTACLES PRIOR TO CONSTRUCTION

CONFIRM DIMENSIONS AND RELEVANT INFORMATION ON SITE BEFORE COMMENCING WORK.

DRAWINGS TO BE READ IN CONJUNCTION WITH BASIX CERTIFICATE & ENGINEERING DRAWINGS

NEW DUAL OCCUPANCY
212 FOWLERS LANE. BANGALOW
for JAMES MORTENSEN & BEC READON

FLOOR PLAN

SCALE 1:100

FLOOR PLAN

Scale : 1:100 @ A3

Drwg No: 20.01.02

Rev

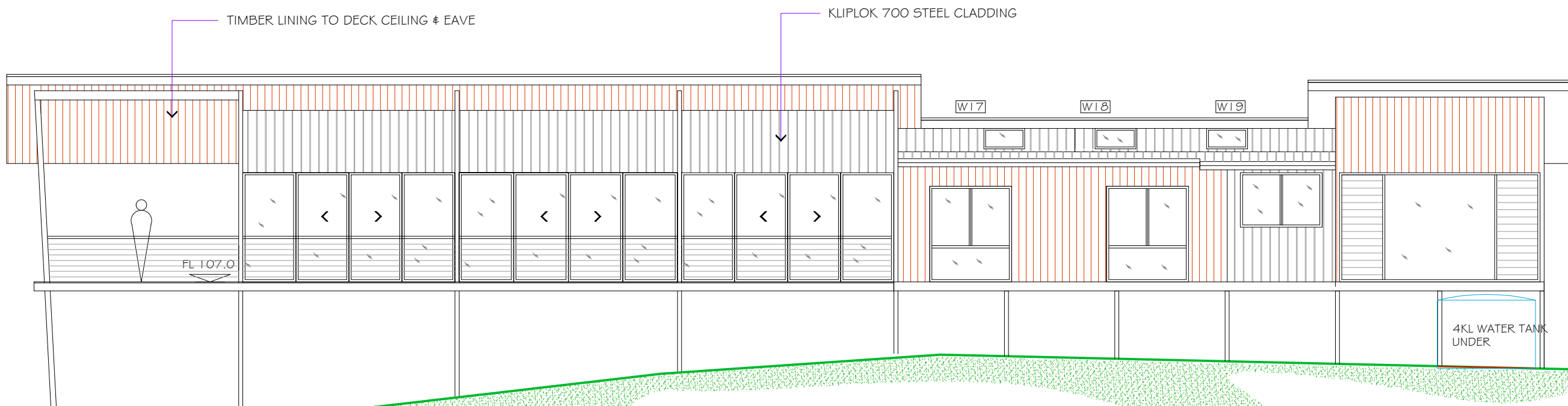
2 of 10
Date: MAR 2020

FLOOR AREAS

HOUSE 243.8 m²
 VERANDAH 92.5 m²
 CARPORT 45 m²

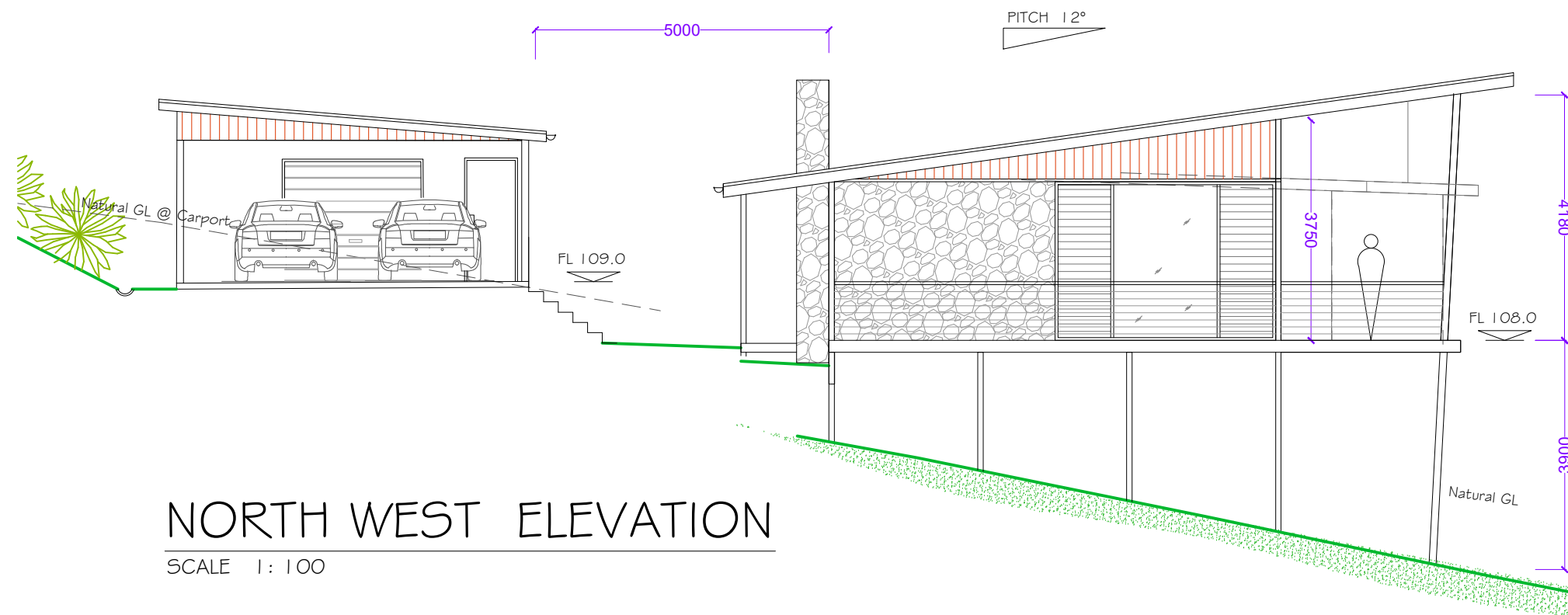
EXISTING RESIDENCE
TBC m²

SITE AREA 2.48 Ha



SOUTH WEST ELEVATION

SCALE 1:100



NORTH WEST ELEVATION

SCALE 1:100



STANDARD NOTES:

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DRAWINGS TO BE READ IN CONJUNCTION WITH BASIX CERTIFICATE & ENGINEERING DRAWINGS

NEW DUAL OCCUPANCY
212 FOWLERS LANE. BANGALOW
for JAMES MORTENSEN & BEC READON

ELEVATIONS 1

Scale : 1:100 @ A3

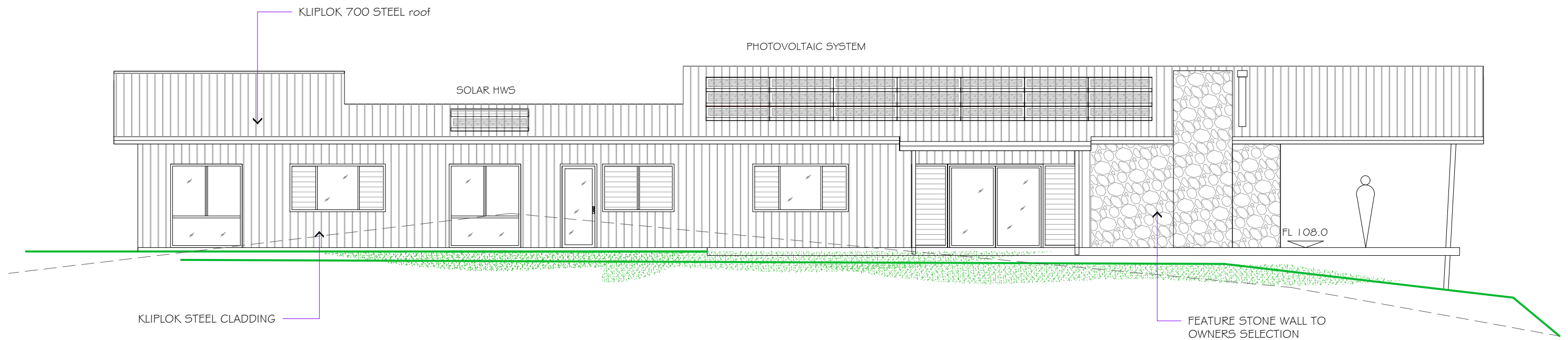
Drwg No: 20.1.03

Rev

3 of 10

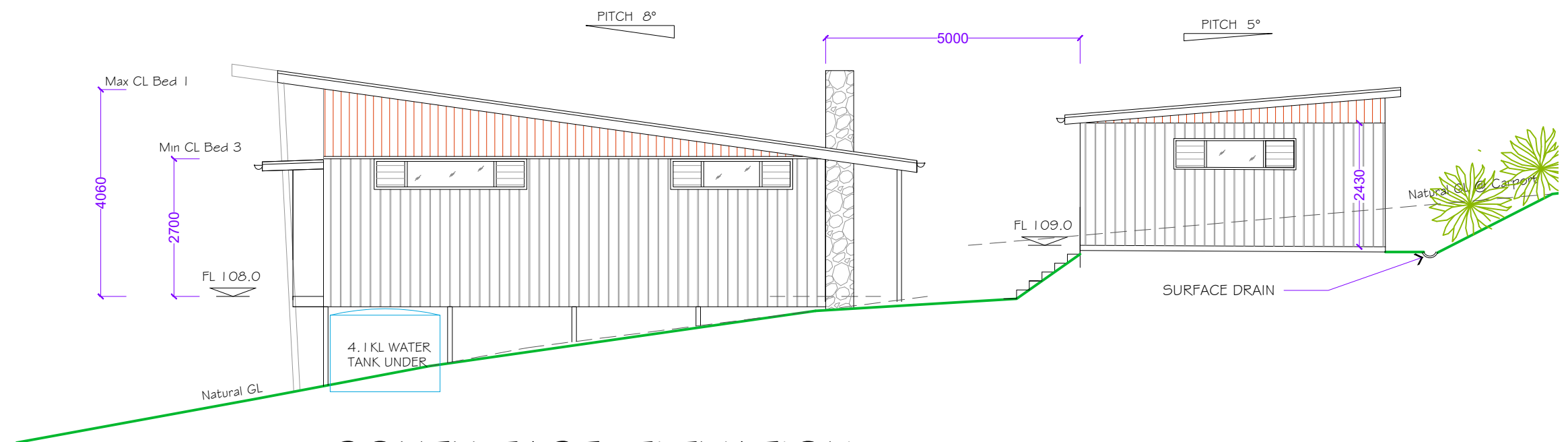
Date: MAR 2020





NORTH EAST ELEVATION

SCALE 1:100



SOUTH EAST ELEVATION

SCALE 1:100

STANDARD NOTES:

