

client:

Adam Mangleson

project:

Townhouse Development

8 Kumbellin Glen,  
Ocean Shores, NSW

job no.

19013

Page no    Layout Name

	COVER SHEET
	PERSPECTIVES
	SHADOW IMAGES
	SITE ANALYSIS
01	PROPOSED SITE PLAN
02	GROUND FLOOR PLAN
03	GROUND FLOOR DIMENSIONS
04	FIRST FLOOR PLAN
05	FIRST FLOOR DIMENSIONS
06	SECOND FLOOR PLAN
07	SECOND FLOOR DIMENSIONS
08	ROOF PLAN
09	WEST & SOUTH ELEVATIONS
10	EAST & NORTH ELEVATIONS
11	SECTION A & B
12	SECTION C + DRIVEWAY SECTION
13	GROUND FLOOR LANDSCAPING
14	FIRST FLOOR LANDSCAPING
15	COLOURS & MATERIALS
16	ADAPTABLE FLOOR PLANS
17	TURNING PATHS
18	HEIGHT PLANE IMAGES
19	SURVEY



STORY DESIGN COLLECTIVE

www.storydesign.com.au      info@storydesign.com.au

0415 484 738      QBCC Lic # 1135254

SURFERS PARADISE      BANORA POINT

Copyright: This document is the property of Story Design Collective and may not be used in whole or in part without permission. Legal Action will be taken against any person infringing the copyright.

rev.	date	description
A	14/05/19	Preliminary Layout
B	03/07/19	DA drawings
C	06/08/19	DA Drawing Revisions
D	16/08/19	Updated DA Drawings
E	03/10/19	DA Drawing Revisions
F	17/10/19	Drawing Additions

rev.	date	description
G	25/10/19	Basix notes added
H	11/11/19	DA Drawing Revisions
I	26/08/20	Adaptable Floorplans Added + Path
J	20/10/20	MOVING UNITS + REVISIONS





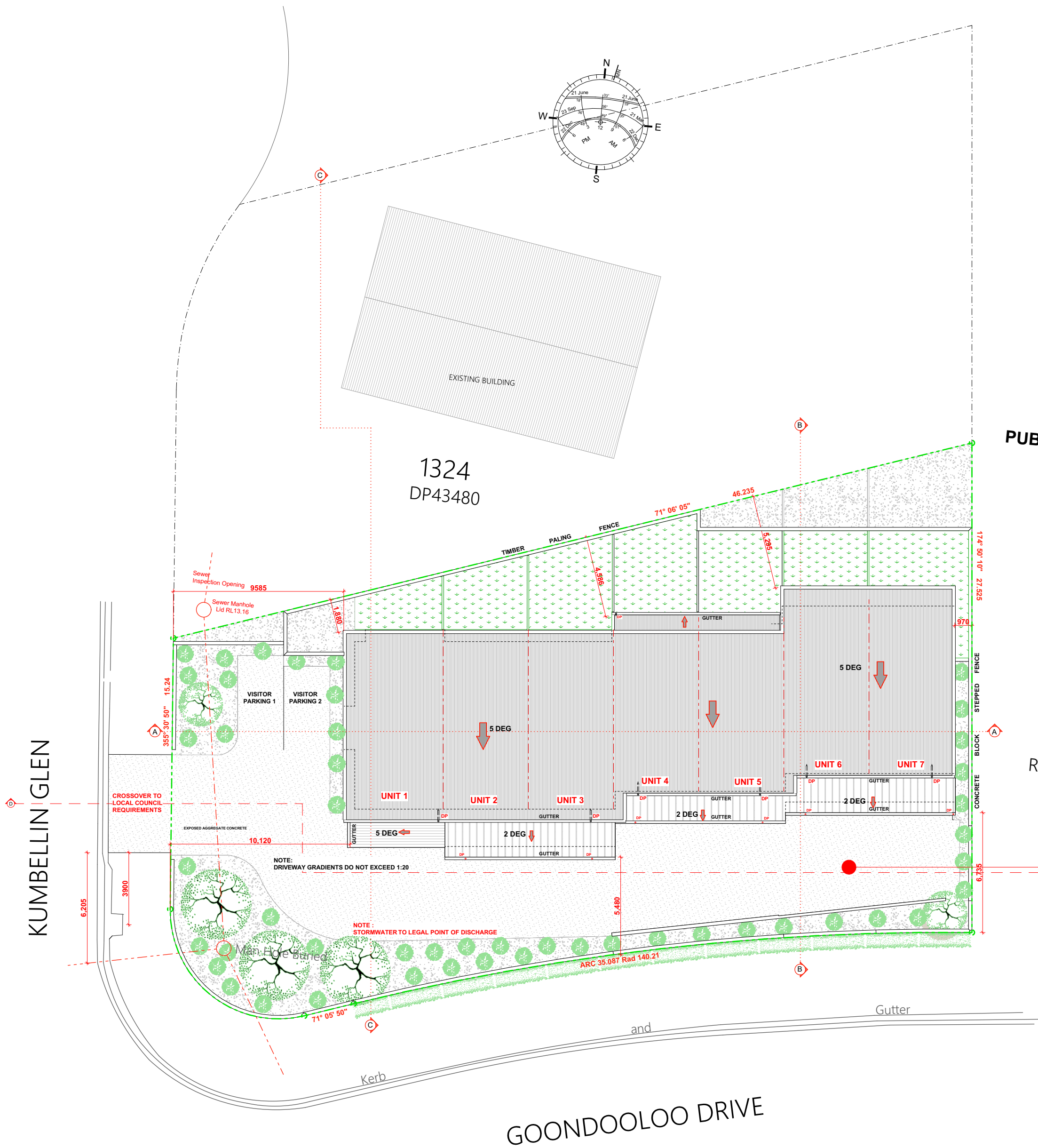
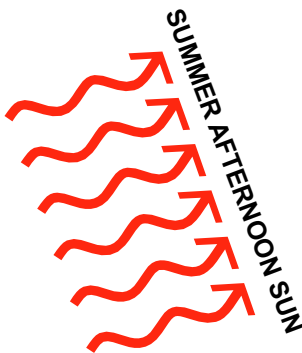
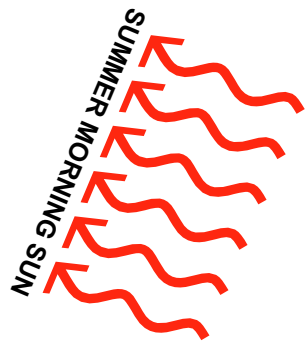
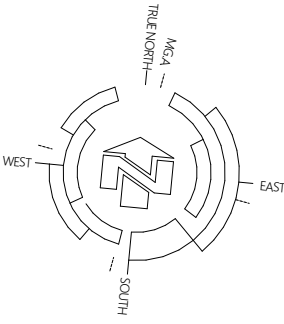
STORY DESIGN COLLECTIVE  
www.storydesign.com.au info@storydesign.com.au  
0415 484 738 QBCC Lic # 1135254  
SURFERS PARADISE BANORA POINT

