

client:

Adam Mangleson

project:

Townhouse Development

**8 Kumbellin Glen,
Ocean Shores, NSW**

job no.

19013



Page no Layout Name

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	SHADOW IMAGES
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03	GROUND FLOOR DIMENSIONS
04	FIRST FLOOR PLAN
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B	03/07/19	DA drawings	H	11/11/19	DA Drawing Revisions
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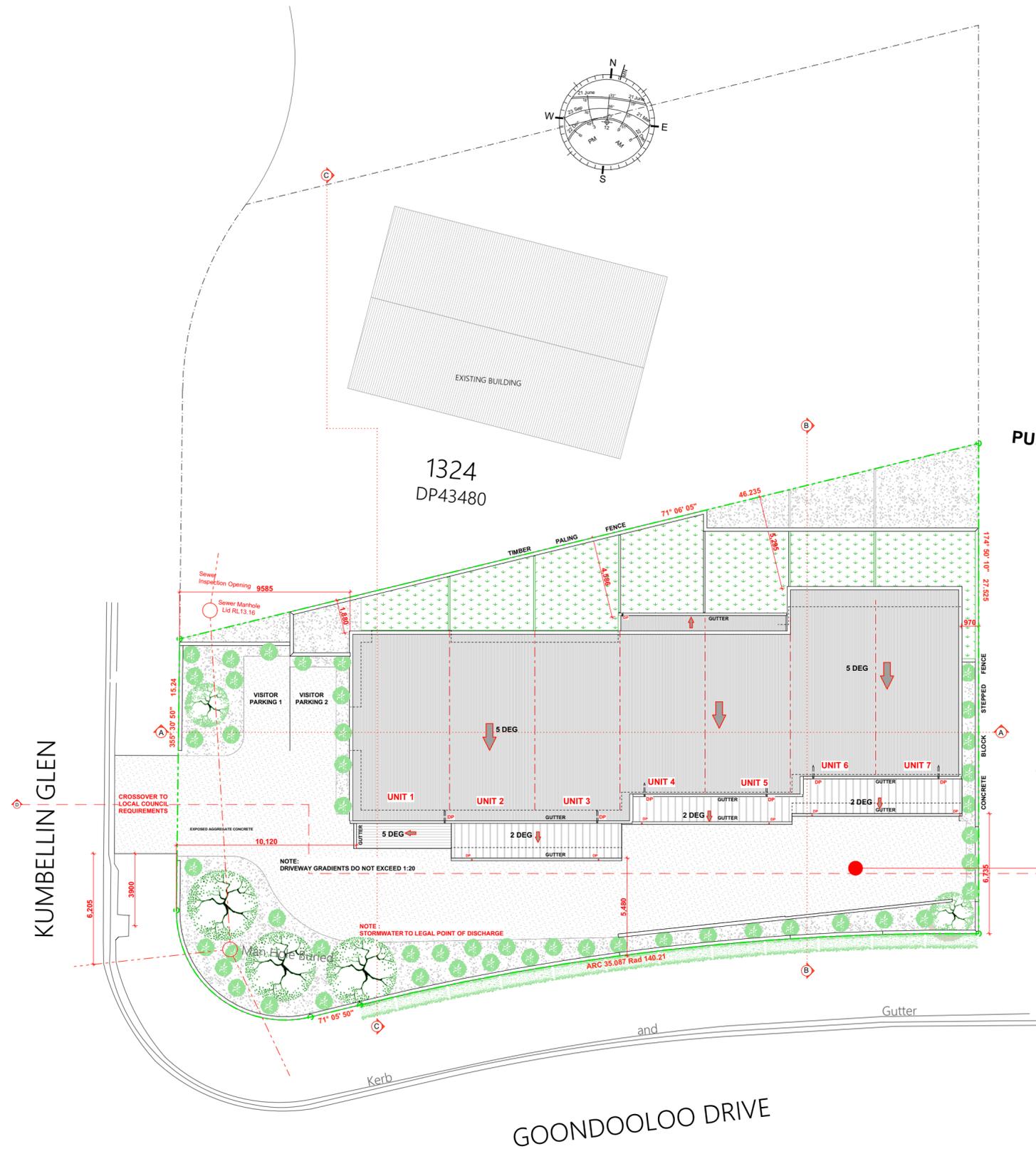
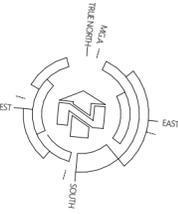


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Townhouse Development	1:100 on A2	J	PERSPECTIVES
8 Kumbellin Glen, Ocean Shores, NSW	drawn	checked	
	SR	Sam Ray	



1147
D.P.243480
PUBLIC RESERVE

1324
DP43480

PROPERTY DESCRIPTION
TOWNHOUSE DEVELOPMENT

LOT 1323 in DP243480
8 KUMBELLIN GLEN,
OCEAN SHORES, NSW ,

LAND SIZE - 1075.00 m²
SITE COVERAGE - approx 450.00 m²
Approx 42.0 %

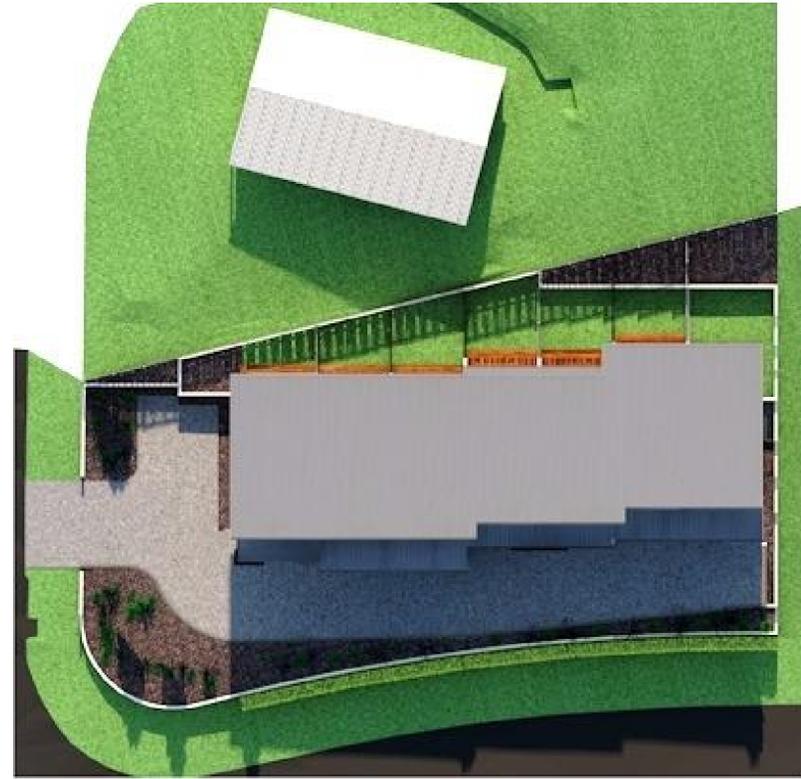
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JUNE 21st 9 am



JUNE 21st noon



JUNE 21st 3 pm

DECEMBER 21st 9 am



DECEMBER 21st noon



DECEMBER 21st 3 pm

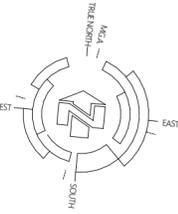


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UNIT 1 GFA AREAS:

GROUND FLOOR (Concession) -	24.89 m ²
FIRST FLOOR LIVING -	36.31 m ²
SECOND FLOOR LIVING -	44.78 m ²

UNIT 2-7 GFA AREAS:

GROUND FLOOR (Concession) -	25.87 m ²
FIRST FLOOR LIVING -	35.21 m ²
SECOND FLOOR LIVING -	39.25 m ²

TOTAL GFA = 527.85 m²

Floor Space Ratio - 0.49:1

SITE NOTES

GROUND SURFACE WATER

FALL GROUND 50mm MIN IN FIRST 1000mm FROM BUILDING

THE HEIGHT OF SLAB ABOVE EXTERNAL FINISHED SURFACE TO BE NOT LESS THAN:

(A) 150mm ABOVE FINISHED GROUND LEVEL
 (B) 100mm ABOVE SANDY WELL DRAINED AREAS
 (C) 50mm ABOVE PAVED OR CONCRETE AREAS WITH FALL AWAY FROM BUILDING

ROOF DRAINAGE

FACE GUTTERS TO HAVE A MIN. FALL OF 1:500
 BOX GUTTERS TO HAVE A MIN. FALL OF 1:100

CATCHMENT AREA	GUTTER
30m ²	115mm D GUTTER
40m ²	125mm D GUTTER
50m ²	150mm D GUTTER
60m ²	150mm D GUTTER

ALL DRAINAGE REQUIREMENTS - STORMWATER, WASTE WATER, SEWER ETC. - REFER TO HYDRAULIC ENGINEERS DETAILS & SPECIFICATIONS.

DOWNPIPES

MIN. SIZE 90mm DIAMETER

MAX. SPACING OF DOWNPIPES IS 12m

DOWNPIPES TO BE FIXED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS & IF MORE THAN 1.2m FROM THE VALLEY PROVISION FOR AN OVERFLOW IS REQUIRED.

STORMWATER

STORMWATER LINES FOR 2 OR MORE DOWNPIPES TO BE 100mm DIA. WITH ALL BRANCHES TO BE 90mm DIA.

STORMWATER LINES SHALL BE TO A MIN. FALL OF 1:60 & WHERE POSSIBLE PLACED AS SHOWN.

100mm COVER TO STORMWATER DRAINAGE.



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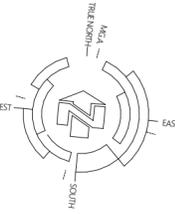


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BASIX & CONSTRUCTION NOTES

CONCRETE SLAB ON GROUND
 EXPOSED AGG CONCRETE DRIVEWAY

EXTERIOR WALLS
 190mm CONCRETE BLOCK WALLS & RETAINING WALLS
 90mm TREATED PINE FRAMING
 WEATHERBOARD CLADDING
 FC SHEETING WITH COVER BATTENS
 60mm RENDERED FOAM CLADDING

INTERNAL LINING
 PLASTERBOARD WITH STANDARD CORNICE

ROOFING
 COLORBOND CUSTOM ORB @ 5 DEGS & KLIPLOK ROOF SHEETING @ 2 DEGS
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POWDERCOATED ALUMINIUM WINDOWS & DOORS
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TIMBER FLOORING
 CERAMIC TILES TO WET AREAS
 HWD TIMBER STAIR TREADS
 HWD TIMBER DECKING WITH TREATED TIMBER STEPS

TREATED TIMBER POSTS & FENCE PALINGS

REFER TO ENGINEERS DETAILS
 REFER TO UNIT SPECIFICATIONS FOR ALL PRODUCT SELECTIONS
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WATER TANKS - 1500 LITRE POLY + PUMP
 REVERSE CYCLE HEATING & COOLING
 250 LITRE ELECTRIC HOT WATER SYSTEM
 3kW SOLAR SYSTEM TO EACH UNIT

BASIX DETAILS
 REFER TO BASIX REPORT
 REFER TO natHERS REPORT

The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.

The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.

This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.

The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.

The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.

Where there is an in-slab heating or cooling system, the applicant must:

- (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or
- (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.