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DRAWINGS TO BE READ IN CONJUNCTION WITH BASIX CERTIFICATE & ENGINEERING DRAWINGS

NEW DUAL OCCUPANCY
212 FOWLERS LANE. BANGALOW
for JAMES MORTENSEN & BEC READON

ELEVATIONS 2

Scale : 1:100 @ A3

Drwg No: 20.01.04

Rev ☐

4 of 10

Date: MAR 2020



Certificate no.: 0004696258
 Assessor Name: David Howard
 Accreditation no.: 20039
 Certificate date: 23 Mar 2020
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OPEN LIVING SPACE AREA

STEEL PORTAL FRAME & STEEL PURLINS TO ENGRS SPECS- MONUMENT COLOUR

ROOF

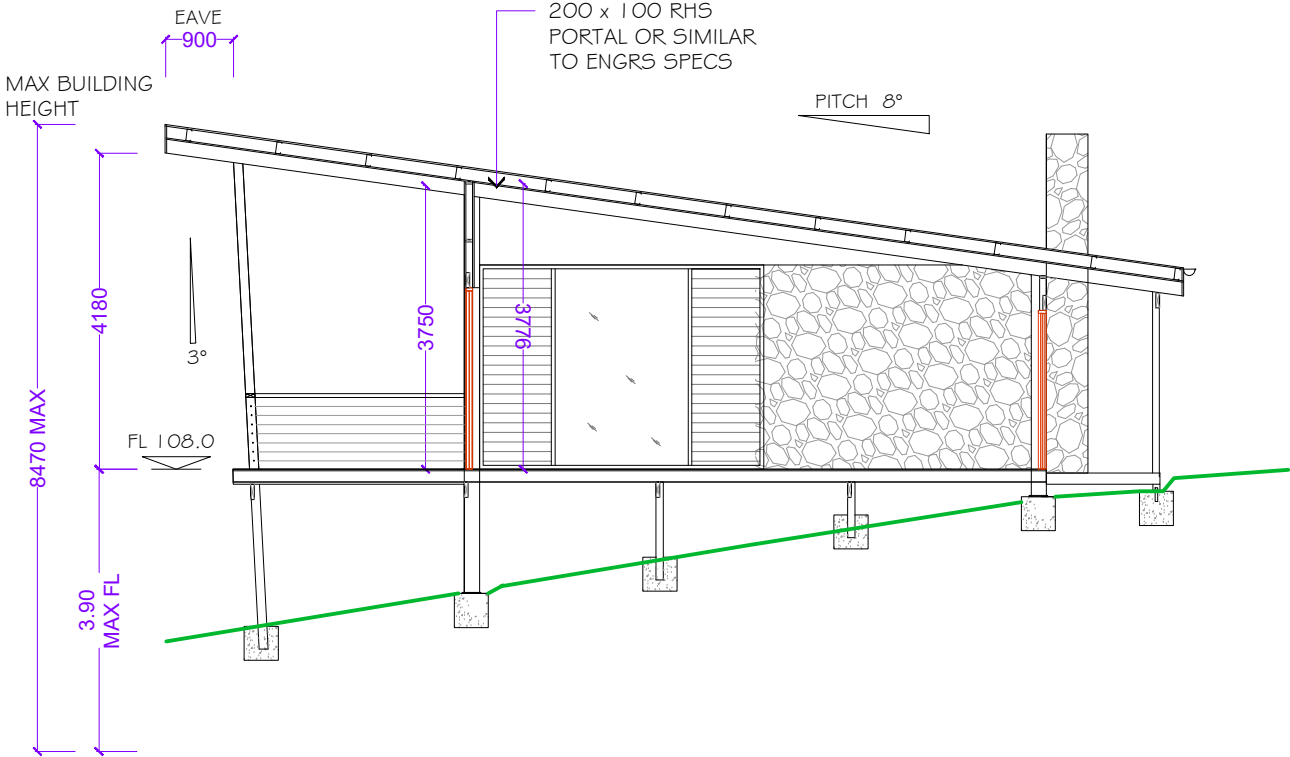
- 1/2 ROUND ROOF GUTTERING WITH 100 DIA DOWNPIPES
- KLIP LOK 700 INSTALLED TO MAN. SPECS. WITH MATCHING CAPPINGS AND FLASHINGS.
- COLOUR - COLORBOND BASALT
- EAVE LINING FC SHEET
- TYPE 1- SEMI EXPOSED STEEL PORTAL FRAME TO ENGRS SPECS WITH STEEL PURLINS

FOIL FACED BUILDING BLANKET TO CEILING AS PER BASIX CERT.

PLASTERBOARD CEILING LINING

WALLS

- EXTERNAL- STUD WALL - 90 x 35 MGP10
- EXTERNAL CLADDING -
 - TYPE 1- KLIP LOK 700 MONUMENT COLOUR INSTALLED TO MANUFACTURES SPECS.
 - TYPE 2- TIMBER - NATURAL COLOUR
 - TYPE 3- SERIES 200 CONCRETE BLOCK WITH DECORATIVE STONE FACE
- EXTERNAL WALL INSULATION AS PER BASIX CERT.
- PLASTERBOARD INTERNAL WALL LINING



SECTION A 2
SCALE 1:100

FLOOR

- TIMBER FLOOR STRUCTURE- MEMBER SIZES TO ENGRS SPECS.
- INSULATION BATTS BETWEEN FLOOR JOISTS
- HW T&G FLOOR

TILES ON COMPRESSED FIBRE CEMENT TO WET AREAS

FOOTINGS

- TYPE 1- STEEL PORTAL FRAME ON CONCRETE PAD FOOTING TO ENGS SPECS
- TYPE 2- GALVANISED STEEL POSTS EMBEDDED INTO CONCRETE PAD FOOTING TO ENGS SPECS

OTHER

- SOLAR PANELS TO BE INSTALLED TO OWNERS SELECTION
- SOLAR HOT WATER SERVICE
- GAS COOKTOP & ELECTRIC OVEN WITH RANGEHOOD OVER
- CEILING FANS THRU OUT
- NORSEMAN AURA INSERT WOOD HEATER OR SIMILAR

VERANDAH

- DECK STRUCTURE- MEMBER SIZES TO ENGRS SPECS.
- DECK POSTS- 100 SHS - 3° ANGLE
- DECK FLOOR- HW DECK TIMBER.
- TIMBER TOP RAIL & SS BALUSTRADING TO NCC REQUIREMENTS
- DECK CEILING LINING- NATURAL TIMBER



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NOTES

- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA 2019, BE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND LOCAL COUNCIL REGULATIONS / APPROVALS
- AS 1684 TIMBER FRAMING CODE
 - AS 3700 MASONRY IN BUILDINGS
 - AS 2870-2011 RESIDENTIAL SLABS AND FOOTINGS
 - AS 3660.1 2014 TERMITE MANAGEMENT
 - AS 3500. STORMWATER DISCHARGE
 - AS 3740 WATERPROOFING OF WET AREAS
 - AS 2047 WINDOWS IN BUILDINGS
 - STAIRWAYS IN ACCORDANCE WITH BCA 2019 CLAUSE 3.9.1
 - AS 1926 SWIMMING POOL SAFETY
 - PHOTOELECTRIC SMOKE DETECTORS IN ACCORDANCE WITH BCA 2019 CLAUSE 3.7.2
 - AS 2918- 2001 DOMESTIC SOLID FUEL BURNING APPLIANCES --INSTALLATION
 - ALL VERANDAHS AT LEVELS GREATER THAN 1000 MM TO HAVE HANDRAIL ASSEMBLIES IN ACCORDANCE WITH BCA 3.9.1 & 3.9.2
 - AS 1530.8- 2012 BUILDING MATERIALS IN BUSHFIRE PRONE AREAS
 - INSULATION INSTALLED IN ACCORDANCE WITH BCA PART 3.12.1.1
- ALL DIMENSIONS TO BE VERIFIED BY BUILDER/ CLIENT PRIOR TO SETOUT, ORDERING OR FABRICATION OF NEW MATERIALS
- CHECK FOR UNDERGROUND OBSTACLES PRIOR TO CONSTRUCTION
- FOOTINGS AND TIE DOWNS TO ENGINEERS SPECIFICATIONS
- DO NOT SCALE FROM DRAWING
- ENSURE ALL NEW CONSTRUCTION WITHIN BUILDING ENVELOPE

BASIX COMMITMENTS:

- To be read in conjunction with Basix certificate
- WATER**
- Roof catchment area 406 m
 - Landscape: 100 m² of indigenous vegetation
 - Fixtures : Showerheads 3 stars 7.5-9L/min
Toilets 3 stars
Taps 3 stars
 - Water : Min Tank 3,000 L
 - Tank connected: to All Toilets / Laundry/ Garden Taps
- THERMAL**
- Construction : Refer Thermal Specs Certificate
 - Colours Wall- Light tone
Roof- Light tone
as per Certificate & Schedule
- Windows:
- ENERGY**
- Photovoltaic System to owners selection
 - Hot Water : Solar- Electric Boost 31 to 35 RECs or better
 - Cooling : Ceiling fans through out
 - Heating : Combustion Wood Heater
 - Ventilation : Exhaust fan system to Bathrooms, Laundry & Kitchen
 - Lighting : Energy efficient Lighting through out.