Copyright: This document is the property of Story Design Collective and may not be used in whole or in part without permission. Legal Action will be taken against any person infringing the copyright.

rev.	date	description	initi.	rev.	date	description	initi.
A	14/05/19	Preliminary Layout	SR	G	25/10/19	Basix notes added	AP
B	03/07/19	DA drawings	AP	H	11/11/19	DA Drawing Revisions	SR
C	06/08/19	DA Drawing Revisions	AP	I	26/08/20	Adaptable Floorplans Added + Path	AP
D	16/08/19	Updated DA Drawings	AP	J	20/10/20	MOVING UNITS + REVISIONS	AP
E	03/10/19	DA Drawing Revisions	AP				
F	17/10/19	Drawing Additions	AP				

client	project number	drawing number	drawing print date
Adam Mangleson	19013		21/10/2020
project	scale	issue	drawing name
Townhouse Development	1:100 on A2	J	PERSPECTIVES
8 Kumbellin Glen, Ocean Shores, NSW	drawn	checked	
	SR	Sam Ray	





1147  
D.P.243480  
PUBLIC RESERVE

1324  
DP43480

PROPERTY DESCRIPTION

TOWNHOUSE DEVELOPMENT

LOT 1323 in DP243480  
8 KUMBELLIN GLEN,  
OCEAN SHORES, NSW ,

LAND SIZE - 1075.00 m<sup>2</sup>  
SITE COVERAGE - approx 450.00 m<sup>2</sup>  
Approx 42.0 %

rev.	date	description	initi.	rev.	date	description	initi.
A	14/05/19	Preliminary Layout	SR	G	25/10/19	Basix notes added	AP
B	03/07/19	DA drawings	AP	H	11/11/19	DA Drawing Revisions	SR
C	06/08/19	DA Drawing Revisions	AP	I	26/08/20	Adaptable Floorplans Added + Path	AP
D	16/08/19	Updated DA Drawings	AP	J	20/10/20	MOVING UNITS + REVISIONS	AP
E	03/10/19	DA Drawing Revisions	AP				
F	17/10/19	Drawing Additions	AP				

client	project number	drawing number	drawing print date
Adam Mangleson	19013		21/10/2020
project	scale	issue	drawing name
Townhouse Development	1:100 on A2	J	SITE ANALYSIS
8 Kumbellin Glen, Ocean Shores, NSW	drawn SR	checked Sam Ray	



STORY DESIGN COLLECTIVE  
www.storydesign.com.au info@storydesign.com.au  
0415 484 738 QBCC Lic # 1135254  
SURFERS PARADISE BANORA POINT

Copyright: This document is the property of Story Design Collective and may not be used in whole or in part without permission. Legal Action will be taken against any person infringing the copyright.





JUNE 21st 9 am



JUNE 21st noon



JUNE 21st 3 pm



DECEMBER 21st 9 am



DECEMBER 21st noon



DECEMBER 21st 3 pm



STORY DESIGN COLLECTIVE  
www.storydesign.com.au info@storydesign.com.au  
0415 484 738 QBCC Lic # 1135254  
SURFERS PARADISE BANORA POINT

Copyright: This document is the property of Story Design Collective and may not be used in whole or in part without permission. Legal Action will be taken against any person infringing the copyright.

rev.	date	description	initi.	rev.	date	description	initi.
A	14/05/19	Preliminary Layout	SR	G	25/10/19	Basix notes added	AP
B	03/07/19	DA drawings	AP	H	11/11/19	DA Drawing Revisions	SR
C	06/08/19	DA Drawing Revisions	AP	I	26/08/20	Adaptable Floorplans Added + Path	AP
D	16/08/19	Updated DA Drawings	AP	J	20/10/20	MOVING UNITS + REVISIONS	AP
E	03/10/19	DA Drawing Revisions	AP				
F	17/10/19	Drawing Additions	AP				

client	project number	drawing number	drawing print date
Adam Mangleson	19013		21/10/2020
project	scale	issue	drawing name
Townhouse Development	1:100 on A2	J	SHADOW IMAGES
8 Kumbellin Glen, Ocean Shores, NSW	drawn	checked	
	SR	Sam Ray	



## PROPOSED SITE PLAN



BASIX & CONSTRUCTION NOTES

CONCRETE SLAB ON GROUND  
EXPOSED AGG CONCRETE DRIVEWAY

EXTERIOR WALLS  
190mm CONCRETE BLOCK WALLS  
& RETAINING WALLS  
90mm TREATED PINE FRAMING  
WEATHERBOARD CLADDING  
FC SHEETING WITH COVER BATTENS  
60mm RENDERED FOAM CLADDING

INTERNAL LINING  
PLASTERBOARD WITH STANDARD CORNICE

ROOFING  
COLORBOND CUSTOM ORB @ 5 DEGS  
& KLIPLOK ROOF SHEETING @ 2 DEGS  
COLORBOND GUTTERS & FASCIA  
PAINTED PVC DOWNPIPES

POWDERCOATED ALUMINIUM WINDOWS & DOORS  
HEKA WINDOW HOODS TO SELECTED WINDOWS

TIMBER FLOORING  
CERAMIC TILES TO WET AREAS  
HWD TIMBER STAIR TREADS  
HWD TIMBER DECKING WITH TREATED TIMBER STEPS

TREATED TIMBER POSTS & FENCE PALINGS

REFER TO ENGINEERS DETAILS  
REFER TO UNIT SPECIFICATIONS FOR ALL PRODUCT SELECTIONS  
REFER TO UNIT INTERIOR DRAWINGS

WATER TANKS - 1500 LITRE POLY + PUMP  
REVERSE CYCLE HEATING & COOLING  
250 LITRE ELECTRIC HOT WATER SYSTEM  
3kW SOLAR SYSTEM TO EACH UNIT

BASIX DETAILS

REFER TO BASIX REPORT  
REFER TO natHERS REPORT

The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.

The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.

This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.

The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.

The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.