NOTE : REFER TO PAGE 16
UNIT 1 HAS BEEN DESIGNED FOR ADAPTABLE HOUSING
AS PER AUSTRALIAN STANDARDS AS 4299 - 1995

UNIT 1 AREAS:

GROUND FLOOR -	44.93 m ²
FIRST FLOOR LIVING -	44.28 m ²
ALFRESCO -	16.42 m ²
SECOND FLOOR LIVING -	51.30 m ²
TOTAL =	156.93 m²

UNIT 2 AREAS:

GROUND FLOOR -	44.21 m ²
FIRST FLOOR LIVING -	42.63 m ²
ALFRESCO -	15.81 m ²
SECOND FLOOR LIVING -	45.12 m ²
TOTAL =	147.77 m²

UNIT 3 AREAS:

GROUND FLOOR -	44.21 m ²
FIRST FLOOR LIVING -	42.63 m ²
ALFRESCO -	15.81 m ²
SECOND FLOOR LIVING -	45.12 m ²
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UNIT 4 AREAS:

GROUND FLOOR -	44.21 m ²
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UNIT 5 AREAS:

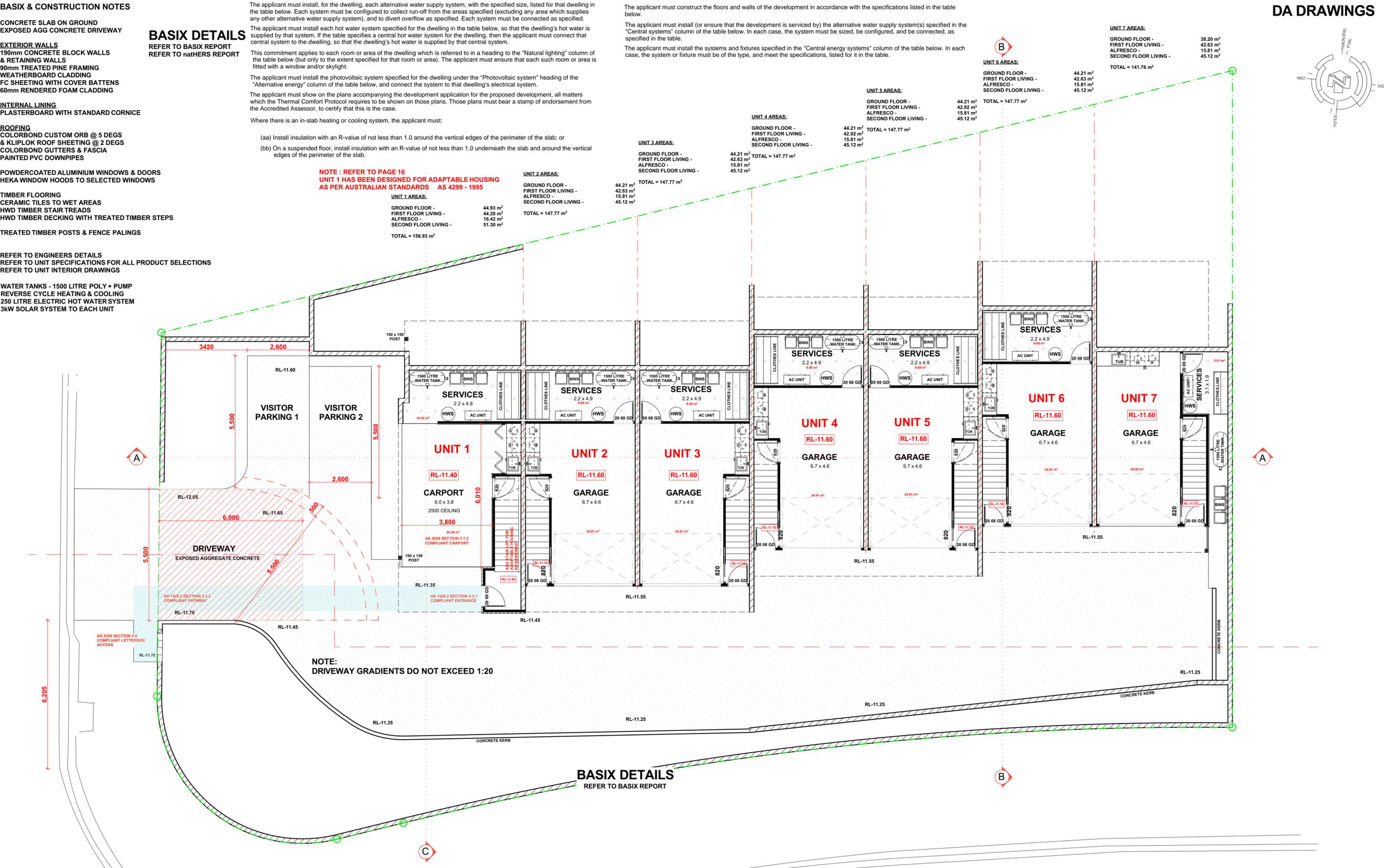
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UNIT 6 AREAS:

GROUND FLOOR -	38.20 m ²
FIRST FLOOR LIVING -	42.63 m ²
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TOTAL =	141.76 m²

UNIT 7 AREAS:

GROUND FLOOR -	44.21 m ²
FIRST FLOOR LIVING -	42.92 m ²
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NOTE:
 DRIVEWAY GRADIENTS DO NOT EXCEED 1:20

BASIX DETAILS
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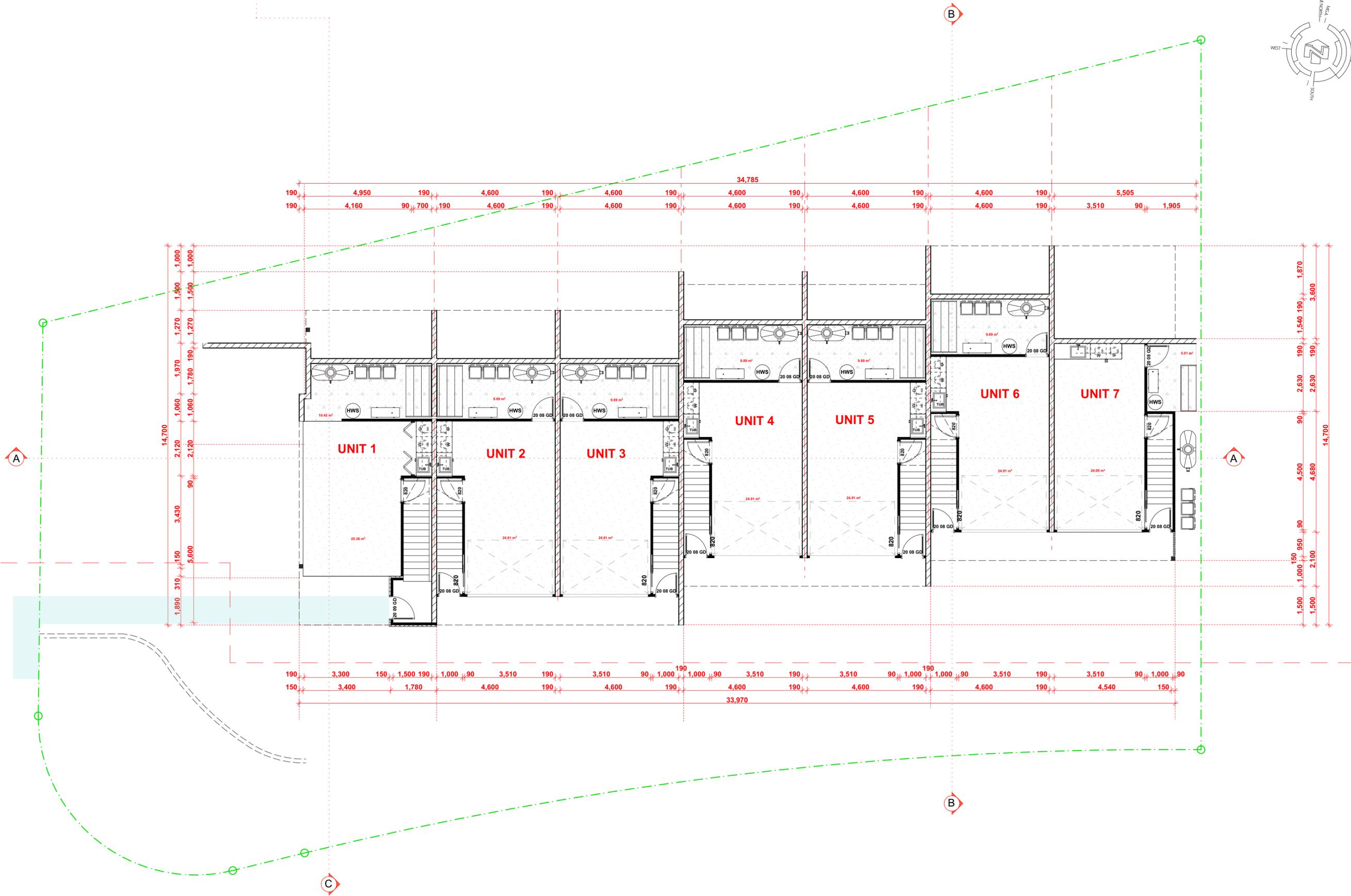
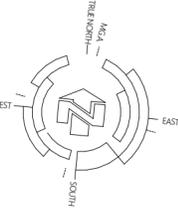
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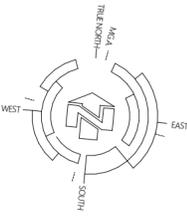


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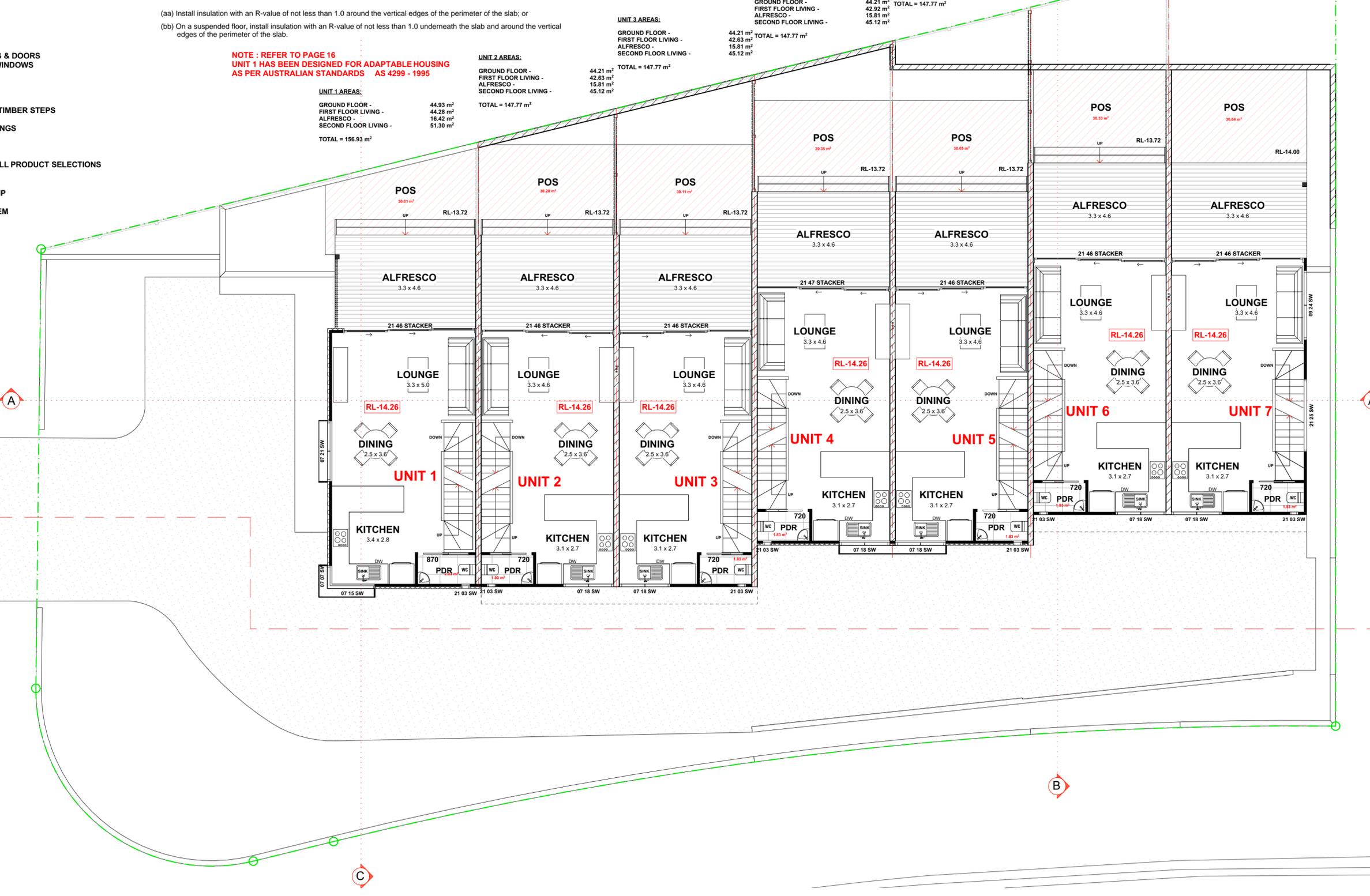
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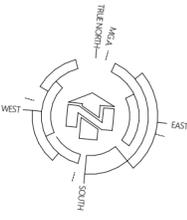
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TREATED TIMBER POSTS & FENCE PALINGS

REFER TO ENGINEERS DETAILS
 REFER TO UNIT SPECIFICATIONS FOR ALL PRODUCT SELECTIONS
 REFER TO UNIT INTERIOR DRAWINGS

WATER TANKS - 1500 LITRE POLY + PUMP
 REVERSE CYCLE HEATING & COOLING
 250 LITRE ELECTRIC HOT WATER SYSTEM
 3kW SOLAR SYSTEM TO EACH UNIT

BASIX DETAILS
 REFER TO BASIX REPORT
 REFER TO natHERS REPORT

The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.