FIRE BAL 19

- DRAWINGS TO BE READ IN CONJUNCTION WITH BUSH FIRE RISK ASSESSMENT REPORT & BASIX CERTIFICATE
- CONSTRUCTION TO BE IN ACCORDANCE WITH BUSHFIRE ATTACK LEVEL (BAL) RATING **BAL-19** AS PER AS 3959-2009.
- ALL WINDOWS & DOORS SHALL BE SCREENED TO PREVENT THE ENTRY OF EMBERS WHEN THE WINDOW IS OPEN.
WHERE ANNEALED GLASS IS USED, BOTH THE OPENABLE AND FIXED PORTION OF THE GLASS SHALL BE SCREENED EXTERNALLY.
WINDOW AND DOOR SCREENS SHALL HAVE A MESH OR PERFORATED SHEET WITH A MAX. APERTURE OF 2MM, MADE OF CORROSION-RESISTANT STEEL, BRONZE OR ALUMINIUM.
GAPS BETWEEN SCREEN AND THE BUILDING SHALL NOT EXCEED 3MM.
THE FRAME SUPPORTING THE MESH OR PERFORATED SHEET SHALL BE MADE FROM METAL OR BUSHFIRE-RESISTING TIMBER.
- NON COMBUSTIBLE GUTTER GUARDS TO ALL GUTTERS

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SECTION

Scale : 1:100 @A3

Drwg No: 20.01.05

Rev

Date: MAR 2020

5 of 10

NEW DUAL OCCUPANCY

212 FOWLERS LANE. BANGALOW

for JAMES MORTENSEN & BEC READON

BEDROOM AREAS

ROOF

- 1/2 ROUND ROOF GUTTERING WITH 100 DIA DOWNPIPES
- KLIP LOK 700 INSTALLED TO MAN. SPECS. WITH MATCHING CAPPINGS AND FLASHINGS.
- COLOUR - COLORBOND BASALT
- EAVE LINING FC SHEET
- TYPE 2- CONCEALED LVL RAFTERS TO ENGRS
- RAKED CEILING AS INDICATED

- FOIL FACED BUILDING BLANKET TO CEILING AS PER BASIX CERT.
- PLASTERBOARD CEILING LINING

WALLS

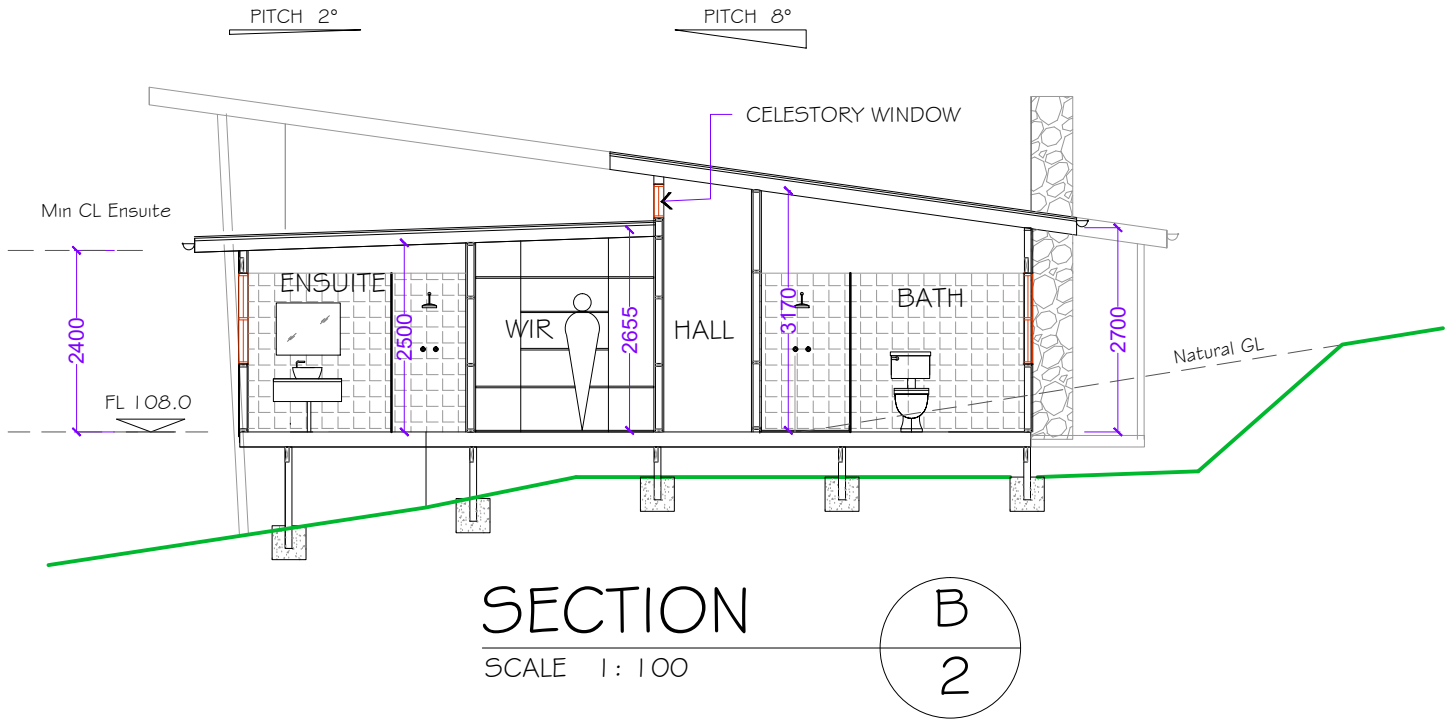
- EXTERNAL- STUD WALL - 90 x 35 MGPI0
- EXTERNAL CLADDING -
TYPE 1 - KLIP LOK 700 MONUMENT COLOUR INSTALLED TO MANUFACTURES SPECS.
TYPE 2- TIMBER - NATURAL COLOUR
- EXTERNAL WALL INSULATION AS PER BASIX CERT.
- PLASTERBOARD INTERNAL WALL LINING

FLOOR

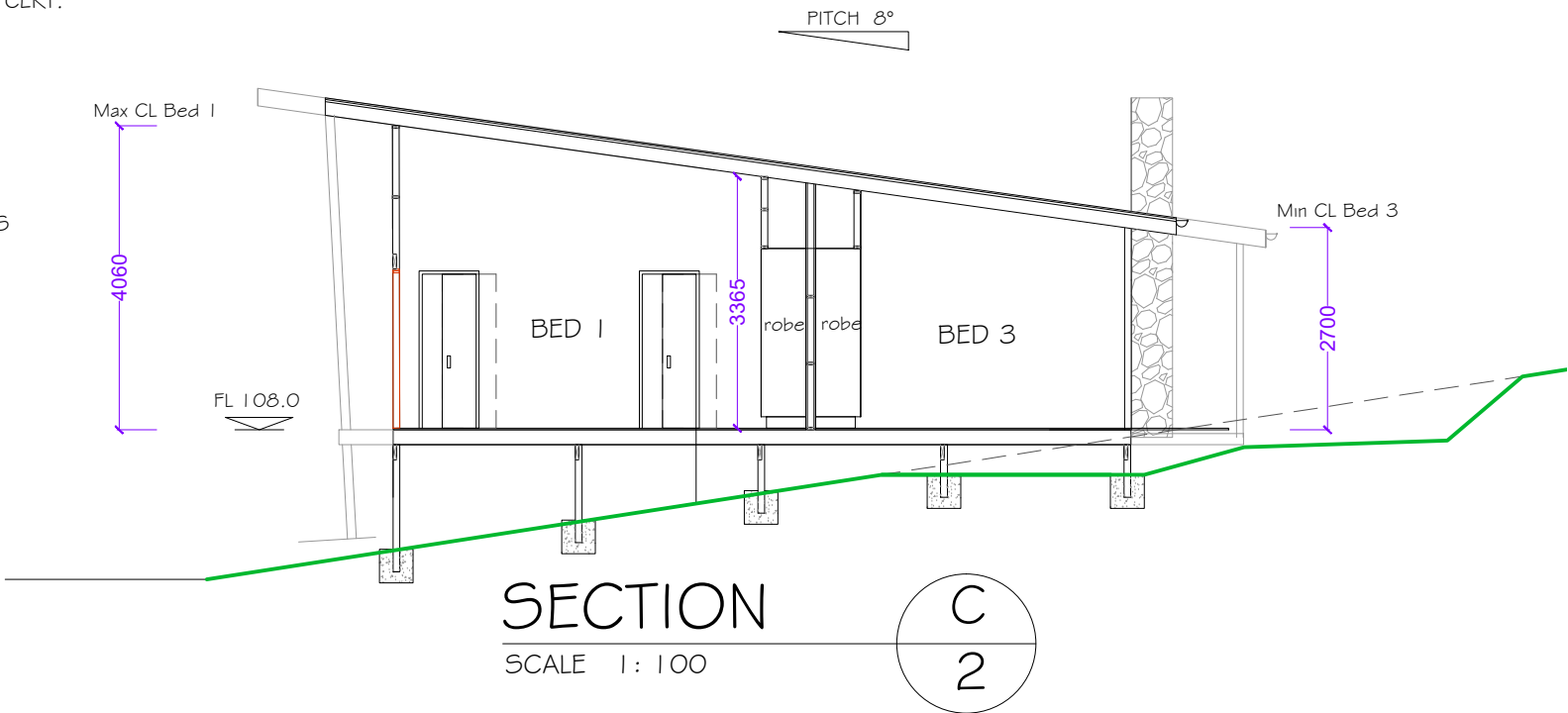
- TIMBER FLOOR STRUCTURE- MEMBER SIZES TO ENGRS SPECS.
- INSULATION BATTS BETWEEN FLOOR JOISTS
- HW T&G FLOOR
- TILES ON COMPRESSED FIBRE CEMENT TO WET AREAS

FOOTINGS

- GALVANISED STEEL POSTS EMBEDDED INTO CONCRETE PAD
- FOOTING TO ENGS SPECS



BEDROOM AREAS



THERMAL PERFORMANCE SPECIFICATIONS: (21371 – 212 Fowlers Lane)

The following specifications take precedence over other plan notations for the construction of this building.

NOTE: In addition to BASIX commitments; building compliance is required to comply with the 'New South Wales Additions' in the current edition of the NCC – Vol. 2, at the time of building. This includes New South Wales Parts 2.6 and 3.12. Specific mention is made of the following provisions:

- Building Fabric Thermal Insulation
- Building Sealing
- Building Services

(NOTE: If steel framing is used a thermal break may be required)

(NOTE: Ventilation requirements of Section 3.8.7.3 b must also be complied with and this means bathrooms should not normally be exhausted into roofspaces unless they are ventilated.)