Where there is an in-slab heating or cooling system, the applicant must:

- (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or  
(bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.

NOTE : REFER TO PAGE 16  
UNIT 1 HAS BEEN DESIGNED FOR ADAPTABLE HOUSING  
AS PER AUSTRALIAN STANDARDS AS 4299 - 1995

UNIT 1 AREAS:

GROUND FLOOR - 44.93 m<sup>2</sup>  
FIRST FLOOR LIVING - 44.28 m<sup>2</sup>  
ALFRESCO - 16.42 m<sup>2</sup>  
SECOND FLOOR LIVING - 51.30 m<sup>2</sup>

TOTAL = 156.93 m<sup>2</sup>

UNIT 2 AREAS:

GROUND FLOOR - 44.21 m<sup>2</sup>  
FIRST FLOOR LIVING - 42.63 m<sup>2</sup>  
ALFRESCO - 15.81 m<sup>2</sup>  
SECOND FLOOR LIVING - 45.12 m<sup>2</sup>

TOTAL = 147.77 m<sup>2</sup>

UNIT 3 AREAS:

GROUND FLOOR - 44.21 m<sup>2</sup>  
FIRST FLOOR LIVING - 42.63 m<sup>2</sup>  
ALFRESCO - 15.81 m<sup>2</sup>  
SECOND FLOOR LIVING - 45.12 m<sup>2</sup>

TOTAL = 147.77 m<sup>2</sup>

UNIT 4 AREAS:

GROUND FLOOR - 44.21 m<sup>2</sup>  
FIRST FLOOR LIVING - 42.63 m<sup>2</sup>  
ALFRESCO - 15.81 m<sup>2</sup>  
SECOND FLOOR LIVING - 45.12 m<sup>2</sup>

TOTAL = 147.77 m<sup>2</sup>

UNIT 5 AREAS:

GROUND FLOOR - 44.21 m<sup>2</sup>  
FIRST FLOOR LIVING - 42.63 m<sup>2</sup>  
ALFRESCO - 15.81 m<sup>2</sup>  
SECOND FLOOR LIVING - 45.12 m<sup>2</sup>

TOTAL = 147.77 m<sup>2</sup>

UNIT 6 AREAS:

GROUND FLOOR - 44.21 m<sup>2</sup>  
FIRST FLOOR LIVING - 42.63 m<sup>2</sup>  
ALFRESCO - 15.81 m<sup>2</sup>  
SECOND FLOOR LIVING - 45.12 m<sup>2</sup>

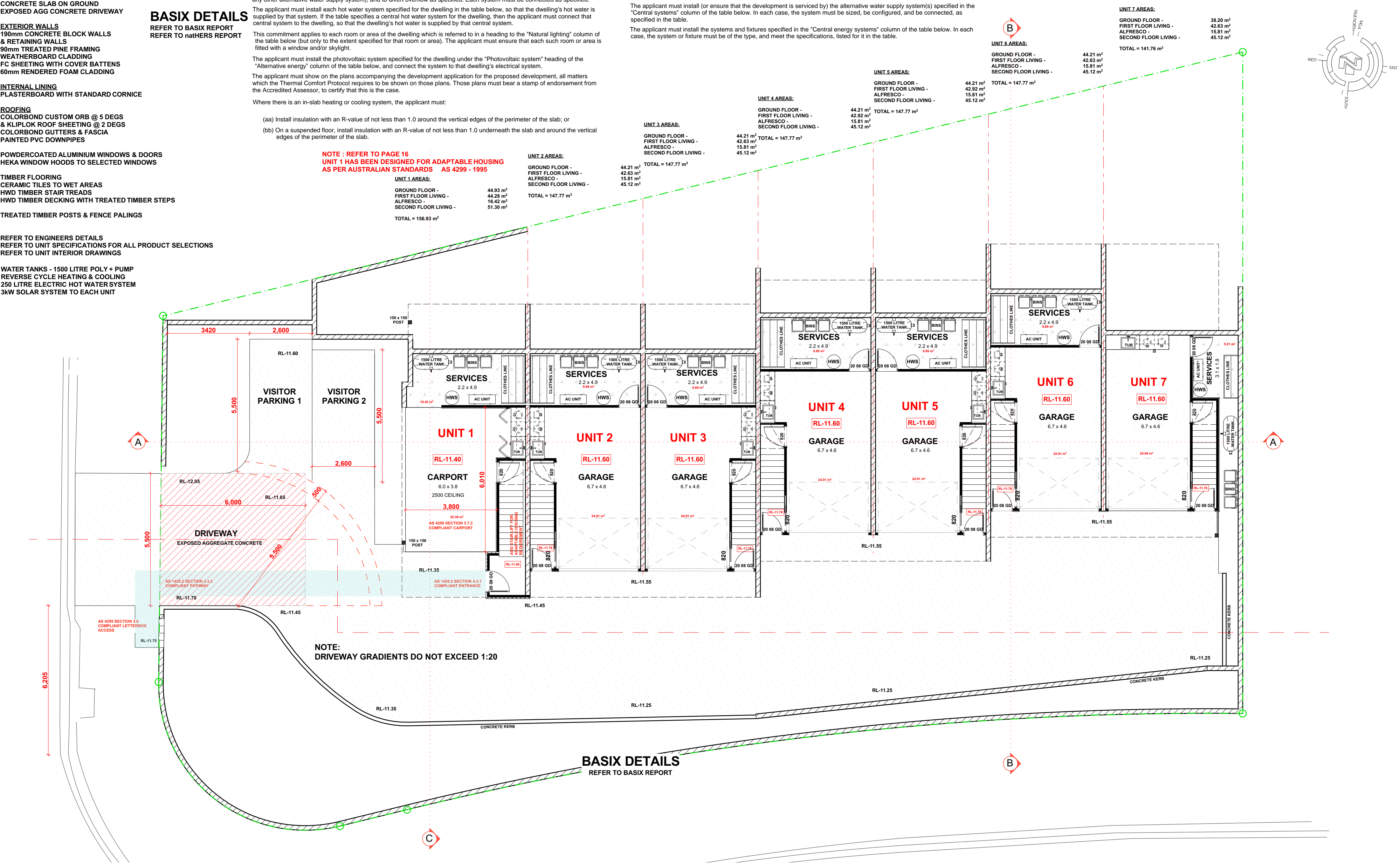
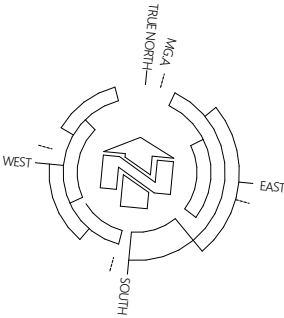
TOTAL = 147.77 m<sup>2</sup>