The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.

This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.

The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.

The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.

Where there is an in-slab heating or cooling system, the applicant must:

- (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or
- (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.

NOTE : REFER TO PAGE 16
UNIT 1 HAS BEEN DESIGNED FOR ADAPTABLE HOUSING
AS PER AUSTRALIAN STANDARDS AS 4299 - 1995

UNIT 1 AREAS:

GROUND FLOOR -	44.93 m ²
FIRST FLOOR LIVING -	44.28 m ²
ALFRESCO -	16.42 m ²
SECOND FLOOR LIVING -	51.30 m ²
TOTAL =	156.93 m²

UNIT 2 AREAS:

GROUND FLOOR -	44.21 m ²
FIRST FLOOR LIVING -	42.63 m ²
ALFRESCO -	15.81 m ²
SECOND FLOOR LIVING -	45.12 m ²
TOTAL =	147.77 m²

UNIT 3 AREAS:

GROUND FLOOR -	44.21 m ²
FIRST FLOOR LIVING -	42.63 m ²
ALFRESCO -	15.81 m ²
SECOND FLOOR LIVING -	45.12 m ²
TOTAL =	147.77 m²

UNIT 4 AREAS:

GROUND FLOOR -	44.21 m ²
FIRST FLOOR LIVING -	42.92 m ²
ALFRESCO -	15.81 m ²
SECOND FLOOR LIVING -	45.12 m ²
TOTAL =	147.77 m²

UNIT 5 AREAS:

GROUND FLOOR -	44.21 m ²
FIRST FLOOR LIVING -	42.92 m ²
ALFRESCO -	15.81 m ²
SECOND FLOOR LIVING -	45.12 m ²
TOTAL =	147.77 m²

UNIT 6 AREAS:

GROUND FLOOR -	44.21 m ²
FIRST FLOOR LIVING -	42.92 m ²
ALFRESCO -	15.81 m ²
SECOND FLOOR LIVING -	45.12 m ²
TOTAL =	147.77 m²

UNIT 7 AREAS:

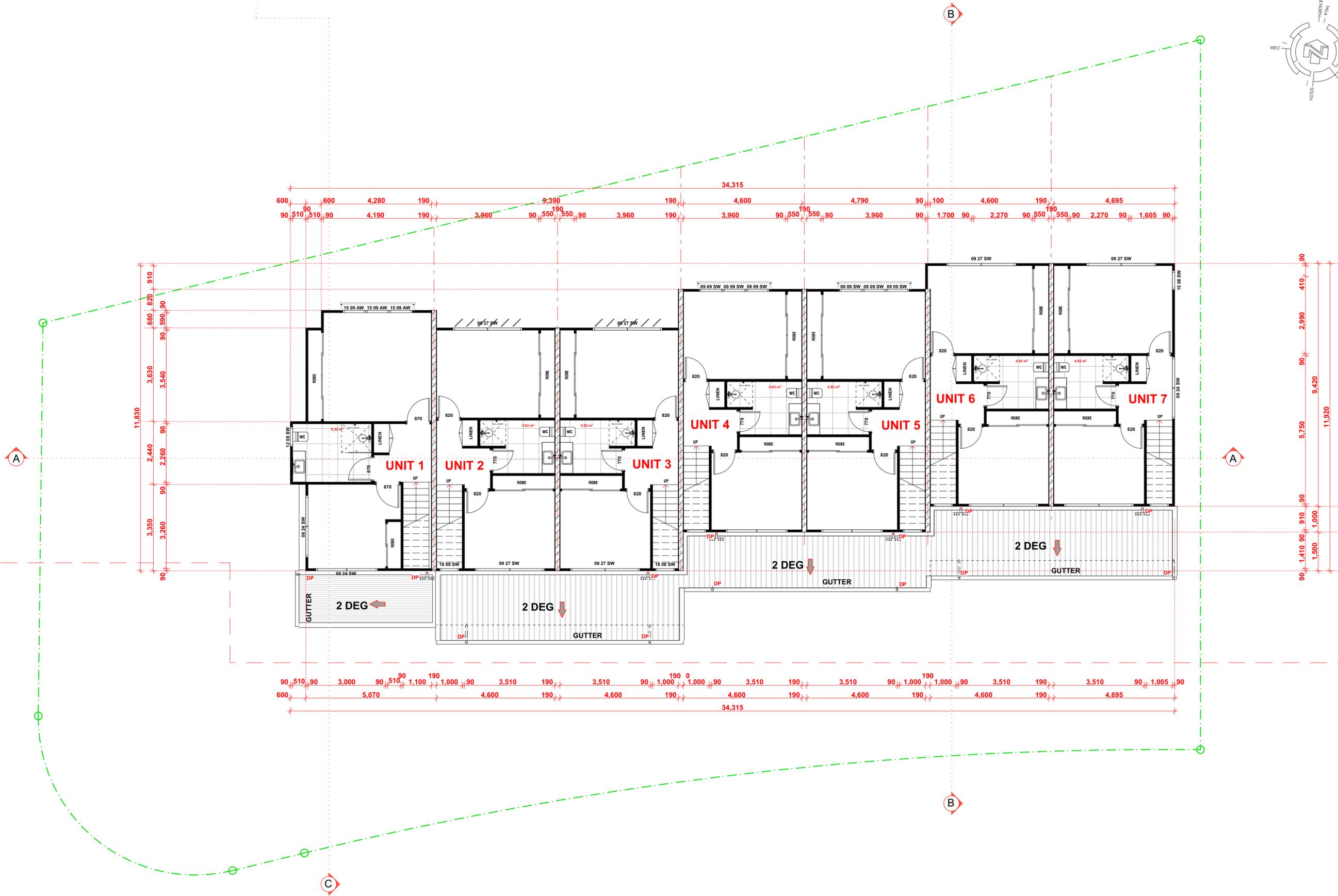
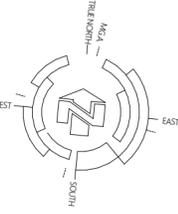
GROUND FLOOR -	38.20 m ²
FIRST FLOOR LIVING -	42.63 m ²
ALFRESCO -	15.81 m ²
SECOND FLOOR LIVING -	45.12 m ²
TOTAL =	141.76 m²



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A	14/05/19	Preliminary Layout	SR	G	25/10/19	Basix notes added	AP
B	03/07/19	DA drawings	AP	H	11/11/19	DA Drawing Revisions	SR
C	06/08/19	DA Drawing Revisions	AP	I	26/08/20	Adaptable Floorplans Added + Path	AP
D	16/08/19	Updated DA Drawings	AP	J	20/10/20	MOVING UNITS + REVISIONS	AP
E	03/10/19	DA Drawing Revisions	AP				
F	17/10/19	Drawing Additions	AP				

client	project number	drawing number	drawing print date
Adam Mangleson	19013	06	21/10/2020
project	scale	issue	drawing name
Townhouse Development	1:100 on A2	J	SECOND FLOOR PLAN
8 Kumbellin Glen, Ocean Shores, NSW	drawn	checked	
	SR	Sam Ray	

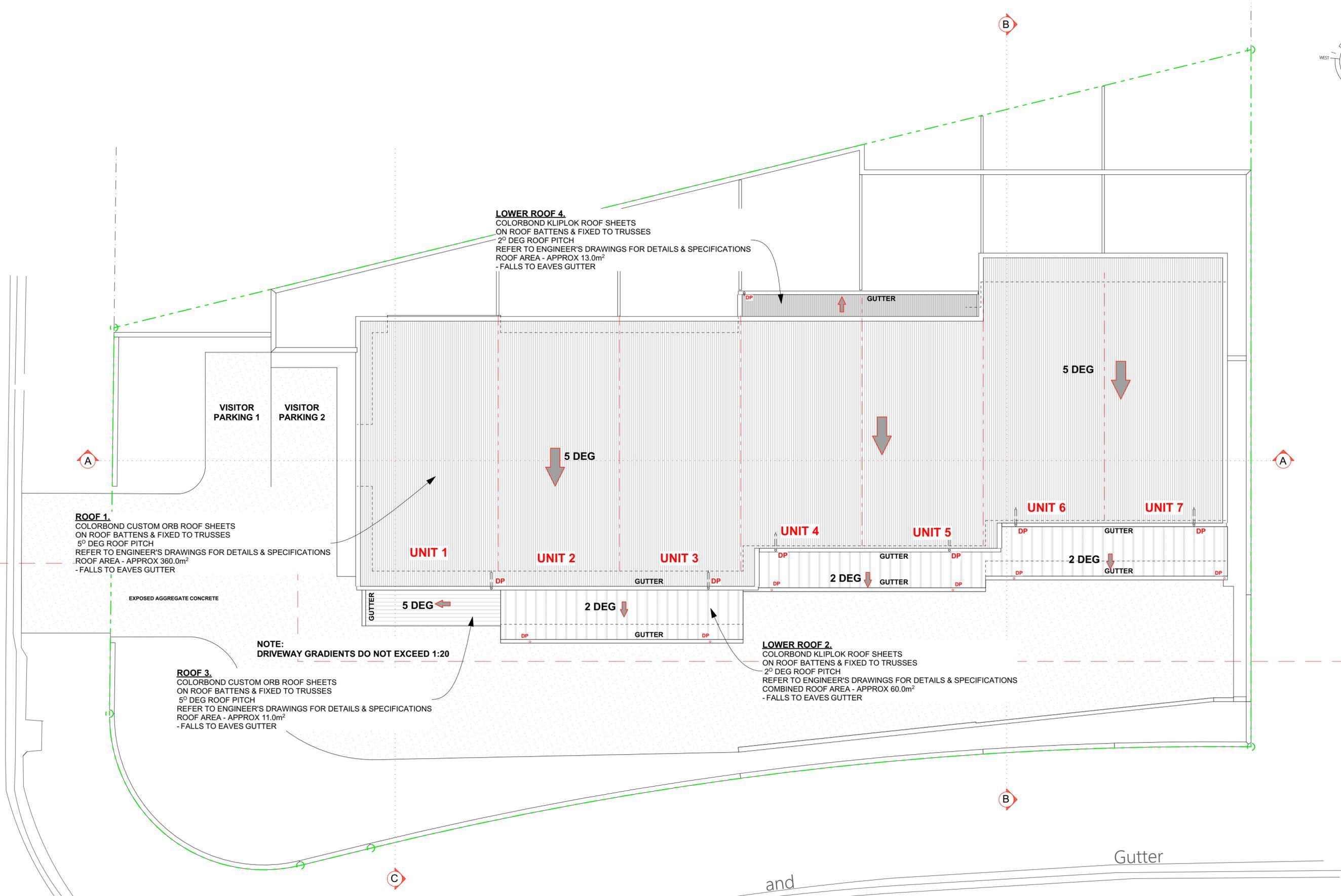
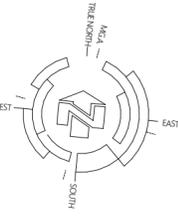


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F	17/10/19	Drawing Additions	AP				

client	project number	drawing number	drawing print date
Adam Mangleson	19013	07	21/10/2020
project	scale	issue	drawing name
Townhouse Development	1:100 on A2	J	SECOND FLOOR DIMENSIONS
8 Kumbellin Glen, Ocean Shores, NSW	drawn SR	checked Sam Ray	