WINDOWS (total product specification – glass + frame)
U-value 4.8 (or less than) & SHGC 0.59 (+/-5%) (Typically: Low-e Clear glass in AL. frame)
U-value 3.6 (or less than) & SHGC 0.54 (+/-5%) (Typically: Double glazed Clear glass in AL. frame) – applies to W1,2 & 3, W5 sgd and Kitchen/Living fixed glass panels

EXTERNAL WALL (Dark colour)
Metal clad Cavity Panel – R2.7 – 90mm thick Bulk insulation with vapour barrier
Stone – No insulation

INTERNAL WALL
Cavity Panel – No Insulation (generally)

EXTERNAL FLOOR
Suspended Timber (Open Sub-Floor) – R3.0 bulk insulation

CEILING SPACE with ROOF ABOVE
Plasterboard – R3.0 bulk insulation

ROOF (Medium colour) (Non-ventilated)
Sheet Metal Roofing – 60mm Foil Blanket with Reflective airgap

RATED either with NO DOWNLIGHTS or with LED downlights which do not penetrate ceiling insulation (ie: IC rated)

STANDARD NOTES:

ALL CONSTRUCTION WILL COMPLY WITH THE BUILDING CODE OF AUSTRALIA

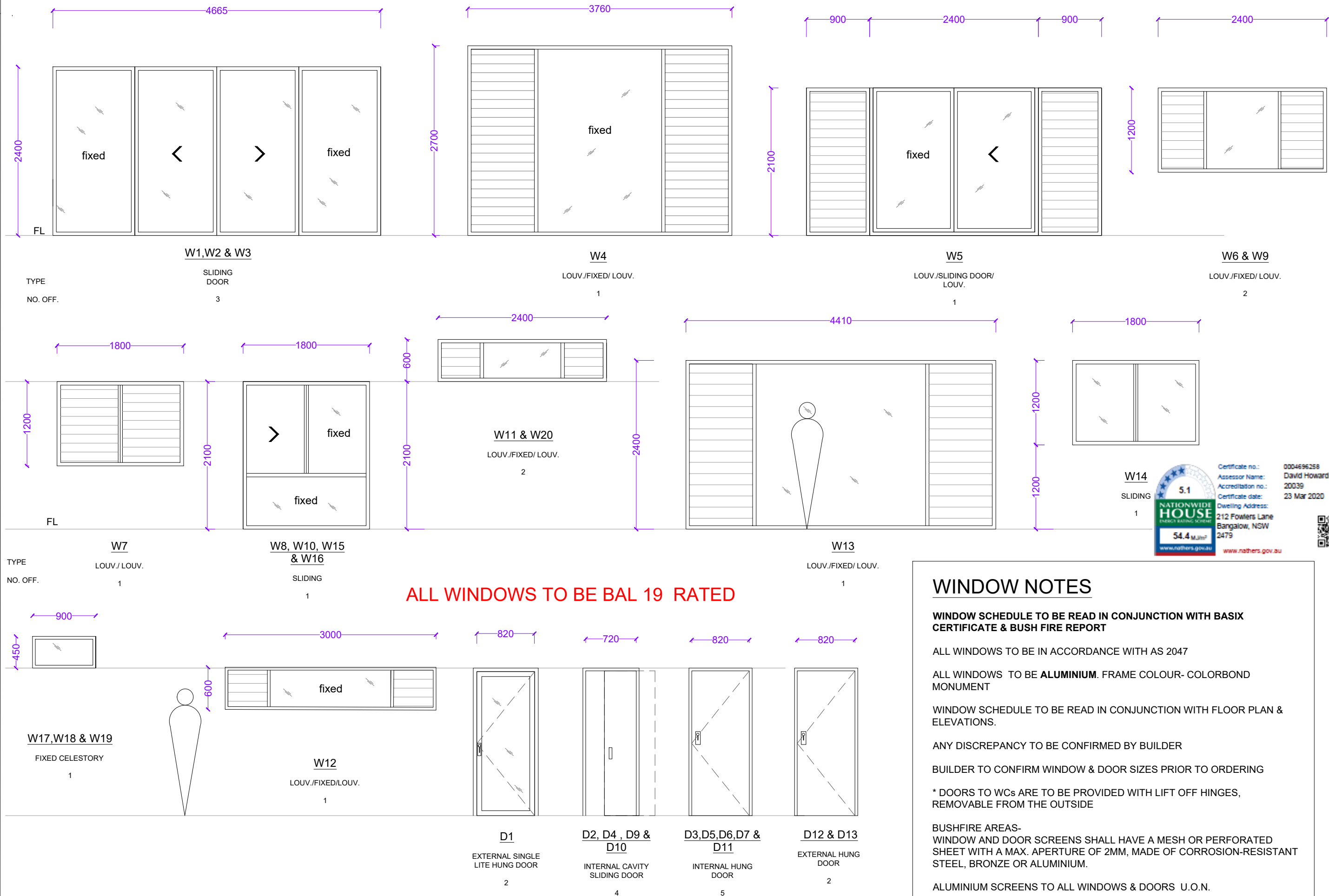
DO NOT SCALE FROM DRAWING

ENSURE ALL BUILDING CONSTRUCTION WITHIN BUILDING ENVELOPE.

CHECK FOR UNDERGROUND OBSTACLES PRIOR TO CONSTRUCTION

CONFIRM DIMENSIONS AND RELEVANT INFORMATION ON SITE BEFORE COMMENCING WORK.

DRAWINGS TO BE READ IN CONJUNCTION WITH BASIX CERTIFICATE & ENGINEERING DRAWINGS



WINDOW & DOOR SCHEDULE

SCALE 1 : 50

NOTE: WINDOW DIAGRAMS DRAWN FROM EXTERNAL PERSPECTIVE

WINDOW NOTES

**WINDOW SCHEDULE TO BE READ IN CONJUNCTION WITH BASIX
CERTIFICATE & BUSH FIRE REPORT**

ALL WINDOWS TO BE IN ACCORDANCE WITH AS 2047

ALL WINDOWS TO BE **ALUMINIUM**. FRAME COLOUR- COLORBOND
MONUMENT

WINDOW SCHEDULE TO BE READ IN CONJUNCTION WITH FLOOR PLAN & ELEVATIONS.

ANY DISCREPANCY TO BE CONFIRMED BY BUILDER

BUILDER TO CONFIRM WINDOW & DOOR SIZES PRIOR TO ORDERING

* DOORS TO WCs ARE TO BE PROVIDED WITH LIFT OFF HINGES,
REMOVABLE FROM THE OUTSIDE

BUSHFIRE AREAS-
WINDOW AND DOOR SCREENS SHALL HAVE A MESH OR PERFORATED
SHEET WITH A MAX. APERTURE OF 2MM, MADE OF CORROSION-RESISTANT
STEEL, BRONZE OR ALUMINIUM.

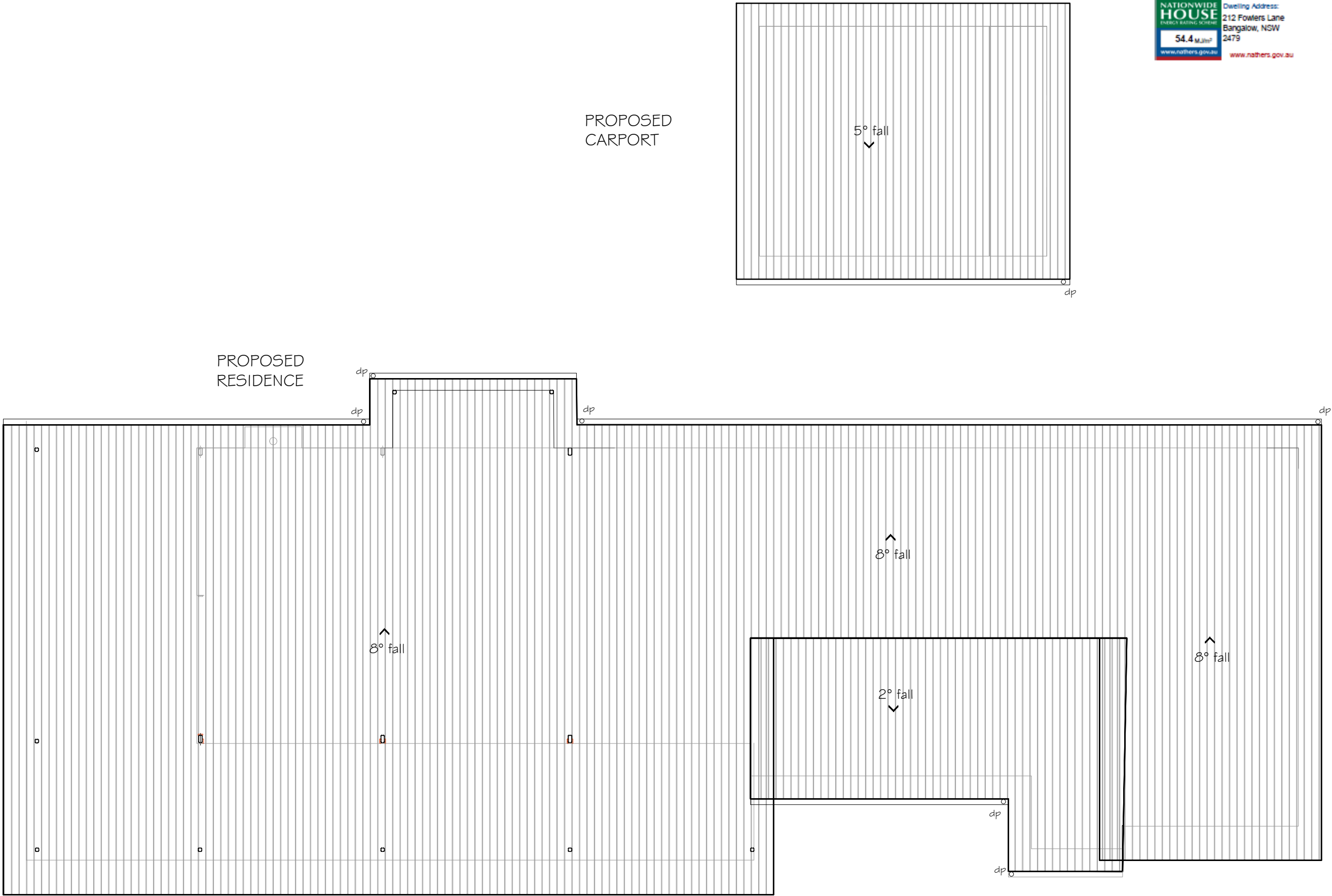
ALUMINIUM SCREENS TO ALL WINDOWS & DOORS U.O.N.