UNIT 7 AREAS:

GROUND FLOOR - 38.20 m<sup>2</sup>  
FIRST FLOOR LIVING - 42.63 m<sup>2</sup>  
ALFRESCO - 15.81 m<sup>2</sup>  
SECOND FLOOR LIVING - 45.12 m<sup>2</sup>

TOTAL = 141.76 m<sup>2</sup>

DA DRAWINGS



BASIX DETAILS

REFER TO BASIX REPORT

rev.	date	description	initi.	rev.	date	description	initi.
A	14/05/19	Preliminary Layout	SR	G	25/10/19	Basix notes added	AP
B	03/07/19	DA drawings	AP	H	11/11/19	DA Drawing Revisions	SR
C	06/08/19	DA Drawing Revisions	AP	I	26/08/20	Adaptable Floorplans Added + Path	AP
D	16/08/19	Updated DA Drawings	AP	J	20/10/20	MOVING UNITS + REVISIONS	AP
E	03/10/19	DA Drawing Revisions	AP				
F	17/10/19	Drawing Additions	AP				

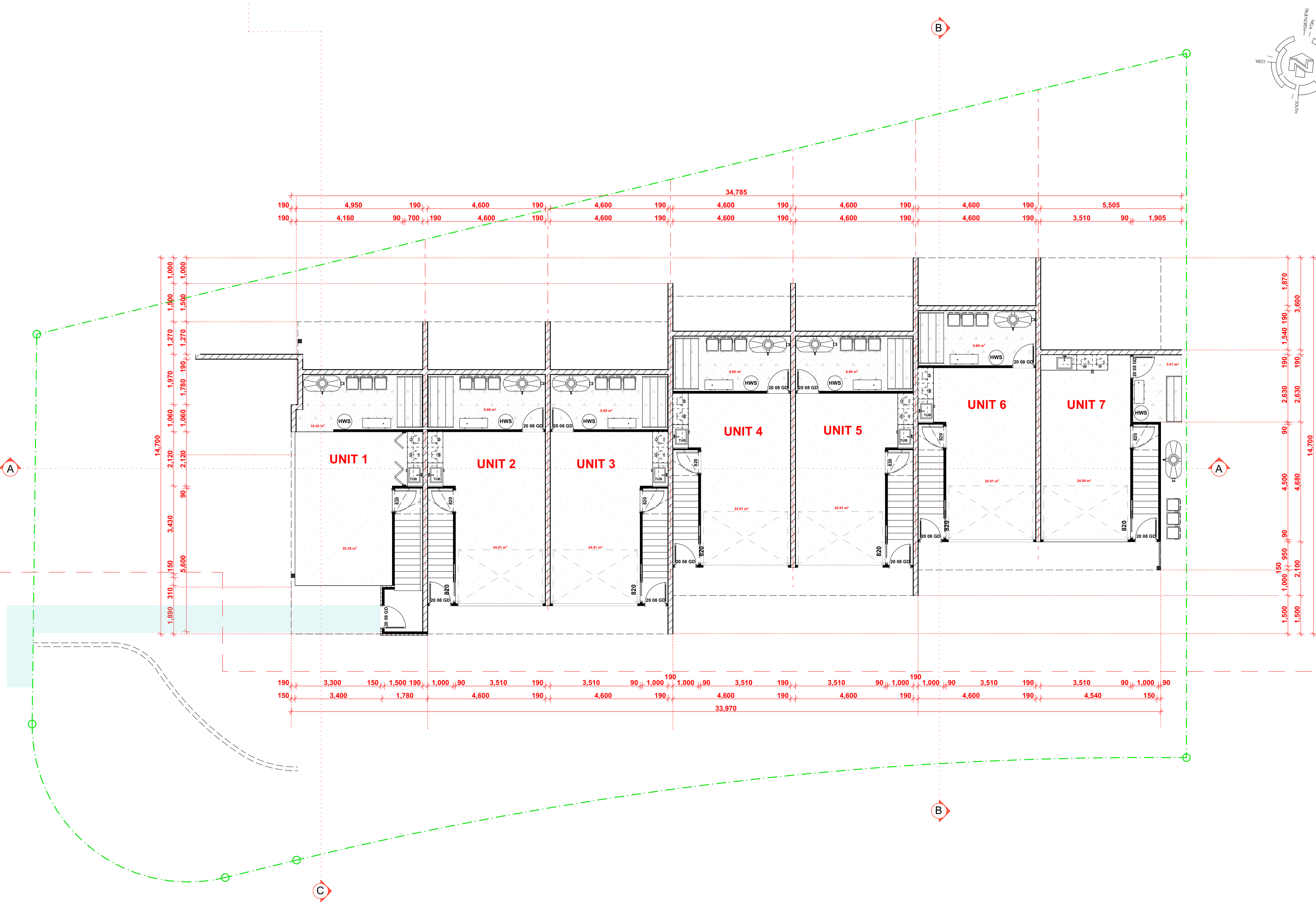
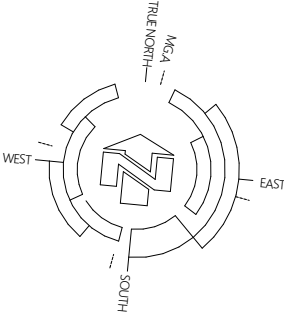
client	project number	drawing number	drawing print date
Adam Mangleson	19013	02	21/10/2020
project	scale	issue	drawing name
Townhouse Development	1:100 on A2	J	GROUND FLOOR PLAN
8 Kumbellin Glen, Ocean Shores, NSW	drawn SR	checked Sam Ray	

STORY DESIGN COLLECTIVE

www.storydesign.com.au info@storydesign.com.au  
0415 484 738 QBCC Lic # 1135254  
SURFERS PARADISE BANORA POINT

Copyright: This document is the property of Story Design Collective and may not be used in whole or in part without permission. Legal Action will be taken against any person infringing the copyright.