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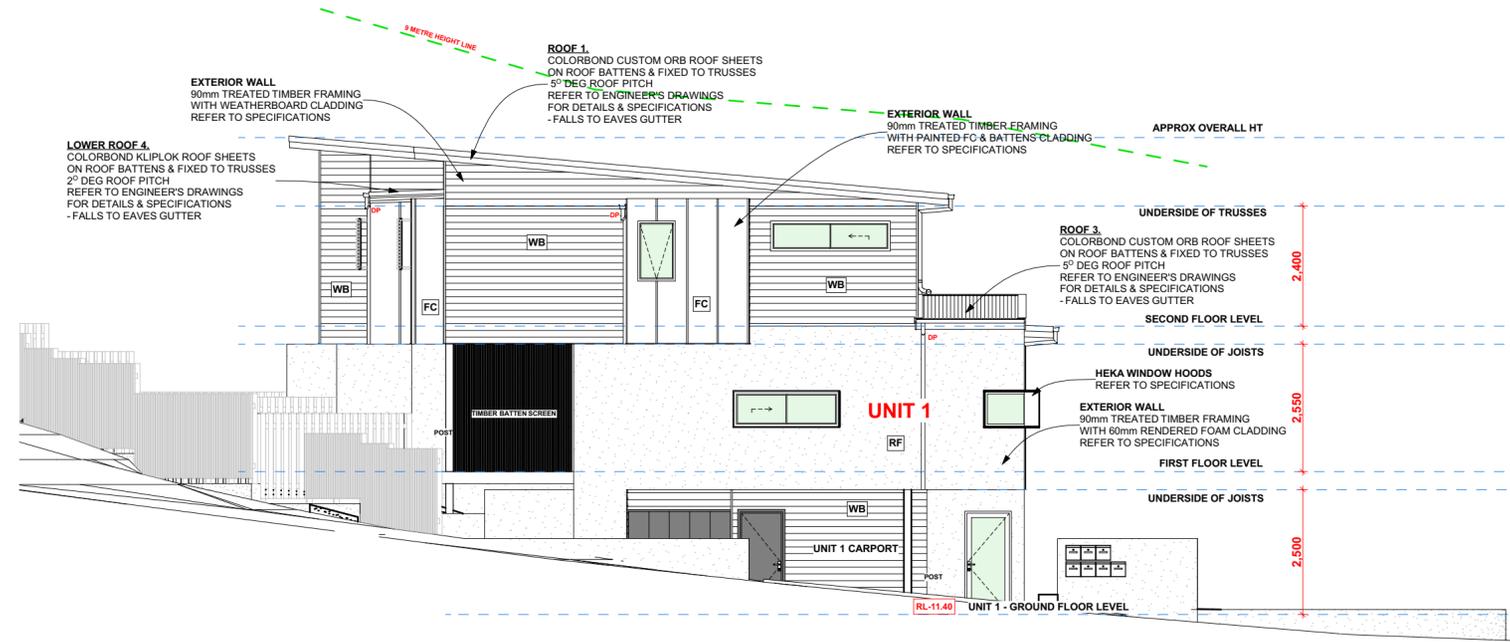
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E	03/10/19	DA Drawing Revisions	AP				
F	17/10/19	Drawing Additions	AP				

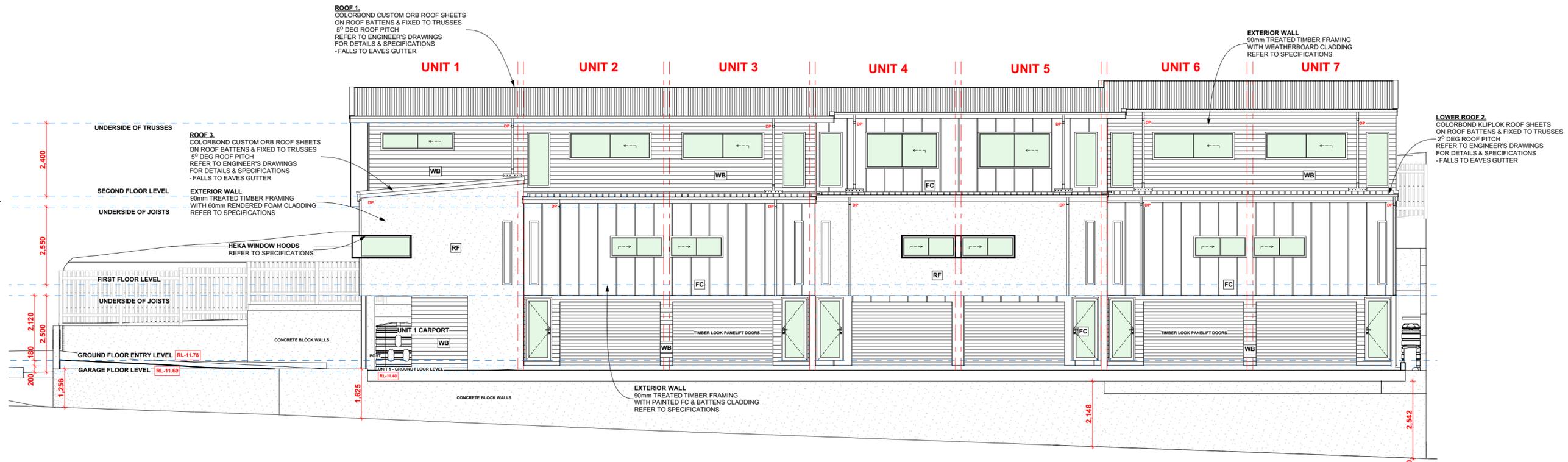
client	project number	drawing number	drawing print date
Adam Mangleson	19013	08	21/10/2020
project	scale	issue	drawing name
Townhouse Development	1:100 on A2	J	ROOF PLAN
8 Kumbellin Glen, Ocean Shores, NSW	drawn SR	checked Sam Ray	

NOTE
FOR ALL STRUCTURAL SIZING,
FOUNDATIONS, SLABS,
FLOOR SYSTEMS, ROOF SYSTEMS,
TIEDOWN AND BRACING
REFER TO ENGINEERS DRAWINGS.

WEST - ELEVATION 1



SOUTH - ELEVATION 2



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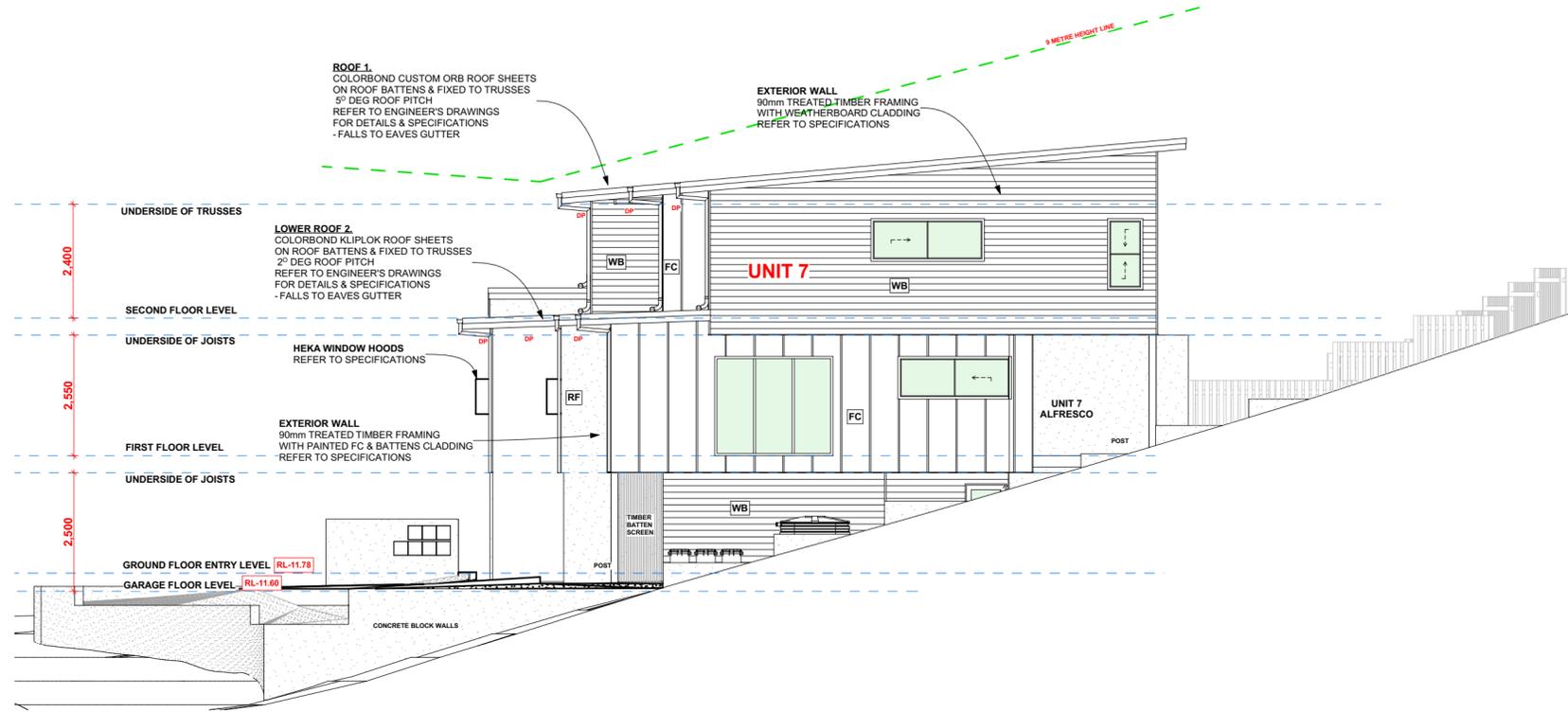
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E	03/10/19	DA Drawing Revisions	AP				
F	17/10/19	Drawing Additions	AP				

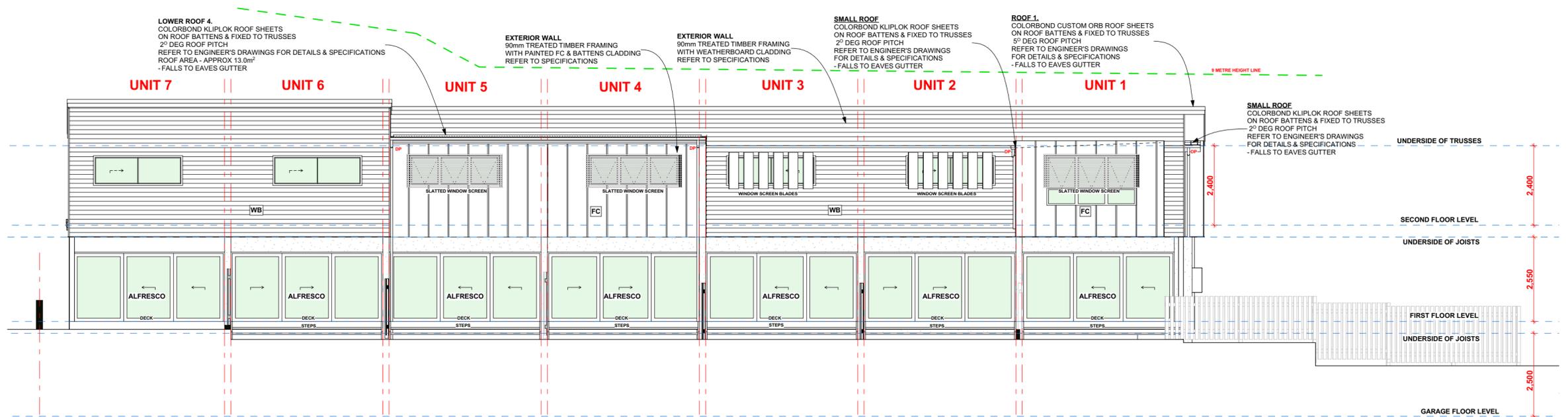
client	project number	drawing number	drawing print date
Adam Mangleson	19013	09	21/10/2020
project	scale	issue	drawing name
Townhouse Development	1:100 on A2	J	WEST & SOUTH ELEVATIONS
8 Kumbellin Glen, Ocean Shores, NSW	drawn SR	checked Sam Ray	

NOTE
FOR ALL STRUCTURAL SIZING,
FOUNDATIONS, SLABS,
FLOOR SYSTEMS, ROOF SYSTEMS,
TIEDOWN AND BRACING
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EAST - ELEVATION 3