WINDOWS < 1.7M ABOVE F.L. AND >2.0M ABOVE SURFACE BENEATH TO BE
IN ACCORDANCE WITH NCC PART 3.9.2.5
FITTED WITH A SCREEN WITH SECURE FITTINGS

ALL LOUVRED WINDOWS TO BE FITTED WITH 6MM HARDENED GLASS
LOUVRED BLADES TO BE 130mm



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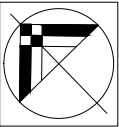
dp ○ DOWN PIPE

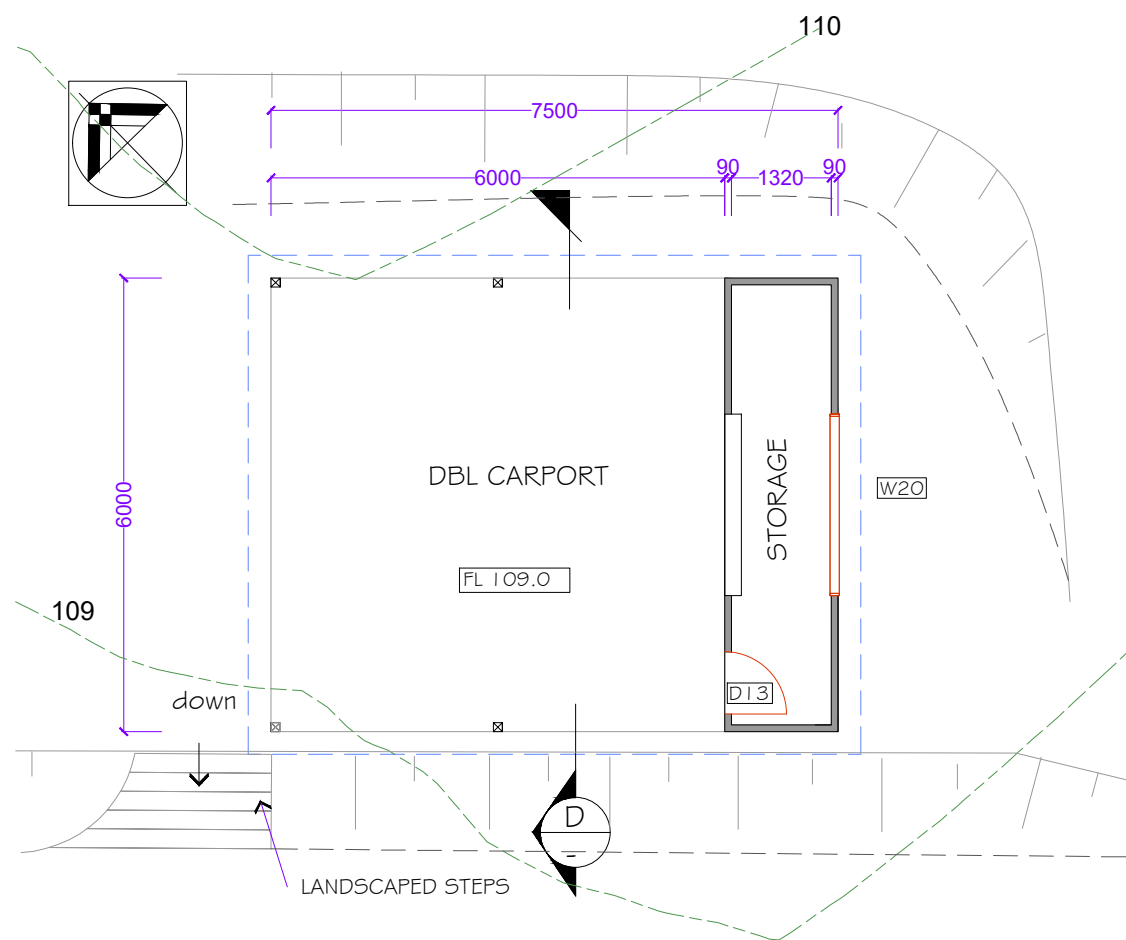
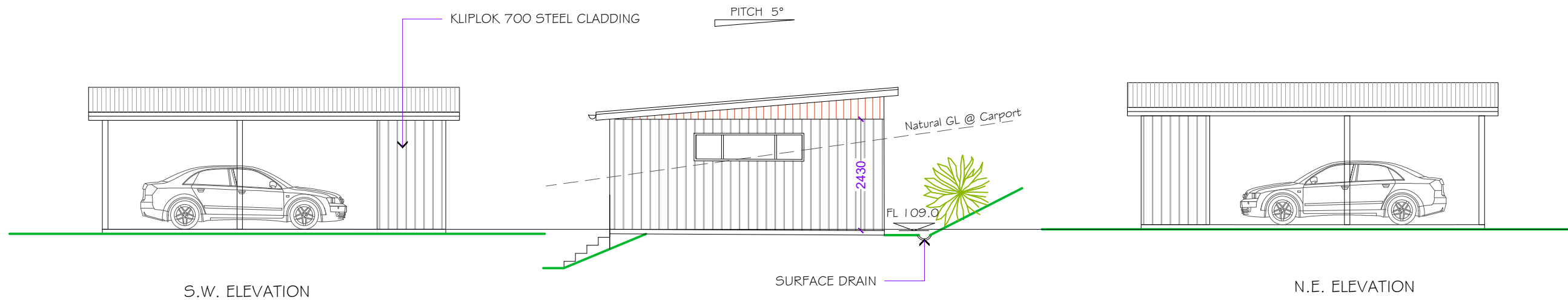
ROOF PLAN

SCALE 1:100



SCALE 1:100





CARPORT FLOOR PLAN

SCALE 1:100



SCALE 1:100

CARPORT

HW TIMBER CONSTRUCTION TO ENGRS SPECS

½ ROUND ROOF GUTTERING WITH 100 DIA DOWNPIPES

ROOF- KLIP LOK 700 INSTALLED TO MAN. SPECS. WITH MATCHING CAPPINGS AND FLASHINGS.

COLOUR - COLORBOND BASALT

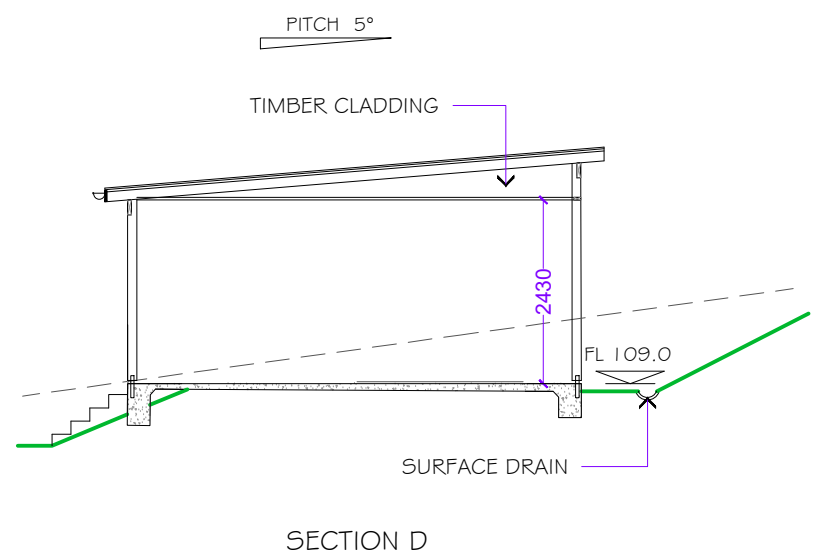
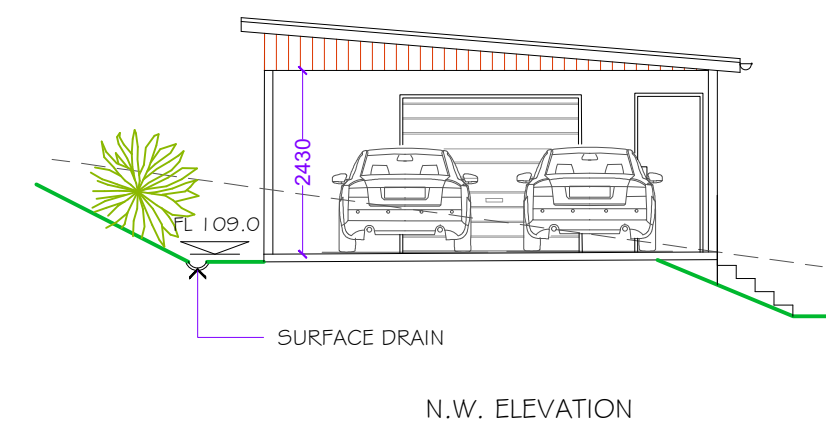
HW TIMBER RAFTERS TO ENGRS SPECS

POSTS- 100 X 100 F14

STORAGE ROOM - STUD WALL - 90 x 35 MGP10

EXTERNAL CLADDING -
TYPE 1 - KLIP LOK 700 MONUMENT COLOUR
INSTALLED TO MANUFACTURES SPECS.
TYPE 2- TIMBER - NATURAL COLOUR

HD. GALVANISED STEEL STIRRUP EMBEDDED INTO CONCRETE SLAB TO ENGRS. SPEC.