STORY DESIGN COLLECTIVE  
www.storydesign.com.au info@storydesign.com.au  
0415 484 738 QBCC Lic # 1135254  
SURFERS PARADISE BANORA POINT

Copyright: This document is the property of Story Design Collective and may not be used in whole or in part without permission. Legal Action will be taken against any person infringing the copyright.

rev.	date	description	initi.	rev.	date	description	initi.
A	14/05/19	Preliminary Layout	SR	G	25/10/19	Basix notes added	AP
B	03/07/19	DA drawings	AP	H	11/11/19	DA Drawing Revisions	SR
C	06/08/19	DA Drawing Revisions	AP	I	26/08/20	Adaptable Floorplans Added + Path	AP
D	16/08/19	Updated DA Drawings	AP	J	20/10/20	MOVING UNITS + REVISIONS	AP
E	03/10/19	DA Drawing Revisions	AP				
F	17/10/19	Drawing Additions	AP				

client	project number	drawing number	drawing print date
Adam Mangleson	19013	03	21/10/2020
project	scale	issue	drawing name
Townhouse Development	1:100 on A2	J	GROUND FLOOR DIMENSIONS
8 Kumbellin Glen, Ocean Shores, NSW	drawn SR	checked Sam Ray	



BASIX & CONSTRUCTION NOTES

CONCRETE SLAB ON GROUND  
EXPOSED AGG CONCRETE DRIVEWAY

EXTERIOR WALLS  
190mm CONCRETE BLOCK WALLS  
& RETAINING WALLS  
90mm TREATED PINE FRAMING  
WEATHERBOARD CLADDING  
FC SHEETING WITH COVER BATTENS  
60mm RENDERED FOAM CLADDING

INTERNAL LINING  
PLASTERBOARD WITH STANDARD CORNICE

ROOFING  
COLORBOND CUSTOM ORB @ 5 DEGS  
& KLIPLOK ROOF SHEETING @ 2 DEGS  
COLORBOND GUTTERS & FASCIA  
PAINTED PVC DOWNPIPES

POWDERCOATED ALUMINIUM WINDOWS & DOORS  
HEKA WINDOW HOODS TO SELECTED WINDOWS

TIMBER FLOORING  
CERAMIC TILES TO WET AREAS  
HWD TIMBER STAIR TREADS  
HWD TIMBER DECKING WITH TREATED TIMBER STEPS

TREATED TIMBER POSTS & FENCE PALINGS

REFER TO ENGINEERS DETAILS  
REFER TO UNIT SPECIFICATIONS FOR ALL PRODUCT SELECTIONS  
REFER TO UNIT INTERIOR DRAWINGS

WATER TANKS - 1500 LITRE POLY + PUMP  
REVERSE CYCLE HEATING & COOLING  
250 LITRE ELECTRIC HOT WATER SYSTEM  
3kW SOLAR SYSTEM TO EACH UNIT

BASIX DETAILS

REFER TO BASIX REPORT  
REFER TO natHERS REPORT

The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.

The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.

This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.

The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.

The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.

Where there is an in-slab heating or cooling system, the applicant must:

- (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or  
(bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.

NOTE : REFER TO PAGE 16  
UNIT 1 HAS BEEN DESIGNED FOR ADAPTABLE HOUSING  
AS PER AUSTRALIAN STANDARDS AS 4299 - 1995

UNIT 1 AREAS:  
GROUND FLOOR - 44.93 m<sup>2</sup>  
FIRST FLOOR LIVING - 44.28 m<sup>2</sup>  
ALFRESCO - 16.42 m<sup>2</sup>  
SECOND FLOOR LIVING - 51.30 m<sup>2</sup>  
TOTAL = 156.93 m<sup>2</sup>

UNIT 2 AREAS:  
GROUND FLOOR - 44.21 m<sup>2</sup>  
FIRST FLOOR LIVING - 42.63 m<sup>2</sup>  
ALFRESCO - 15.81 m<sup>2</sup>  
SECOND FLOOR LIVING - 45.12 m<sup>2</sup>  
TOTAL = 147.77 m<sup>2</sup>

UNIT 3 AREAS:  
GROUND FLOOR - 44.21 m<sup>2</sup>  
FIRST FLOOR LIVING - 42.63 m<sup>2</sup>  
ALFRESCO - 15.81 m<sup>2</sup>  
SECOND FLOOR LIVING - 45.12 m<sup>2</sup>  
TOTAL = 147.77 m<sup>2</sup>

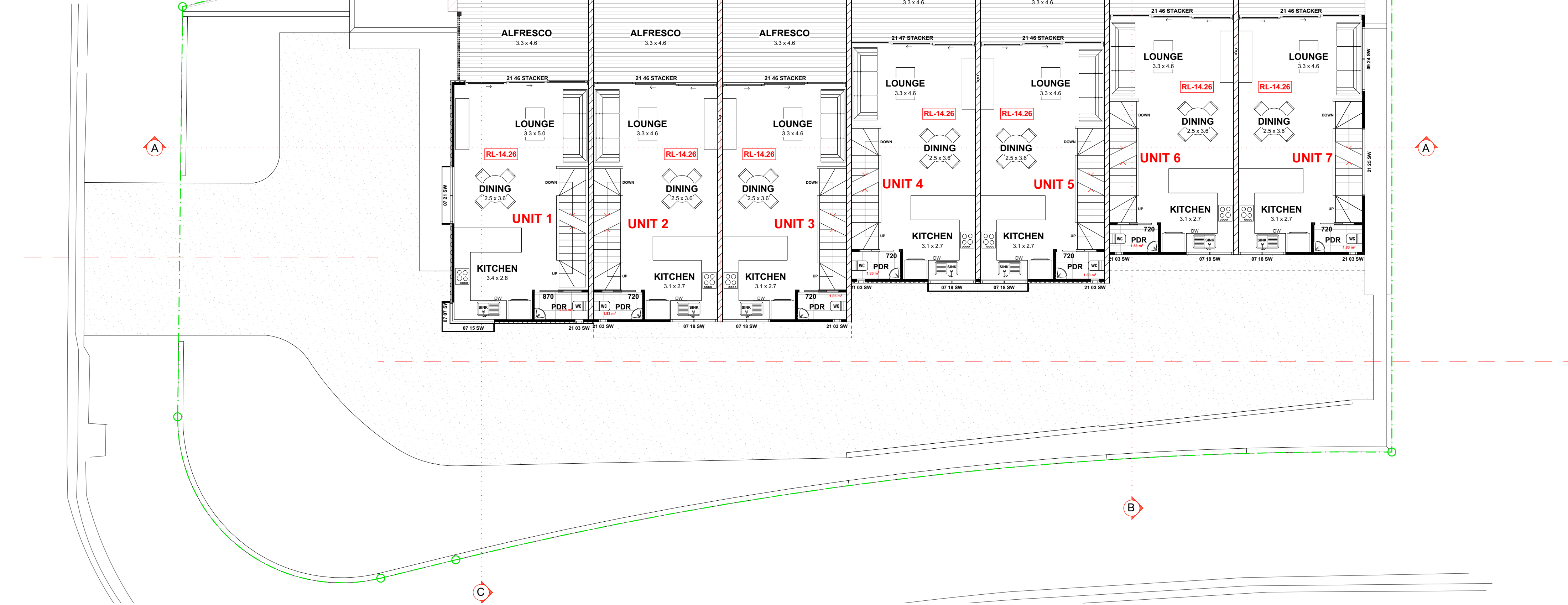
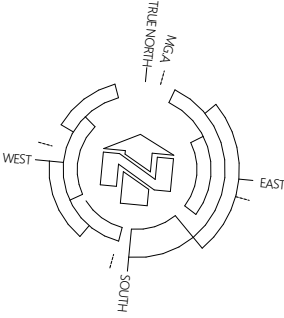
UNIT 4 AREAS:  
GROUND FLOOR - 44.21 m<sup>2</sup>  
FIRST FLOOR LIVING - 42.92 m<sup>2</sup>  
ALFRESCO - 15.81 m<sup>2</sup>  
SECOND FLOOR LIVING - 45.12 m<sup>2</sup>  
TOTAL = 147.77 m<sup>2</sup>