NORTH - ELEVATION 4



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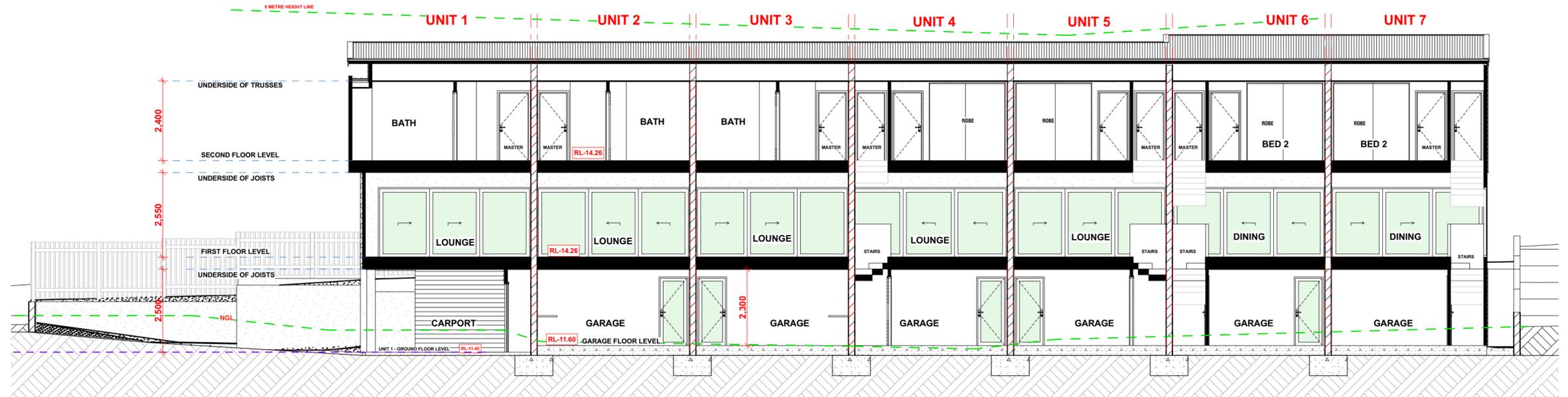
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E	03/10/19	DA Drawing Revisions	AP				
F	17/10/19	Drawing Additions	AP				

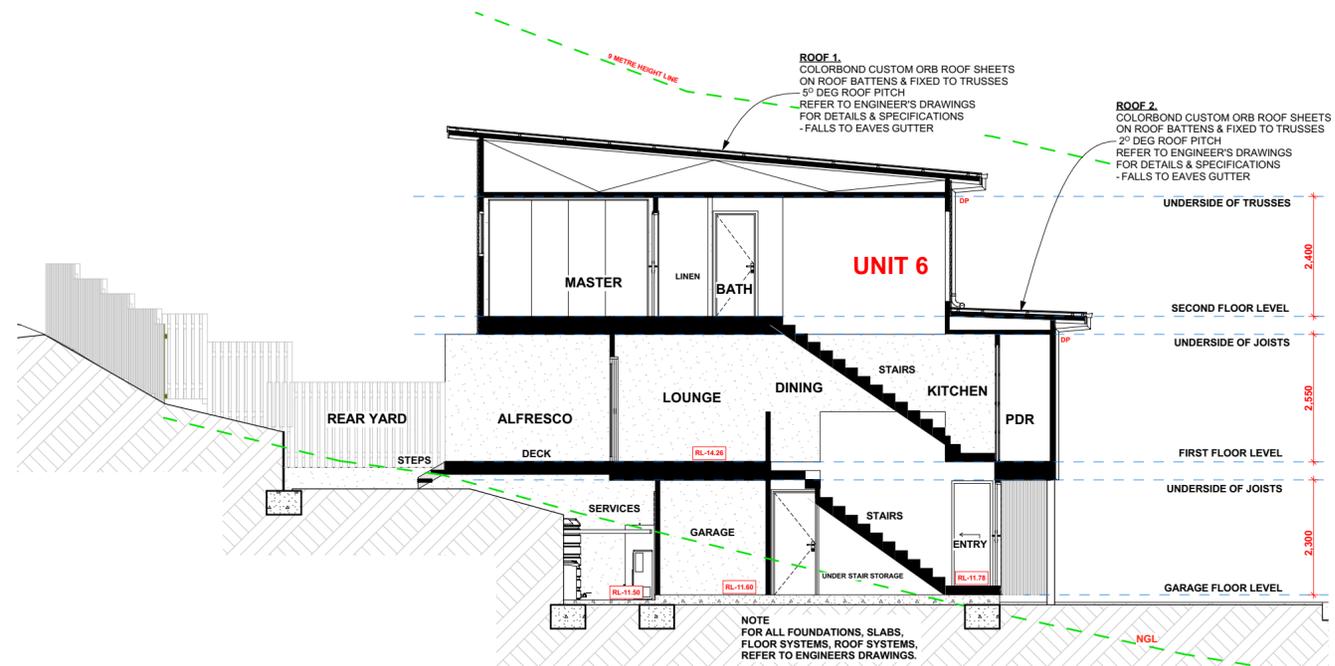
client	project number	drawing number	drawing print date
Adam Mangleson	19013	10	21/10/2020
project	scale	issue	drawing name
Townhouse Development	1:100 on A2	J	EAST & NORTH ELEVATIONS
8 Kumbellin Glen, Ocean Shores, NSW	drawn	checked	
	SR	Sam Ray	

NOTE:
FOR ALL STRUCTURAL SIZING,
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FLOOR SYSTEMS, ROOF SYSTEMS,
TIEDOWN AND BRACING
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SECTION A



SECTION B



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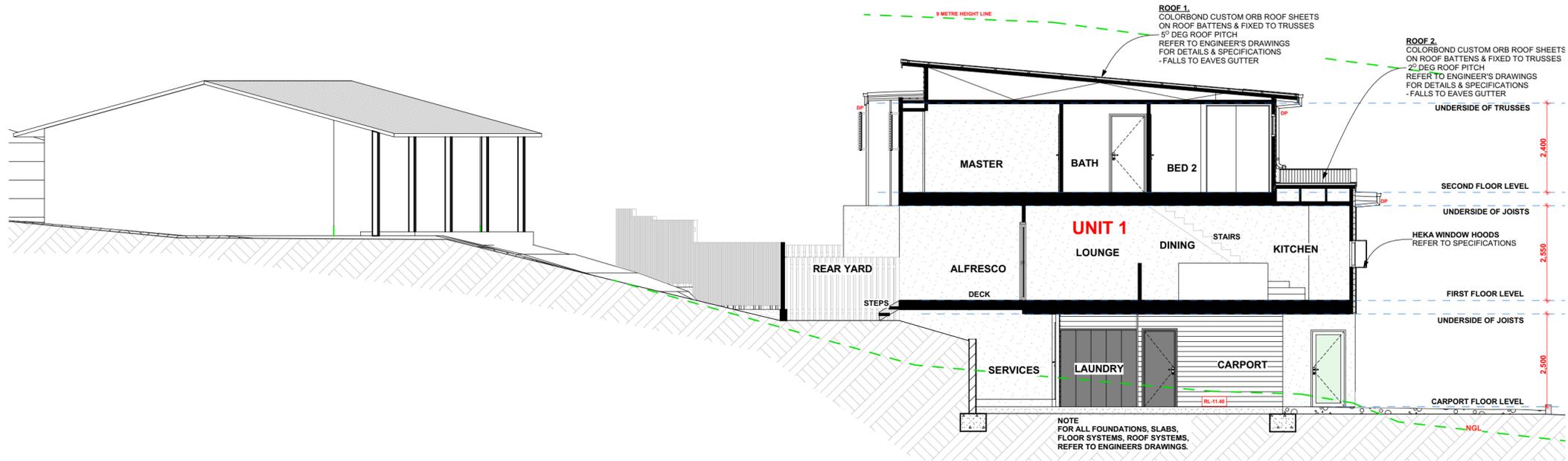
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D	16/08/19	Updated DA Drawings	AP	J	20/10/20	MOVING UNITS + REVISIONS	AP
E	03/10/19	DA Drawing Revisions	AP				
F	17/10/19	Drawing Additions	AP				

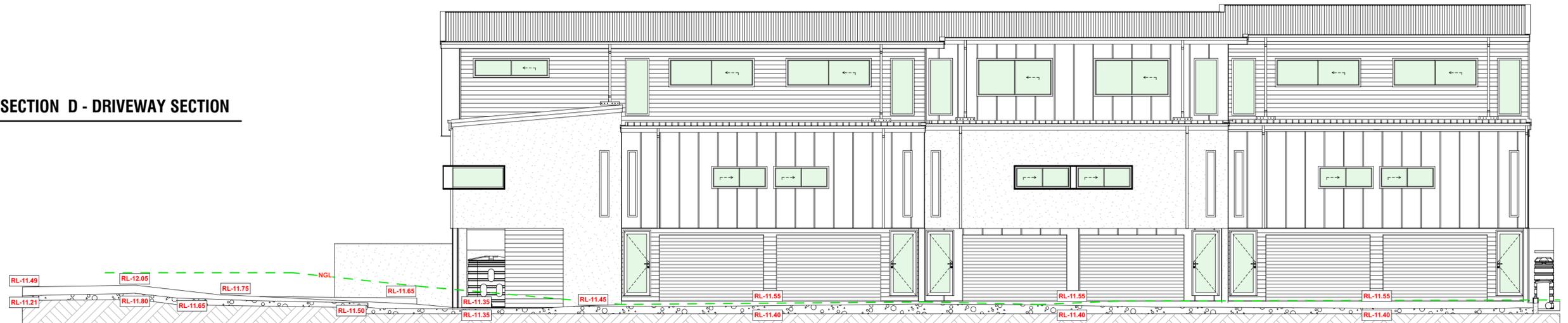
client	project number	drawing number	drawing print date
Adam Mangleson	19013	11	21/10/2020
project	scale	issue	drawing name
Townhouse Development	1:100 on A2	J	SECTION A & B
8 Kumbellin Glen, Ocean Shores, NSW	drawn SR	checked Sam Ray	

NOTE
FOR ALL STRUCTURAL SIZING,
FOUNDATIONS, SLABS,
FLOOR SYSTEMS, ROOF SYSTEMS,
TIEDOWN AND BRACING
REFER TO ENGINEERS DRAWINGS.

SECTION C



SECTION D - DRIVEWAY SECTION



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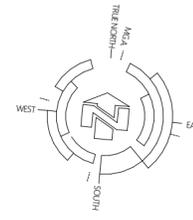
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D	16/08/19	Updated DA Drawings	AP	J	20/10/20	MOVING UNITS + REVISIONS	AP
E	03/10/19	DA Drawing Revisions	AP				
F	17/10/19	Drawing Additions	AP				

client	project number	drawing number	drawing print date
Adam Mangleson	19013	12	21/10/2020
project	scale	issue	drawing name
Townhouse Development	1:100 on A2	J	SECTION C + DRIVEWAY SECTION
8 Kumbellin Glen, Ocean Shores, NSW	drawn SR	checked Sam Ray	

BASIX DETAILS

REFER TO BASIX REPORT

The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).



Landscaping Legend

Fill	Name
	Grass / Turf
	Mulch
	Deep Soil Zone

SITE AREA = 1075.0 m²

TOTAL LANDSCAPING AREA REQUIRED = 490.00 m²
 PRIVATE OPEN SPACE AREAS = 249.53 m²
 LANDSCAPE AREAS = 243.83 m²
 TOTAL LANDSCAPING AREA ACHIEVED = 493.36 m²

TOTAL DEEP SOIL AREA REQUIRED = 170.70 m²
 TOTAL DEEP SOIL AREA ACHIEVED = 176.50 m²

UNIT 1 AREAS:

GROUND FLOOR -	44.93 m ²
FIRST FLOOR LIVING -	44.28 m ²
ALFRESCO -	16.42 m ²
SECOND FLOOR LIVING -	51.30 m ²
TOTAL =	156.93 m²

UNIT 2 AREAS:

GROUND FLOOR -	44.21 m ²
FIRST FLOOR LIVING -	42.63 m ²
ALFRESCO -	15.81 m ²
SECOND FLOOR LIVING -	45.12 m ²
TOTAL =	147.77 m²

UNIT 3 AREAS:

GROUND FLOOR -	44.21 m ²
FIRST FLOOR LIVING -	42.63 m ²
ALFRESCO -	15.81 m ²
SECOND FLOOR LIVING -	45.12 m ²
TOTAL =	147.77 m²

UNIT 4 AREAS:

GROUND FLOOR -	44.21 m ²
FIRST FLOOR LIVING -	42.92 m ²
ALFRESCO -	15.81 m ²
SECOND FLOOR LIVING -	45.12 m ²
TOTAL =	147.77 m²

UNIT 5 AREAS:

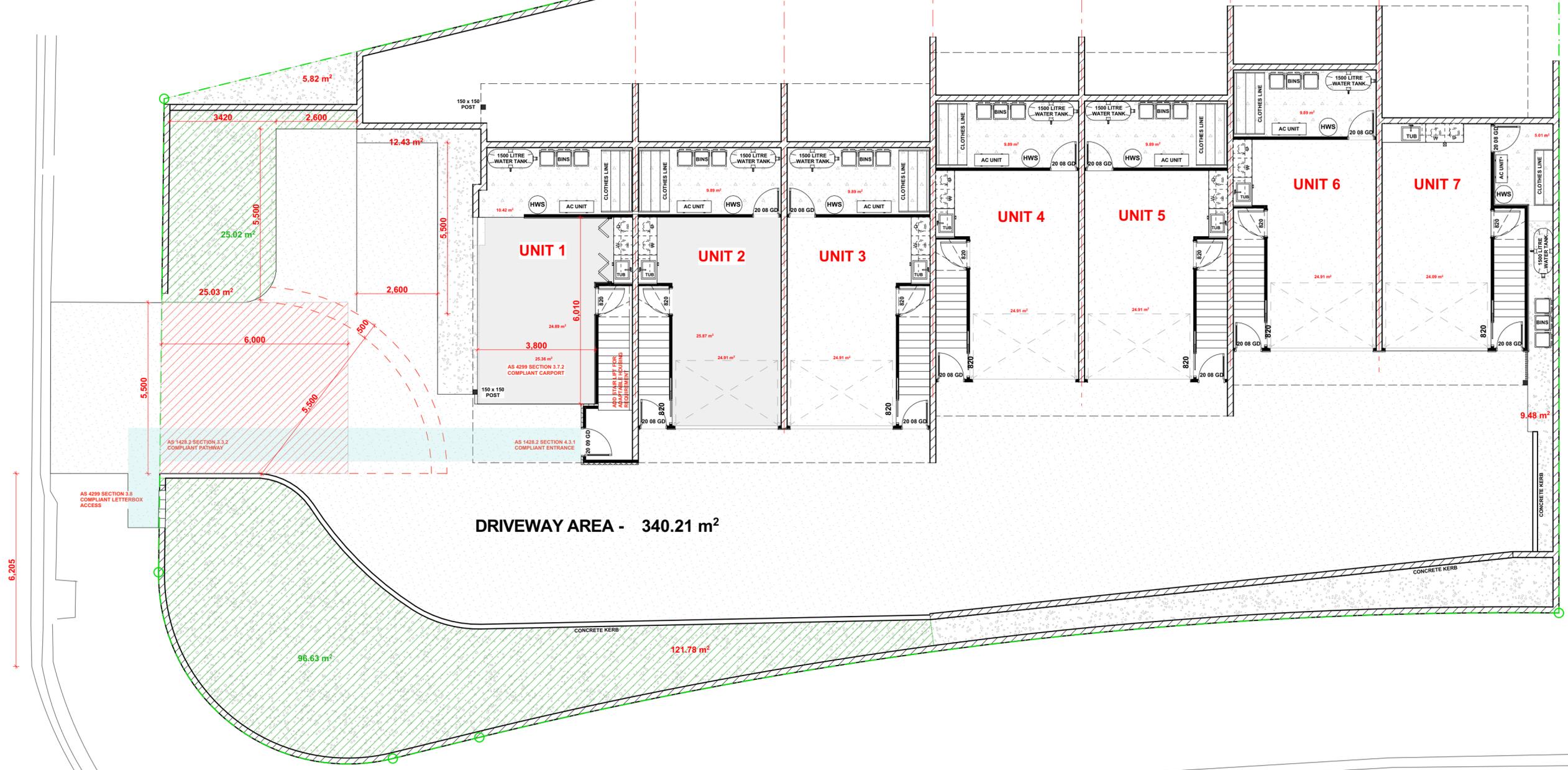
GROUND FLOOR -	44.21 m ²
FIRST FLOOR LIVING -	42.92 m ²
ALFRESCO -	15.81 m ²
SECOND FLOOR LIVING -	45.12 m ²
TOTAL =	147.77 m²

UNIT 6 AREAS:

GROUND FLOOR -	44.21 m ²
FIRST FLOOR LIVING -	42.92 m ²
ALFRESCO -	15.81 m ²
SECOND FLOOR LIVING -	45.12 m ²
TOTAL =	147.77 m²

UNIT 7 AREAS:

GROUND FLOOR -	38.20 m ²
FIRST FLOOR LIVING -	42.63 m ²
ALFRESCO -	15.81 m ²
SECOND FLOOR LIVING -	45.12 m ²
TOTAL =	141.76 m²



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E	03/10/19	DA Drawing Revisions	AP				
F	17/10/19	Drawing Additions	AP				

client	project number	drawing number	drawing print date
Adam Mangleson	19013	13	21/10/2020
project	scale	issue	drawing name
Townhouse Development	1:100 on A2	J	GROUND FLOOR LANDSCAPING
8 Kumbellin Glen, Ocean Shores, NSW	drawn	checked	
	SR	Sam Ray	



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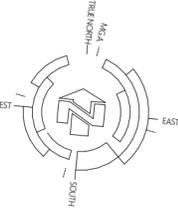


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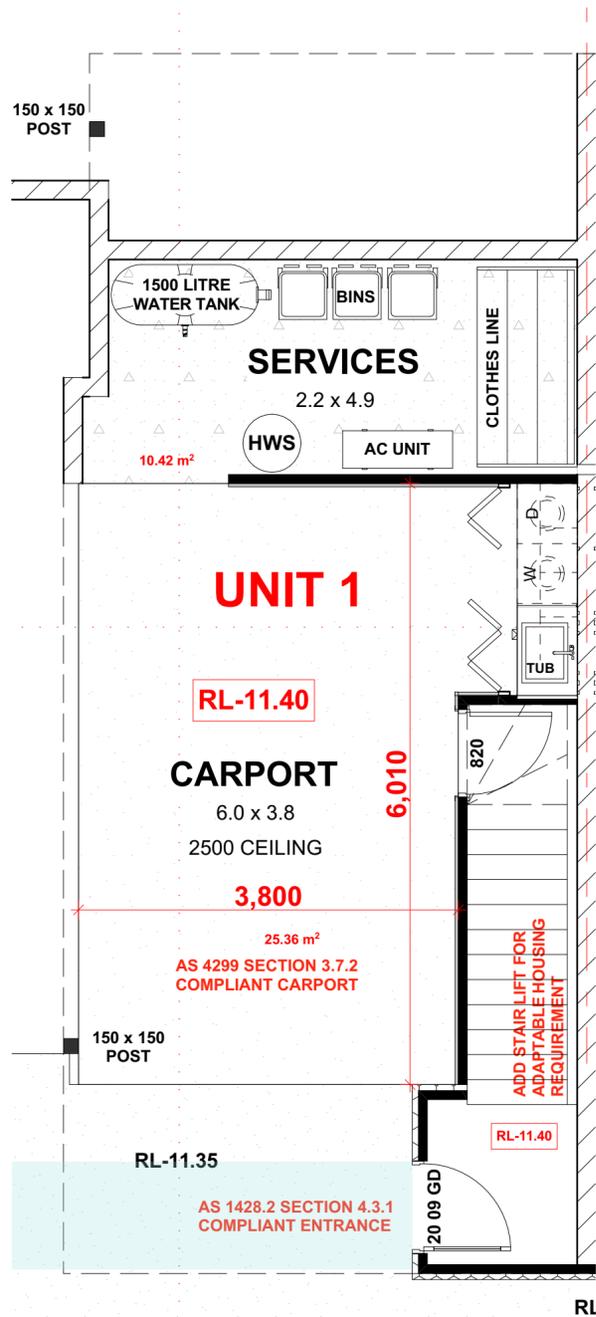
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E	03/10/19	DA Drawing Revisions	AP				
F	17/10/19	Drawing Additions	AP				

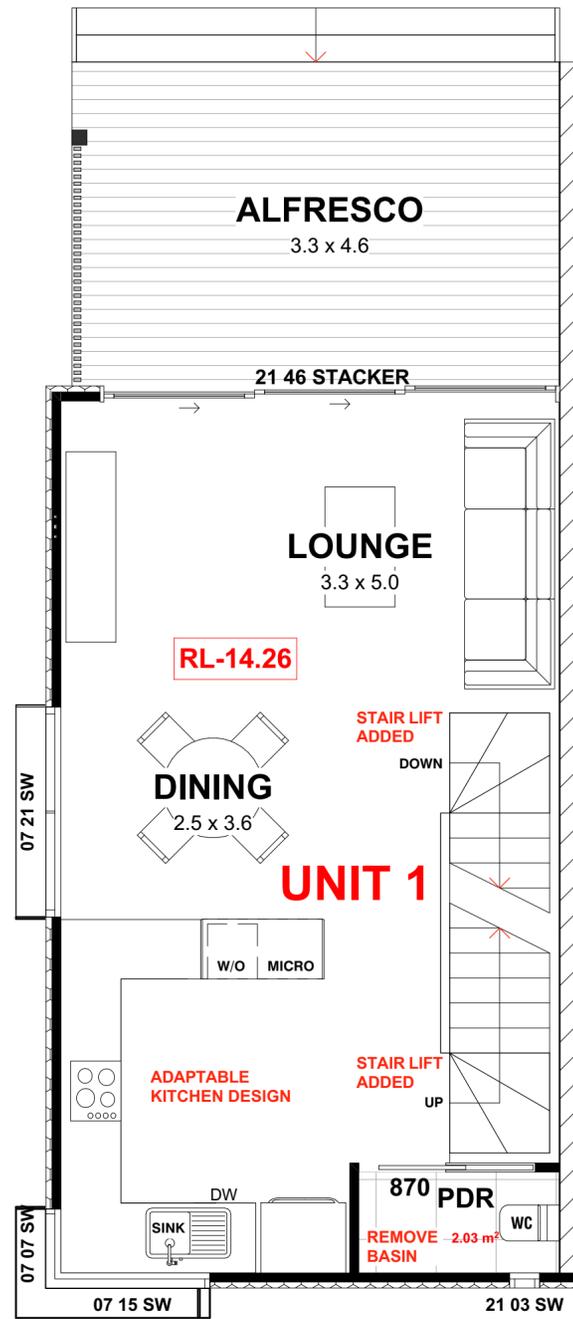
client	project number	drawing number	drawing print date
Adam Mangleson	19013	15	21/10/2020
project	scale	issue	drawing name
Townhouse Development	1:100 on A2	J	COLOURS & MATERIALS
8 Kumbellin Glen, Ocean Shores, NSW	drawn	checked	
	SR	Sam Ray	



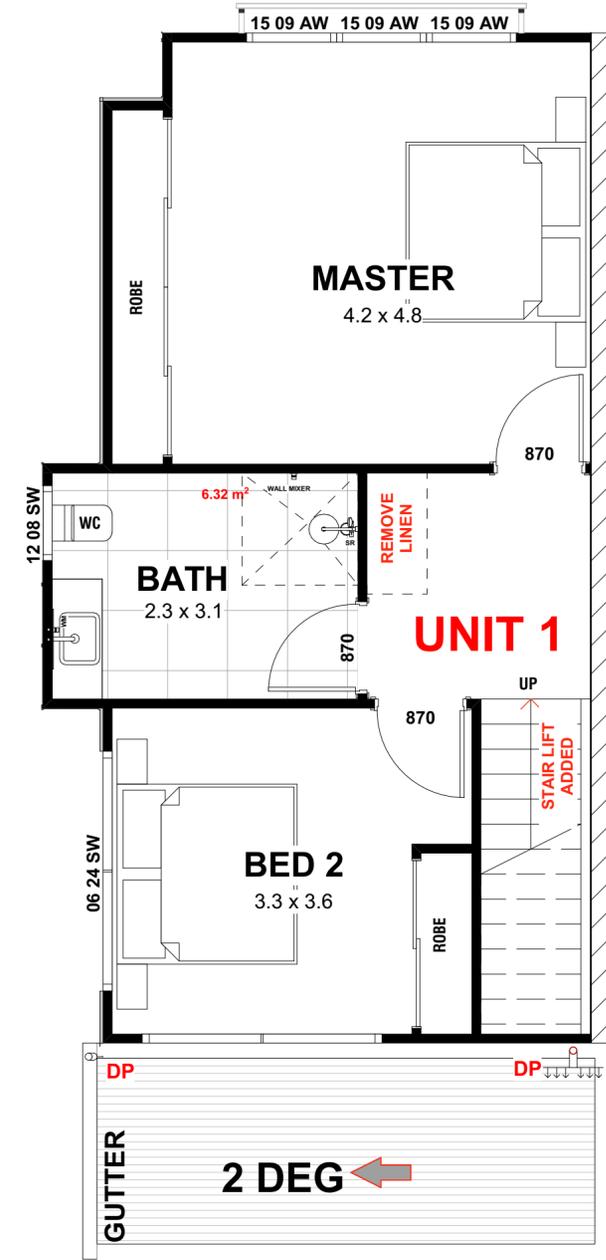
NOTE :
UNIT 1 HAS BEEN DESIGNED FOR ADAPTABLE HOUSING
AS PER AUSTRALIAN STANDARDS AS 4299 - 1995