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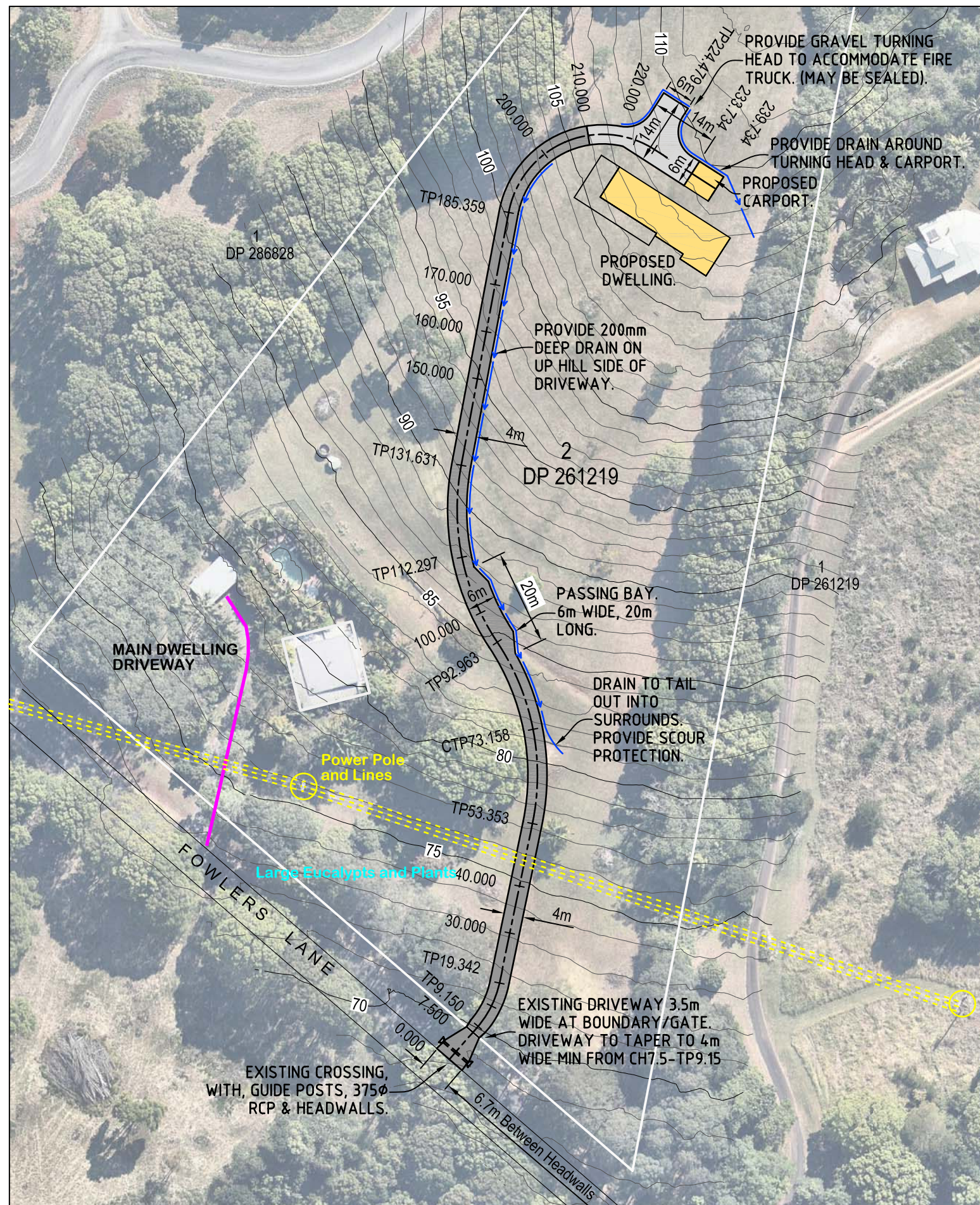


NEW DUAL OCCUPANCY
212 FOWLERS LANE, BANGALOW
for JAMES MORTENSEN & BEC READON

CARPORT

Scale : 1:100 @ A3
Drwg No: 20.01.10
Rev
Date: MAR 2020

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NOTES:

1. ALL FINISHED SURFACES TO BE SELF DRAINING & SHAPED TO AVOID PONDING OF SURFACE WATER.
2. ALL EXPOSED EARTHWORKS TO BE GRASS SEEDING OR TURFED IMMEDIATELY AFTER THE COMPLETION OF WORKS.
3. EXISTING 1m CONTOURS SHOWN.
4. LOCATE UNDERGROUND SERVICES PRIOR TO ANY CONSTRUCTION.
5. MAX CHANGE IN GRADIENT (WITHOUT VERTICAL CURVE) 12.5% FOR CREST & 15% FOR SAG.
6. MAXIMUM GRADES FOR SEALED ROADS SHALL NOT EXCEED 25% AND NOT MORE THAN 12% FOR UNSEALED ROADS.
7. RURAL PROPERTY ACCESS ROADS SHALL HAVE PASSING BAYS APPROXIMATELY EVERY 200m THAT ARE 20m LONG BY 2m WIDE, MAKING A MINIMUM TRAFFICABLE WIDTH OF 6m AT THE PASSING BAY;
8. PROVIDE A MINIMUM VERTICAL CLEARANCE OF 4m TO ANY OVERHANGING OBSTRUCTIONS, INCLUDING TREE BRANCHES.
9. EXISTING SURFACE CONTOURS DERIVED FROM 1m LIDAR GRID. FINAL DESIGN MAY BE SUBJECT TO DETAILED SURVEY BY A REGISTERED SURVEYOR.

NOTE: SOME SHORT CONSTRICTIONS IN THE ACCESS MAY BE ACCEPTED WHERE THEY ARE NOT LESS THAN 3.5m WIDE, EXTEND FOR NO MORE THAN 30m AND WHERE THE OBSTRUCTION CANNOT BE REASONABLY AVOIDED OR REMOVED.

DISCLAIMER:

This plan was prepared to accompany an application to council and should not be used for any other purpose. The lot shown hereon are approximate only and may be subject to final survey and also to the requirements of council and any other authority which may have requirements under any relevant legislation. Boundary dimensions and locations are derived from survey evidence available at the time. Subsequent registered or other plans may alter the boundary location shown here. If it is intended to construct near boundaries, further survey and marking may be required and/or a plan of redefinition registered at the Lands Department.

The aerial image shown is overlaid in an approximate position only. For an accurate location of existing features an additional detailed survey by a Registered Surveyor should be carried out.

In particular, no reliance should be placed on the information on this plan for any financial dealings involving the land. This note is an integral part of this plan.

Source:

Aerial: NearMap.
(Supplied by, Balanced Systems Planning Consultants)



Design	GC	Scale at A3	1:1000
Drawn	GC	Datum	NA
Date	13.02.2020	Filename	GC20004-DR01A.dwg
Checked	GC	Approved	<i>Garth Cook</i>
Dwg. No.	GC20004-DR01	Sheet No.	1 of 3
		Issue	A

DESIGN AND DRAWINGS BY:

GC ARTH COOK & Associates

5 Paperbark Place
Bangalow
NSW 2479
Phone: 02 6687 2404
Mobile: 0413 8921 81
Email: garth_cook@hotmail.com



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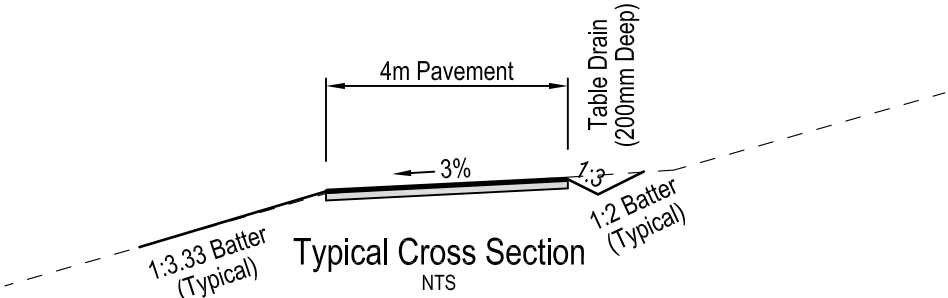
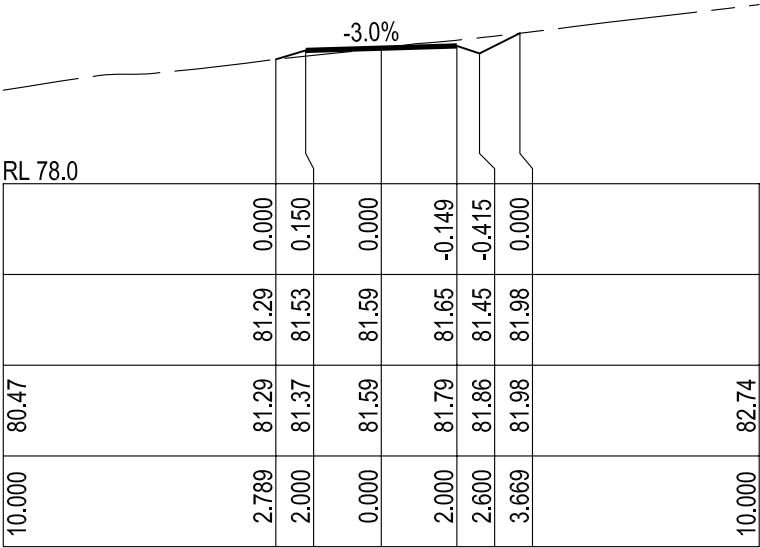
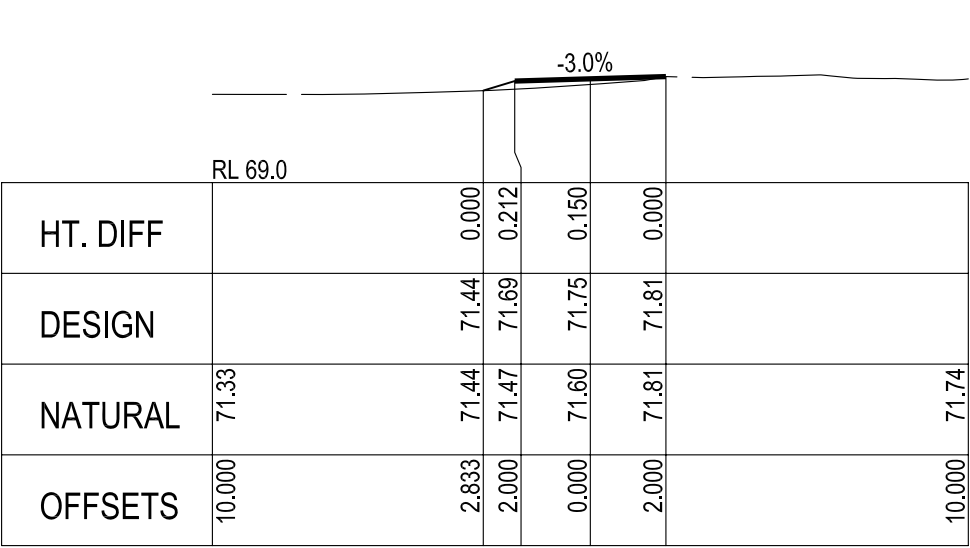
Project:

**Proposed Dwelling
Lot 2 DP 261219
No. 212 Fowlers Lane,
Bangalow.**

Title:

SITE PLAN

THIS DRAWING IS NOT APPROVED FOR CONSTRUCTION



BITUMEN PAVEMENT DETAILS

14/10 TWO COAT SEAL.