UNIT 5 AREAS:  
GROUND FLOOR - 44.21 m<sup>2</sup>  
FIRST FLOOR LIVING - 42.92 m<sup>2</sup>  
ALFRESCO - 15.81 m<sup>2</sup>  
SECOND FLOOR LIVING - 45.12 m<sup>2</sup>  
TOTAL = 147.77 m<sup>2</sup>

UNIT 6 AREAS:  
GROUND FLOOR - 44.21 m<sup>2</sup>  
FIRST FLOOR LIVING - 42.63 m<sup>2</sup>  
ALFRESCO - 15.81 m<sup>2</sup>  
SECOND FLOOR LIVING - 45.12 m<sup>2</sup>  
TOTAL = 147.77 m<sup>2</sup>

UNIT 7 AREAS:  
GROUND FLOOR - 38.20 m<sup>2</sup>  
FIRST FLOOR LIVING - 42.63 m<sup>2</sup>  
ALFRESCO - 15.81 m<sup>2</sup>  
SECOND FLOOR LIVING - 45.12 m<sup>2</sup>  
TOTAL = 141.76 m<sup>2</sup>

DA DRAWINGS



STORY DESIGN COLLECTIVE

www.storydesign.com.au info@storydesign.com.au

0415 484 738 QBCC Lic # 1135254

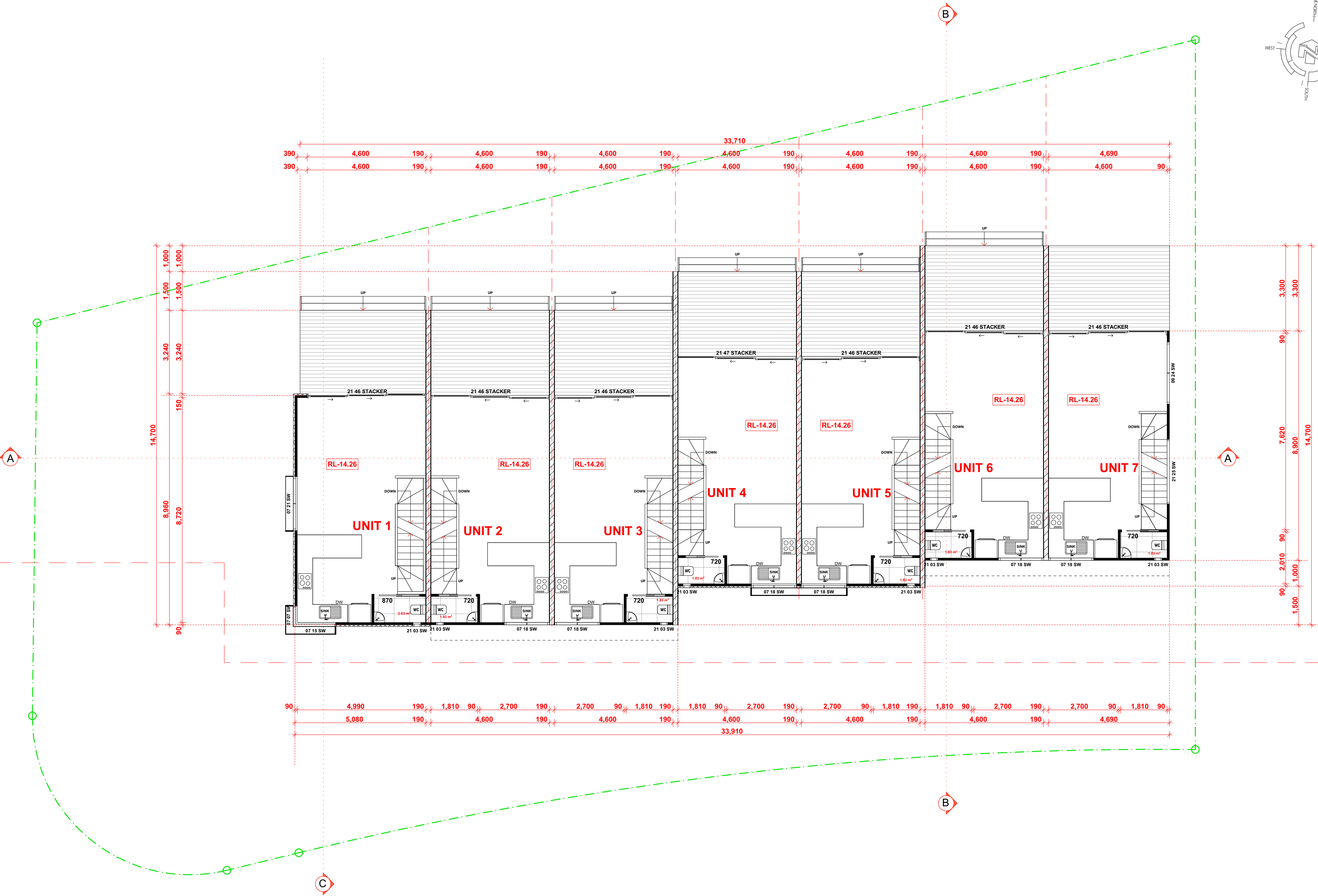
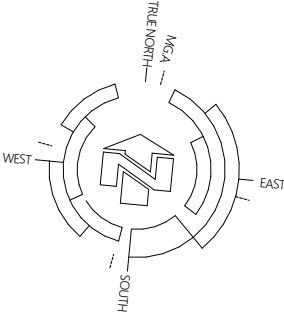
SURFERS PARADISE BANORA POINT