GROUND FLOOR



FIRST FLOOR



SECOND FLOOR

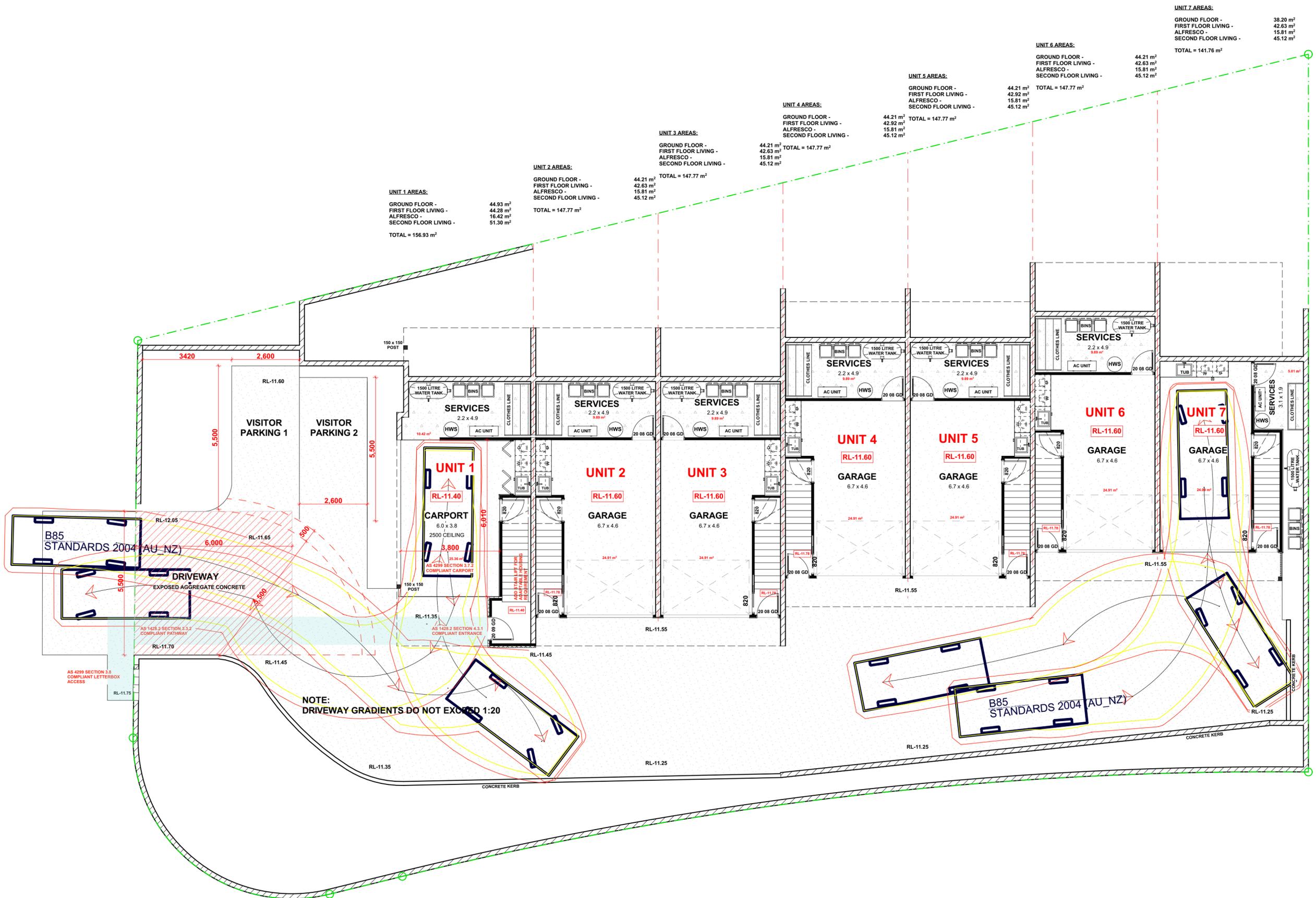
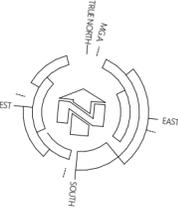


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F	17/10/19	Drawing Additions	AP				

client	project number	drawing number	drawing print date
Adam Mangleson	19013	16	21/10/2020
project	scale	issue	drawing name
Townhouse Development	1:50 on A2	J	ADAPTABLE FLOOR PLANS
8 Kumbellin Glen, Ocean Shores, NSW	drawn	checked	
	SR	Sam Ray	



Unit	Room	Area (m ²)	Total
UNIT 1 AREAS:	GROUND FLOOR -	44.93 m ²	TOTAL = 156.93 m ²
	FIRST FLOOR LIVING -	44.28 m ²	
	ALFRESCO -	16.42 m ²	
	SECOND FLOOR LIVING -	51.30 m ²	
UNIT 2 AREAS:	GROUND FLOOR -	44.21 m ²	TOTAL = 147.77 m ²
	FIRST FLOOR LIVING -	42.63 m ²	
	ALFRESCO -	15.81 m ²	
	SECOND FLOOR LIVING -	45.12 m ²	
UNIT 3 AREAS:	GROUND FLOOR -	44.21 m ²	TOTAL = 147.77 m ²
	FIRST FLOOR LIVING -	42.63 m ²	
	ALFRESCO -	15.81 m ²	
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UNIT 4 AREAS:	GROUND FLOOR -	44.21 m ²	TOTAL = 147.77 m ²
	FIRST FLOOR LIVING -	42.63 m ²	
	ALFRESCO -	15.81 m ²	
	SECOND FLOOR LIVING -	45.12 m ²	
UNIT 5 AREAS:	GROUND FLOOR -	44.21 m ²	TOTAL = 147.77 m ²
	FIRST FLOOR LIVING -	42.63 m ²	
	ALFRESCO -	15.81 m ²	
	SECOND FLOOR LIVING -	45.12 m ²	
UNIT 6 AREAS:	GROUND FLOOR -	44.21 m ²	TOTAL = 147.77 m ²
	FIRST FLOOR LIVING -	42.63 m ²	
	ALFRESCO -	15.81 m ²	
	SECOND FLOOR LIVING -	45.12 m ²	
UNIT 7 AREAS:	GROUND FLOOR -	38.20 m ²	TOTAL = 141.76 m ²
	FIRST FLOOR LIVING -	42.63 m ²	
	ALFRESCO -	15.81 m ²	
	SECOND FLOOR LIVING -	45.12 m ²	

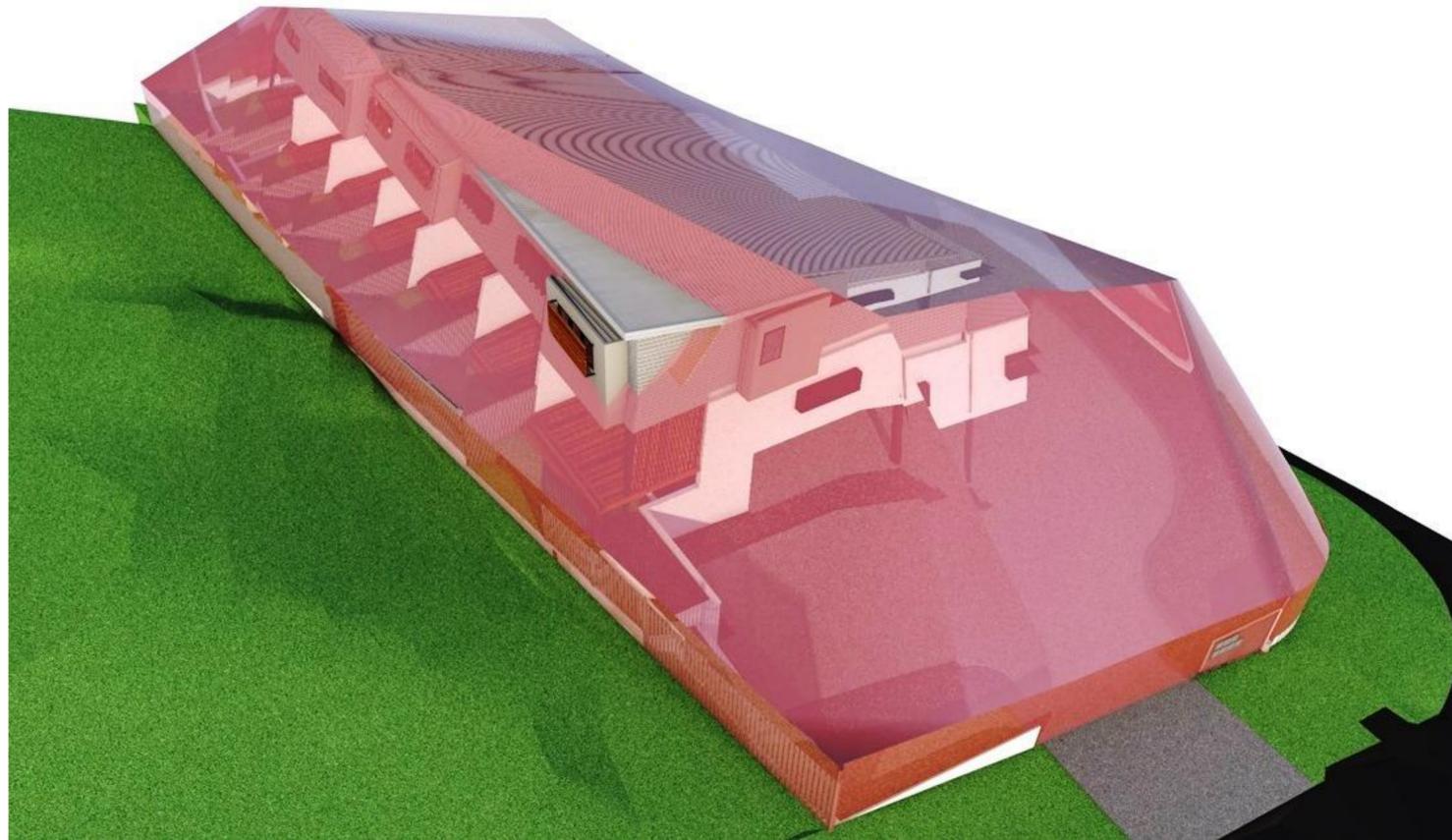
NOTE: DRIVEWAY GRADIENTS DO NOT EXCEED 1:20