150mm (min) THICK CONSOLIDATED GRAVEL BASECOURSE ON A TRIMMED & COMPACTED SUBGRADE.

SUBGRADE TO 98% STD COMPACTION. (FILL TO 100% STD COMPACTION).

GRAVEL PAVEMENT DETAILS

150mm (min) THICK CONSOLIDATED GRAVEL BASECOURSE ON A TRIMMED & COMPACTED SUBGRADE.

SUBGRADE TO 98% STD COMPACTION. (FILL TO 100% STD COMPACTION).

NOTES:

1. MAX CHANGE IN GRADIENT (WITHOUT VERTICAL CURVE) 12.5% FOR CREST & 15% FOR SAG.

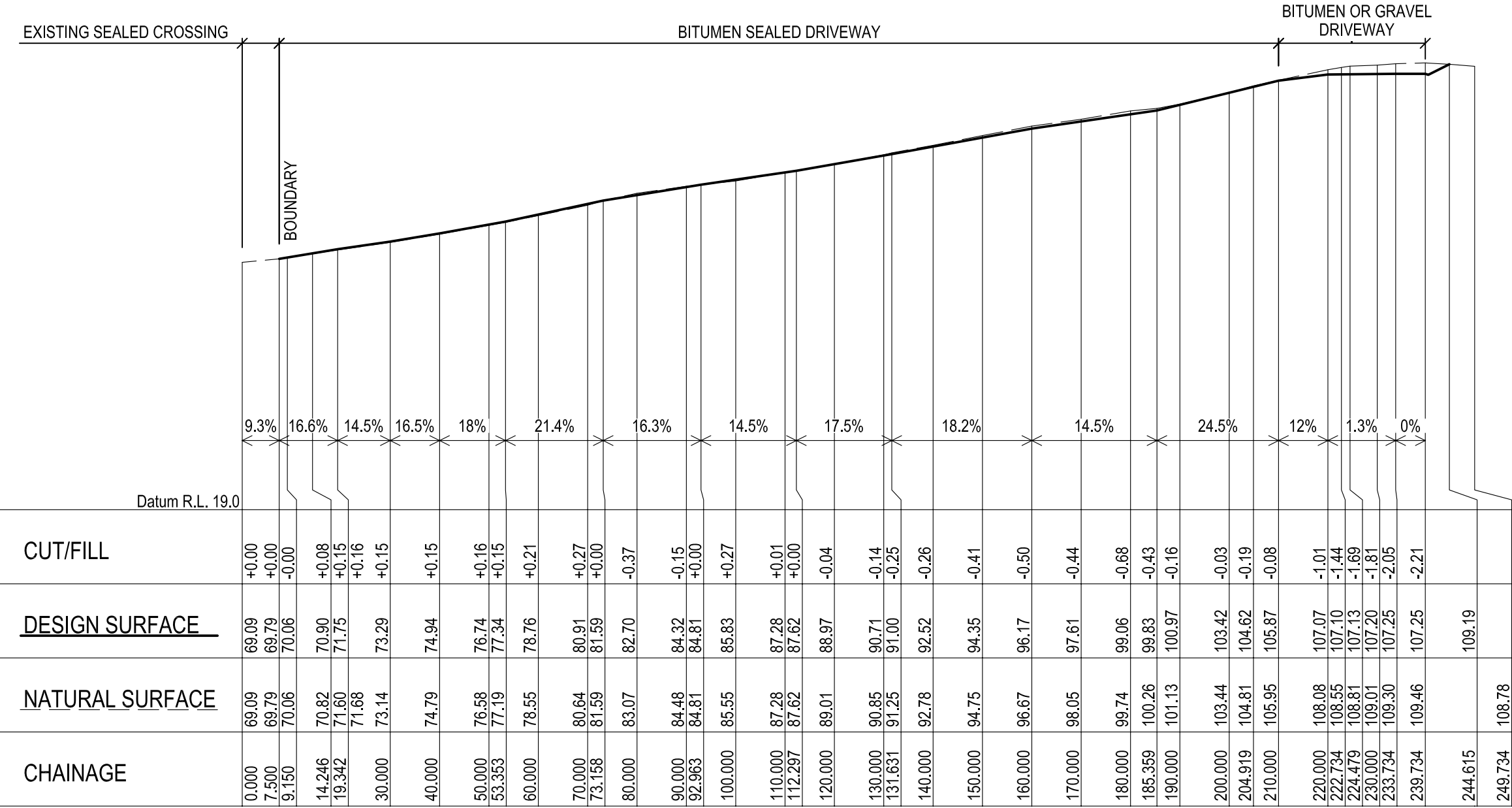
2. MAXIMUM GRADES FOR SEALED ROADS SHALL NOT EXCEED 25% AND NOT MORE THAN 12% FOR UNSEALED ROADS.

3. RURAL PROPERTY ACCESS ROADS SHALL HAVE PASSING BAYS APPROXIMATELY EVERY 200m THAT ARE 20m LONG BY 2m WIDE, MAKING A MINIMUM TRAFFICABLE WIDTH OF 6m AT THE PASSING BAY;

4. PROVIDE A MINIMUM VERTICAL CLEARANCE OF 4m TO ANY OVERHANGING OBSTRUCTIONS, INCLUDING TREE BRANCHES.

5. EXISTING SURFACE CONTOURS DERIVED FROM 1m LIDAR GRID. FINAL DESIGN MAY BE SUBJECT TO DETAILED SURVEY BY A REGISTERED SURVEYOR.

NOTE: SOME SHORT CONSTRICTIONS IN THE ACCESS MAY BE ACCEPTED WHERE THEY ARE NOT LESS THAN 3.5m WIDE, EXTEND FOR NO MORE THAN 30m AND WHERE THE OBSTRUCTION CANNOT BE REASONABLY AVOIDED OR REMOVED.



DRIVEWAY LONG SECTION

THIS DRAWING IS NOT APPROVED FOR CONSTRUCTION

Design	GC	Scale at A3	AS SHOWN
Drawn	GC	Datum	NA
Date	13.02.2020	Filename	GC20004-DR02A.dwg
Checked	GC	Approved	<i>gcook</i>
Dwg. No.	GC20004-DR02	Sheet No.	2 of 3
		Issue	A

DESIGN AND DRAWINGS BY:

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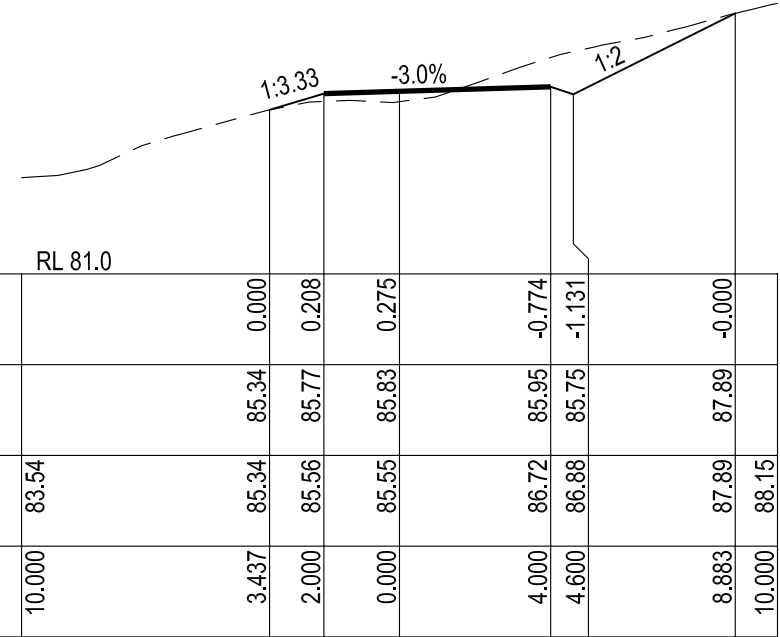
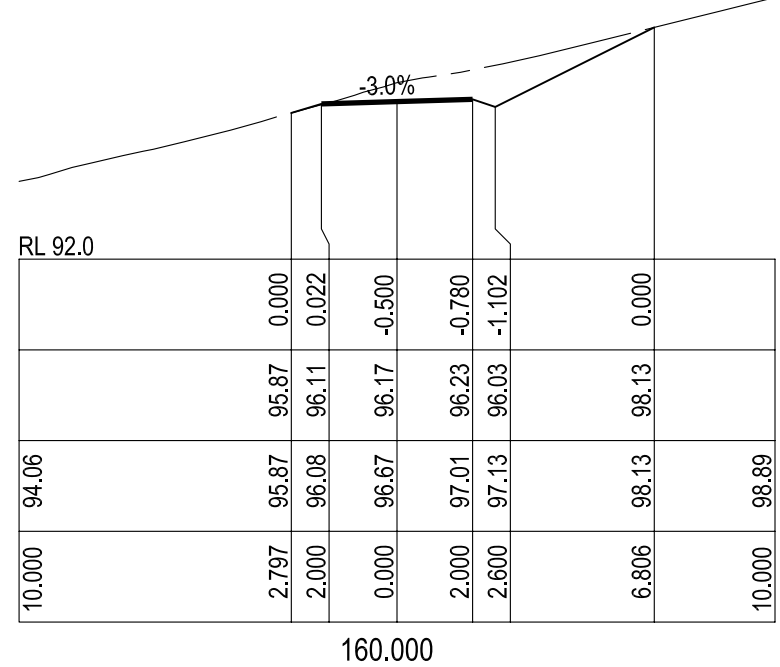
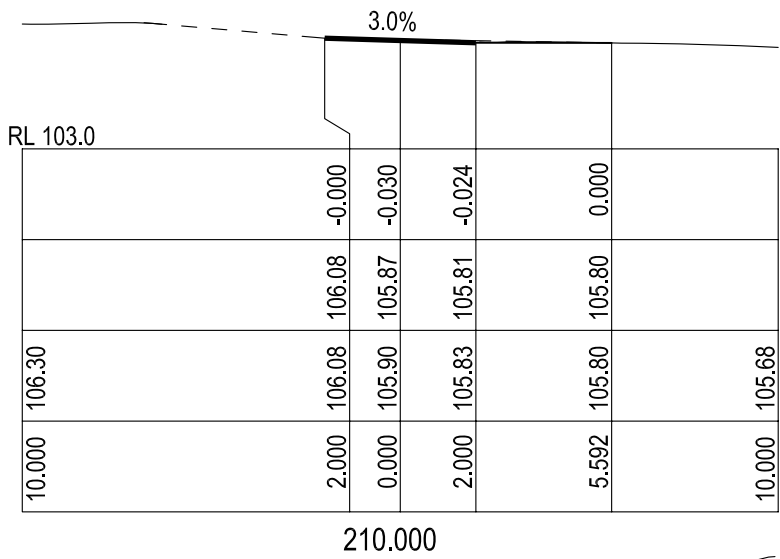
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Project:

Proposed Dwelling
Lot 2 DP 261219
No.212 Fowlers Lane,
Bangalow.