Copyright: This document is the property of Story Design Collective and may not be used in whole or in part without permission. Legal Action will be taken against any person infringing the copyright.

rev.	date	description	initi.	rev.	date	description	initi.
A	14/05/19	Preliminary Layout	SR	G	25/10/19	Basix notes added	AP
B	03/07/19	DA drawings	AP	H	11/11/19	DA Drawing Revisions	SR
C	06/08/19	DA Drawing Revisions	AP	I	26/08/20	Adaptable Floorplans Added + Path	AP
D	16/08/19	Updated DA Drawings	AP	J	20/10/20	MOVING UNITS + REVISIONS	AP
E	03/10/19	DA Drawing Revisions	AP				
F	17/10/19	Drawing Additions	AP				

client	project number	drawing number	drawing print date
Adam Mangleson	19013	04	21/10/2020
project	scale	issue	drawing name
Townhouse Development	1:100 on A2	J	FIRST FLOOR PLAN
8 Kumbellin Glen, Ocean Shores, NSW	drawn SR	checked Sam Ray	





STORY DESIGN COLLECTIVE  
www.storydesign.com.au info@storydesign.com.au  
0415 484 738 QBCC Lic # 1135254  
SURFERS PARADISE BANORA POINT

Copyright: This document is the property of Story Design Collective and may not be used in whole or in part without permission. Legal Action will be taken against any person infringing the copyright.

rev.	date	description	initi.	rev.	date	description	initi.
A	14/05/19	Preliminary Layout	SR	G	25/10/19	Basix notes added	AP
B	03/07/19	DA drawings	AP	H	11/11/19	DA Drawing Revisions	SR
C	06/08/19	DA Drawing Revisions	AP	I	26/08/20	Adaptable Floorplans Added + Path	AP
D	16/08/19	Updated DA Drawings	AP	J	20/10/20	MOVING UNITS + REVISIONS	AP
E	03/10/19	DA Drawing Revisions	AP				
F	17/10/19	Drawing Additions	AP				

client	project number	drawing number	drawing print date
Adam Mangleson	19013	05	21/10/2020
project	scale	issue	drawing name
Townhouse Development	1:100 on A2	J	FIRST FLOOR DIMENSIONS
8 Kumbellin Glen, Ocean Shores, NSW	drawn SR	checked Sam Ray	



BASIX & CONSTRUCTION NOTES

CONCRETE SLAB ON GROUND  
EXPOSED AGG CONCRETE DRIVEWAY

EXTERIOR WALLS  
190mm CONCRETE BLOCK WALLS  
& RETAINING WALLS  
90mm TREATED PINE FRAMING  
WEATHERBOARD CLADDING  
FC SHEETING WITH COVER BATTENS  
60mm RENDERED FOAM CLADDING

INTERNAL LINING  
PLASTERBOARD WITH STANDARD CORNICE

ROOFING  
COLORBOND CUSTOM ORB @ 5 DEGS  
& KLIPLOK ROOF SHEETING @ 2 DEGS  
COLORBOND GUTTERS & FASCIA  
PAINTED PVC DOWNPIPES

POWDERCOATED ALUMINIUM WINDOWS & DOORS  
HEKA WINDOW HOODS TO SELECTED WINDOWS

TIMBER FLOORING  
CERAMIC TILES TO WET AREAS  
HWD TIMBER STAIR TREADS  
HWD TIMBER DECKING WITH TREATED TIMBER STEPS

TREATED TIMBER POSTS & FENCE PALINGS

REFER TO ENGINEERS DETAILS  
REFER TO UNIT SPECIFICATIONS FOR ALL PRODUCT SELECTIONS  
REFER TO UNIT INTERIOR DRAWINGS

WATER TANKS - 1500 LITRE POLY + PUMP  
REVERSE CYCLE HEATING & COOLING  
250 LITRE ELECTRIC HOT WATER SYSTEM  
3kW SOLAR SYSTEM TO EACH UNIT

BASIX DETAILS

REFER TO BASIX REPORT  
REFER TO natHERS REPORT

The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.

The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.

This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.

The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.

The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.

Where there is an in-slab heating or cooling system, the applicant must:

- (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or  
(bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.

NOTE : REFER TO PAGE 16  
UNIT 1 HAS BEEN DESIGNED FOR ADAPTABLE HOUSING  
AS PER AUSTRALIAN STANDARDS AS 4299 - 1995

UNIT 1 AREAS:	
GROUND FLOOR -	44.93 m <sup>2</sup>
FIRST FLOOR LIVING -	44.28 m <sup>2</sup>
ALFRESCO -	16.42 m <sup>2</sup>
SECOND FLOOR LIVING -	51.30 m <sup>2</sup>
TOTAL = 156.93 m <sup>2</sup>	

UNIT 2 AREAS:	
GROUND FLOOR -	44.21 m <sup>2</sup>
FIRST FLOOR LIVING -	42.63 m <sup>2</sup>
ALFRESCO -	15.81 m <sup>2</sup>
SECOND FLOOR LIVING -	45.12 m <sup>2</sup>
TOTAL = 147.77 m <sup>2</sup>	

UNIT 3 AREAS:	
GROUND FLOOR -	44.21 m <sup>2</sup>
FIRST FLOOR LIVING -	42.63 m <sup>2</sup>
ALFRESCO -	15.81 m <sup>2</sup>
SECOND FLOOR LIVING -	45.12 m <sup>2</sup>
TOTAL = 147.77 m <sup>2</sup>	

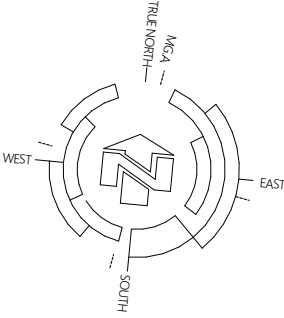
UNIT 4 AREAS:	
GROUND FLOOR -	44.21 m <sup>2</sup>
FIRST FLOOR LIVING -	42.92 m <sup>2</sup>
ALFRESCO -	15.81 m <sup>2</sup>
SECOND FLOOR LIVING -	45.12 m <sup>2</sup>
TOTAL = 147.77 m <sup>2</sup>	