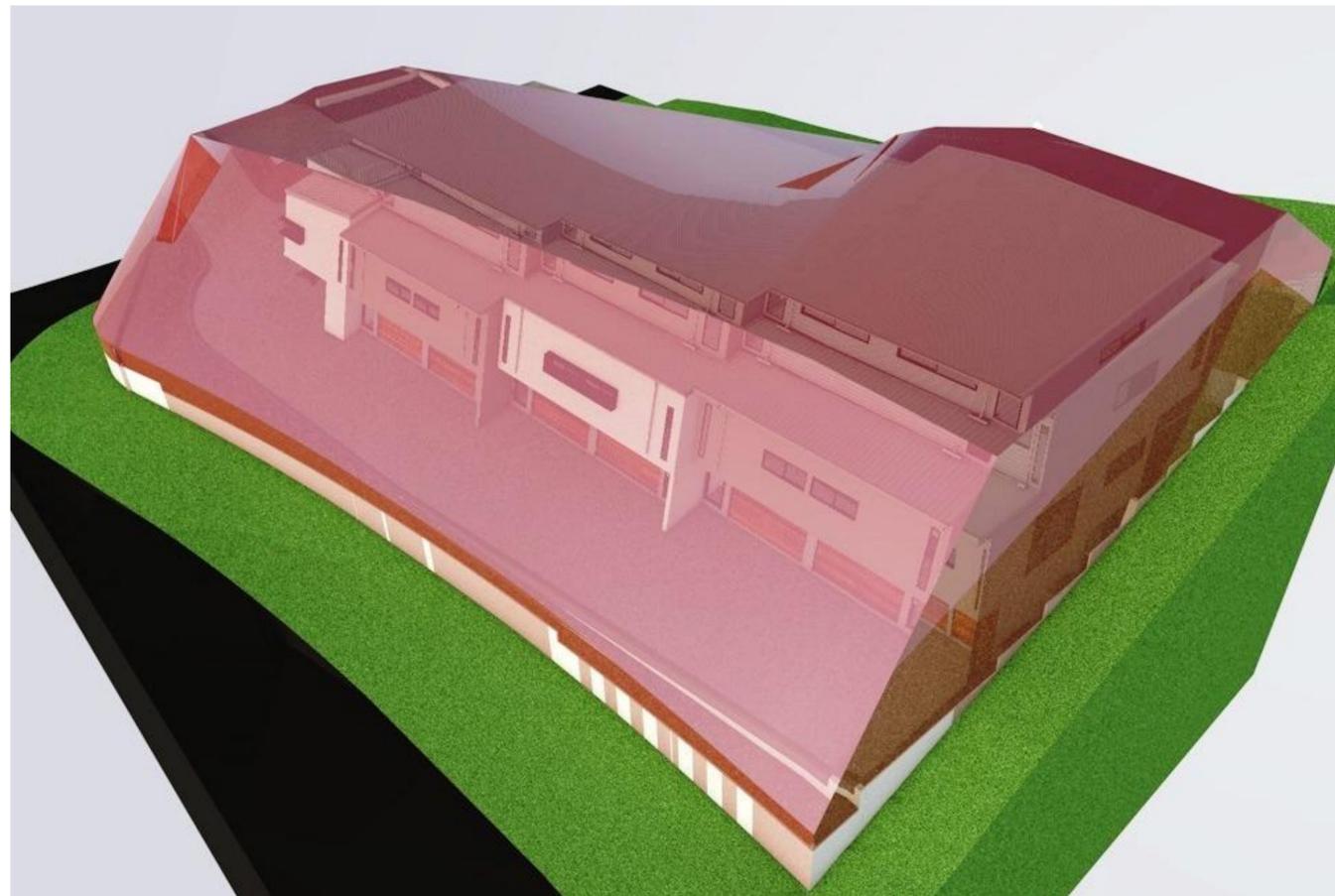
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rev.	date	description	initi.	rev.	date	description	initi.
A	14/05/19	Preliminary Layout	SR	G	25/10/19	Basix notes added	AP
B	03/07/19	DA drawings	AP	H	11/11/19	DA Drawing Revisions	SR
C	06/08/19	DA Drawing Revisions	AP	I	26/08/20	Adaptable Floorplans Added + Path	AP
D	16/08/19	Updated DA Drawings	AP	J	20/10/20	MOVING UNITS + REVISIONS	AP
E	03/10/19	DA Drawing Revisions	AP				
F	17/10/19	Drawing Additions	AP				

client	project number	drawing number	drawing print date
Adam Mangleson	19013	17	21/10/2020
project	scale	issue	drawing name
Townhouse Development	1:100 on A2	J	TURNING PATHS
8 Kumbellin Glen, Ocean Shores, NSW	drawn	checked	
	SR	Sam Ray	



IMAGES SHOWING PROPOSED BUILDING CUTTING THROUGH THE BUILDING HEIGHT PLANE



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F	17/10/19	Drawing Additions	AP				

client	project number	drawing number	drawing print date
Adam Mangleson	19013	18	21/10/2020
project	scale	issue	drawing name
Townhouse Development		J	HEIGHT PLANE IMAGES
8 Kumbellin Glen, Ocean Shores, NSW	drawn	checked	
	SR	Sam Ray	

Note – Underground Services

The location of the services shown hereon have been derived from a combination of field survey of visible components and records obtained from the appropriate authority.

The exact location of these services, and any others may therefore vary and should be verified with the relevant authorities and or the "Dial before you Dig" service prior to any works being undertaken.

Should any work be undertaken on or adjacent to the site to which this survey refers it is the responsibility of the person doing the work to locate any service that may be affected by that work.

Whilst due care was used in compiling this information, no responsibility can be accepted or taken by Ardill Payne & Partners for any inaccuracies or omissions shown or not shown hereon.

Note –

Pegs placed at all boundary corners

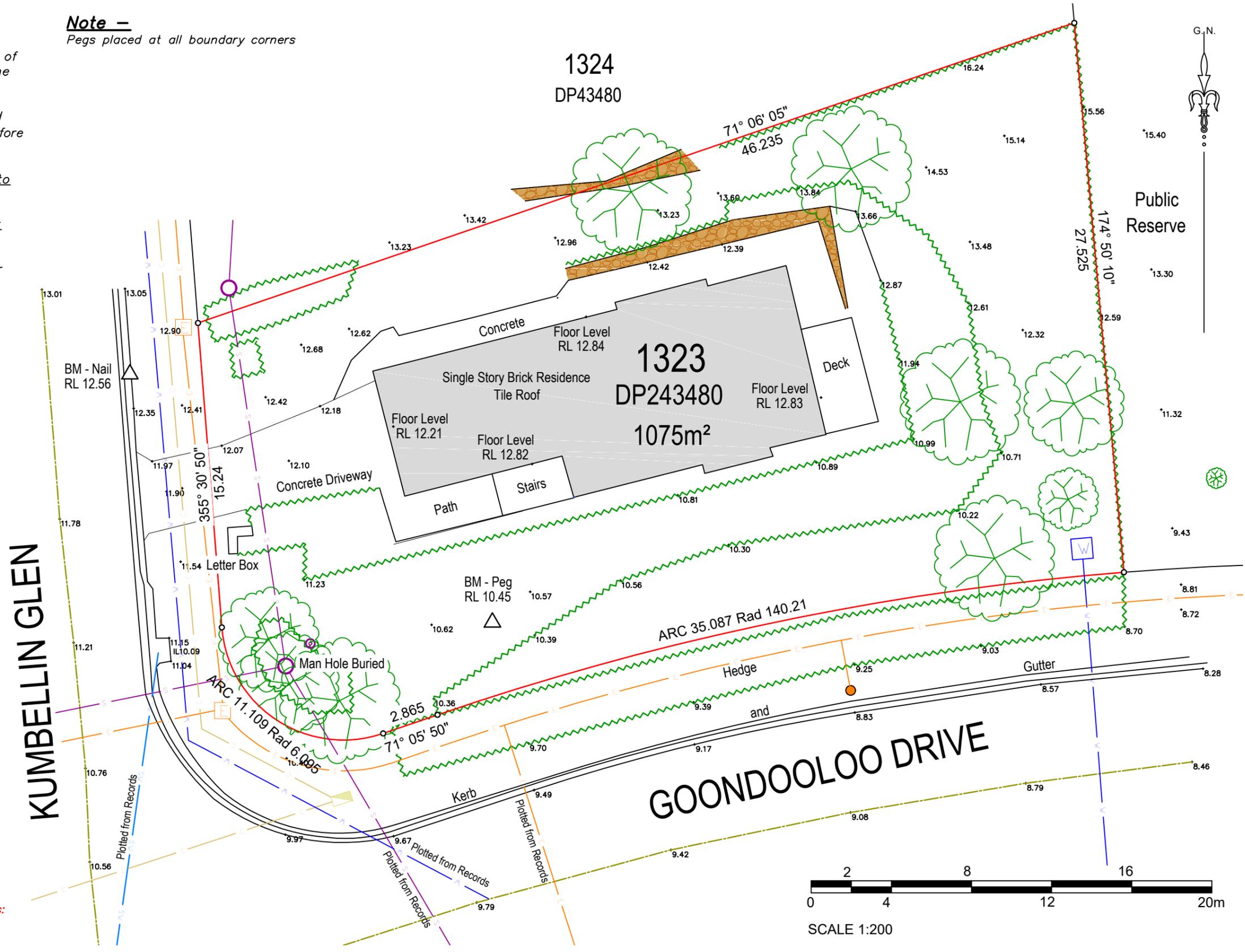
LEGEND

- Sewerage Inspection Point
- Sewerage Manhole
- Light Pole
- Electricity pit
- Communication Pit
- Bench Mark
- Water Meter
- Rock Wall
- Tree (Spread approx to scale)
- Garden/Vegetation
- Stormwater Main
- Water Main
- Electricity Main (underground)
- Communications Main (underground)
- Sewerage Main
- Road Centreline

Note – Level Datum

Level Datum: AHD
 Origin: SSM 70734 (RL 3.829 AHD)
 Contour Interval: 0.5m

NOTE: For Surveyed Points, refer to Autocad Layers: "X-MARK" "X-CODE" & "X-RL"



Project:
8 Kumbellin Glen, Ocean Shores
Lot 1323 in DP243480

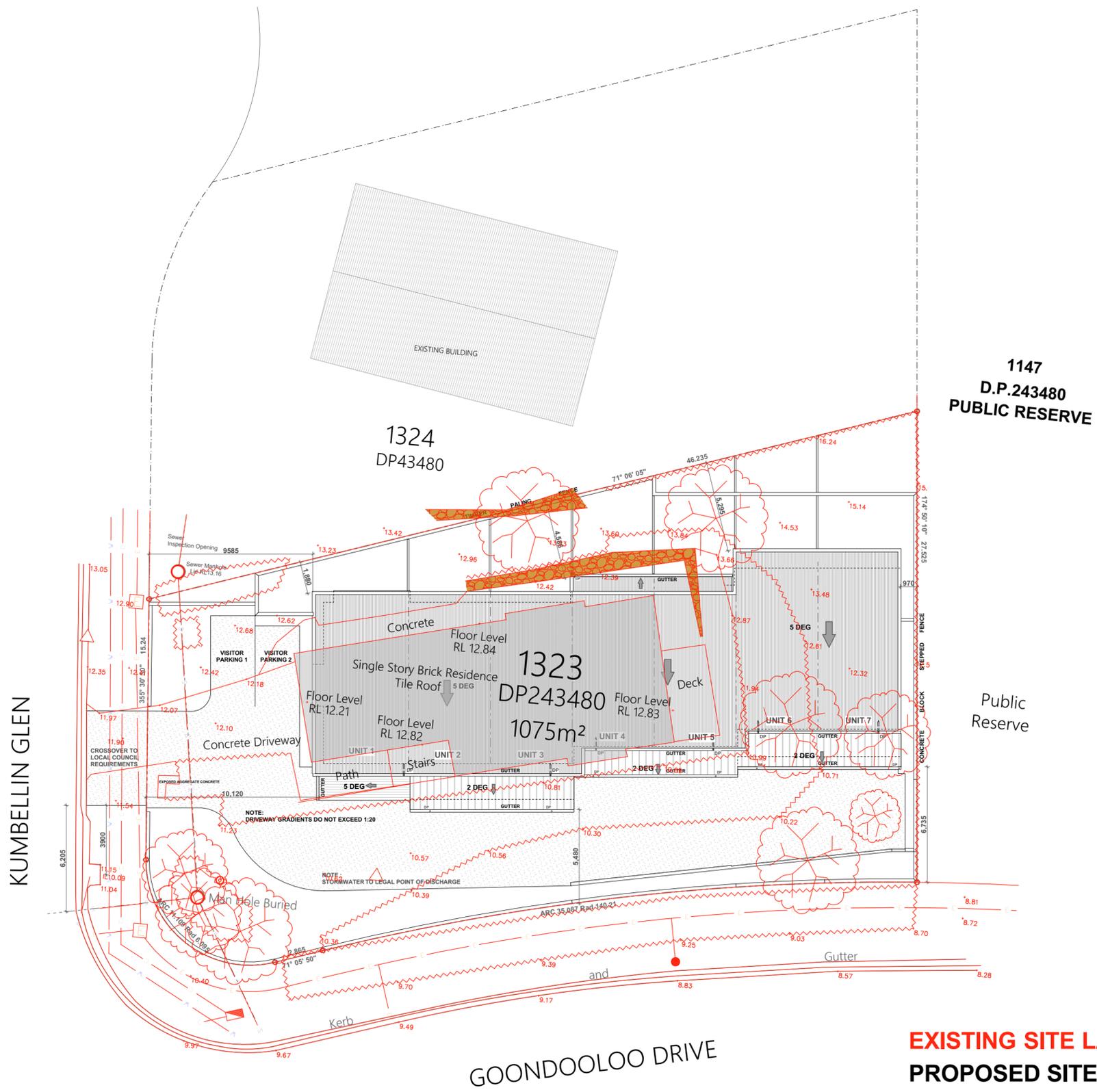
Client: **Mr Adam Mangelson**
 Title:
Contour & Detail Survey

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Surveyed	BJ PE	Scale at A3	1:200
Drawn	BJ	Datum	A.H.D.
Date	10/8/17	Acad File	8430DS
Checked	RJJ	Approved	
Job No.	8430	Dwg No.	S01
		Issue	

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client	project number	drawing number	drawing print date
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project	scale	issue	drawing name
Townhouse Development	1:200 on A2	J	SITE OVERLAY
8 Kumbellin Glen, Ocean Shores, NSW	drawn	checked	
	SR	Sam Ray	