Title:

DRIVEWAY LONG
SECTION & TYPICAL
CROSS SECTIONS



HT. DIFF		0.000	0.208	0.275	-0.774	-1.131	-0.000
DESIGN		85.34	85.77	85.83	85.95	85.75	87.89
NATURAL	83.54	85.34	85.56	85.55	86.72	86.88	87.89
OFFSETS	10.000	3.437	2.000	0.000	4.000	4.600	8.883

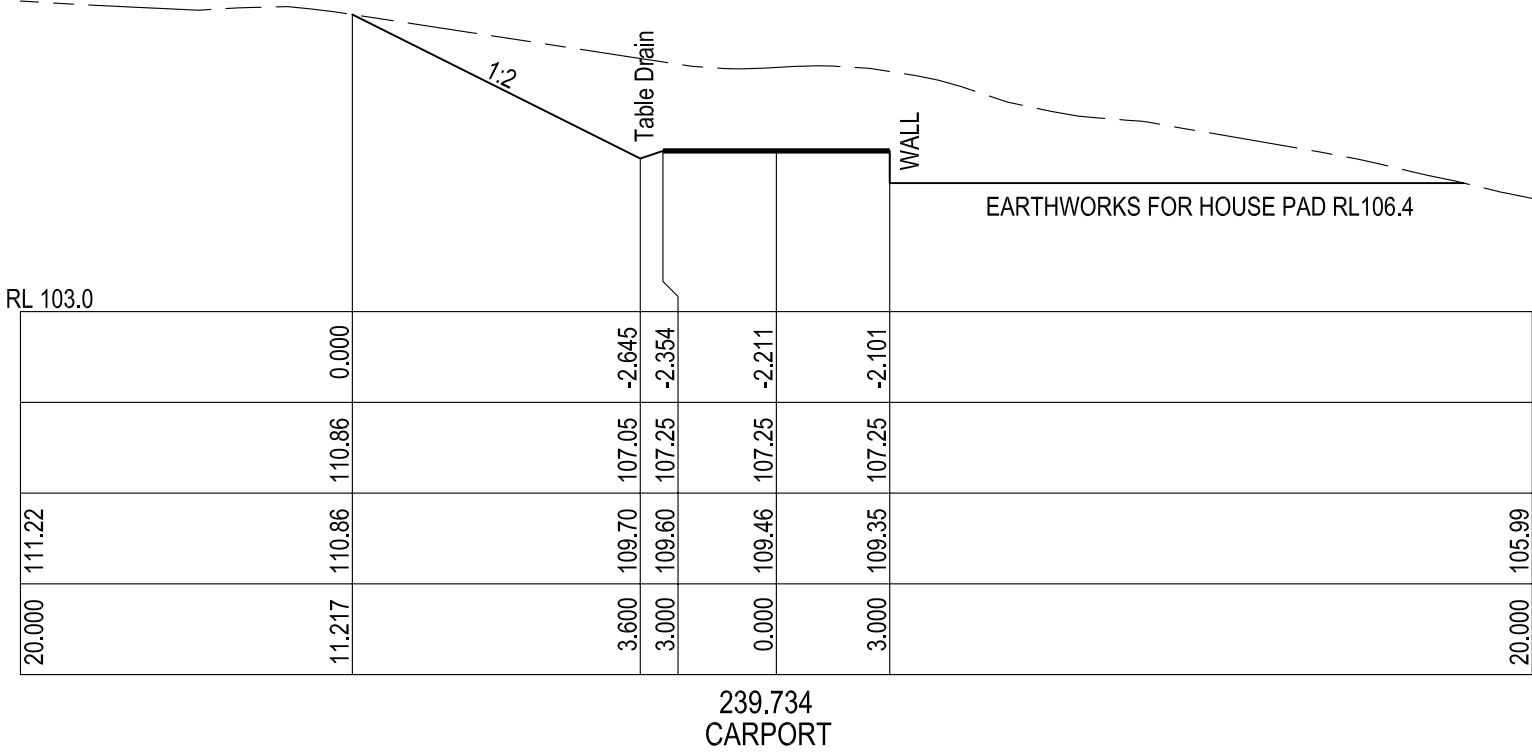
Scale Horizontal 1:200 Vertical 1:200
100.000
PASSING BAY

BITUMEN PAVEMENT DETAILS

14/10 TWO COAT SEAL.

150mm (min) THICK CONSOLIDATED GRAVEL BASECOURSE
ON A TRIMMED & COMPACTED SUBGRADE.

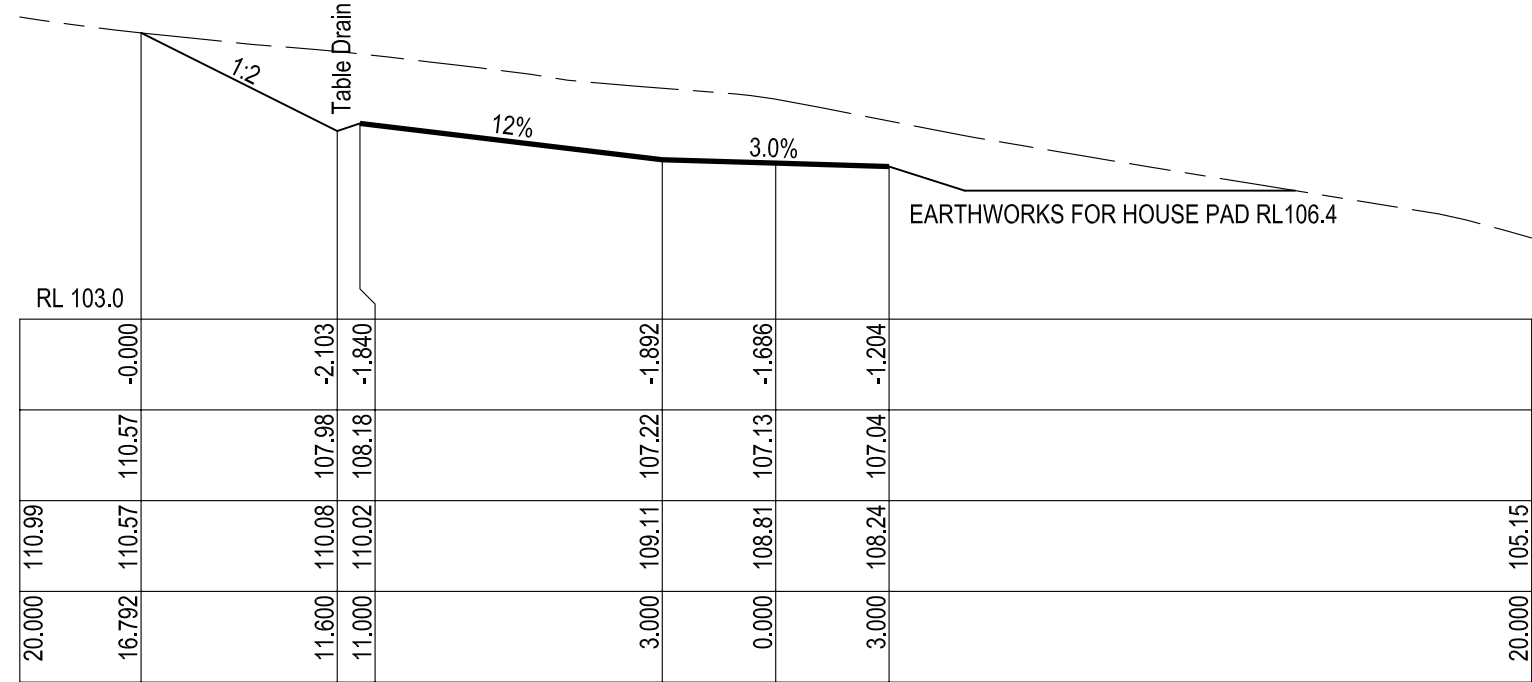
SUBGRADE TO 98% STD COMPACTION.
(FILL TO 100% STD COMPACTION).



GRAVEL PAVEMENT DETAILS

150mm (min) THICK CONSOLIDATED GRAVEL BASECOURSE
ON A TRIMMED & COMPACTED SUBGRADE.

SUBGRADE TO 98% STD COMPACTION.
(FILL TO 100% STD COMPACTION).



224.479
TURNING HEAD

THIS DRAWING IS NOT APPROVED FOR CONSTRUCTION

Design	GC	Scale at A3	AS SHOWN
Drawn	GC	Datum	NA
Date	13.02.2020	Filename	GC20003-DR03A.dwg
Checked	GC	Approved	<i>gcook</i>
Dwg. No.	GC20004-DR03	Sheet No.	3 of 3
		Issue	A

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Project: **Proposed Dwelling
Lot 2 DP 261219
No.212 Fowlers Lane,
Bangalow.**

Title: **TYPICAL CROSS
SECTIONS**