UNIT 5 AREAS:	
GROUND FLOOR -	44.21 m <sup>2</sup>
FIRST FLOOR LIVING -	42.92 m <sup>2</sup>
ALFRESCO -	15.81 m <sup>2</sup>
SECOND FLOOR LIVING -	45.12 m <sup>2</sup>
TOTAL = 147.77 m <sup>2</sup>	

UNIT 6 AREAS:	
GROUND FLOOR -	44.21 m <sup>2</sup>
FIRST FLOOR LIVING -	42.92 m <sup>2</sup>
ALFRESCO -	15.81 m <sup>2</sup>
SECOND FLOOR LIVING -	45.12 m <sup>2</sup>
TOTAL = 147.77 m <sup>2</sup>	

UNIT 7 AREAS:	
GROUND FLOOR -	38.20 m <sup>2</sup>
FIRST FLOOR LIVING -	42.63 m <sup>2</sup>
ALFRESCO -	15.81 m <sup>2</sup>
SECOND FLOOR LIVING -	45.12 m <sup>2</sup>
TOTAL = 141.76 m <sup>2</sup>	

DA DRAWINGS



STORY DESIGN COLLECTIVE

www.storydesign.com.au info@storydesign.com.au

0415 484 738 QBCC Lic # 1135254

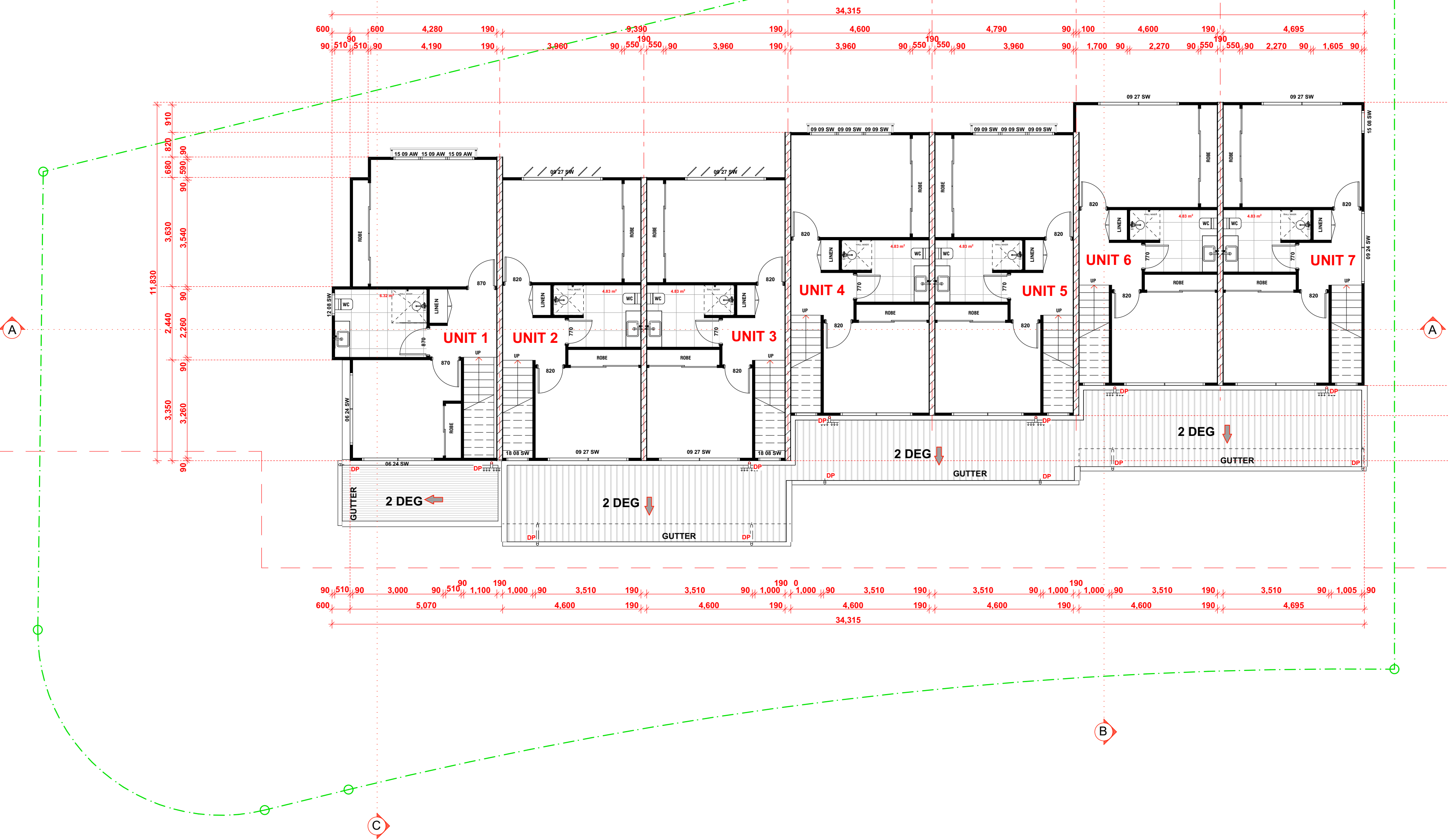
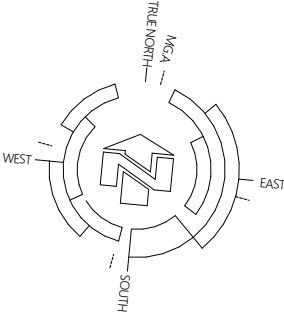
SURFERS PARADISE BANORA POINT

Copyright: This document is the property of Story Design Collective and may not be used in whole or in part without permission. Legal Action will be taken against any person infringing the copyright.

rev.	date	description	initi.	rev.	date	description	initi.
A	14/05/19	Preliminary Layout	SR	G	25/10/19	Basix notes added	AP
B	03/07/19	DA drawings	AP	H	11/11/19	DA Drawing Revisions	SR
C	06/08/19	DA Drawing Revisions	AP	I	26/08/20	Adaptable Floorplans Added + Path	AP
D	16/08/19	Updated DA Drawings	AP	J	20/10/20	MOVING UNITS + REVISIONS	AP
E	03/10/19	DA Drawing Revisions	AP				
F	17/10/19	Drawing Additions	AP				

client	project number	drawing number	drawing print date
Adam Mangleson	19013	06	21/10/2020
project	scale	issue	drawing name
Townhouse Development	1:100 on A2	J	SECOND FLOOR PLAN
8 Kumbellin Glen, Ocean Shores, NSW	drawn SR	checked Sam Ray	





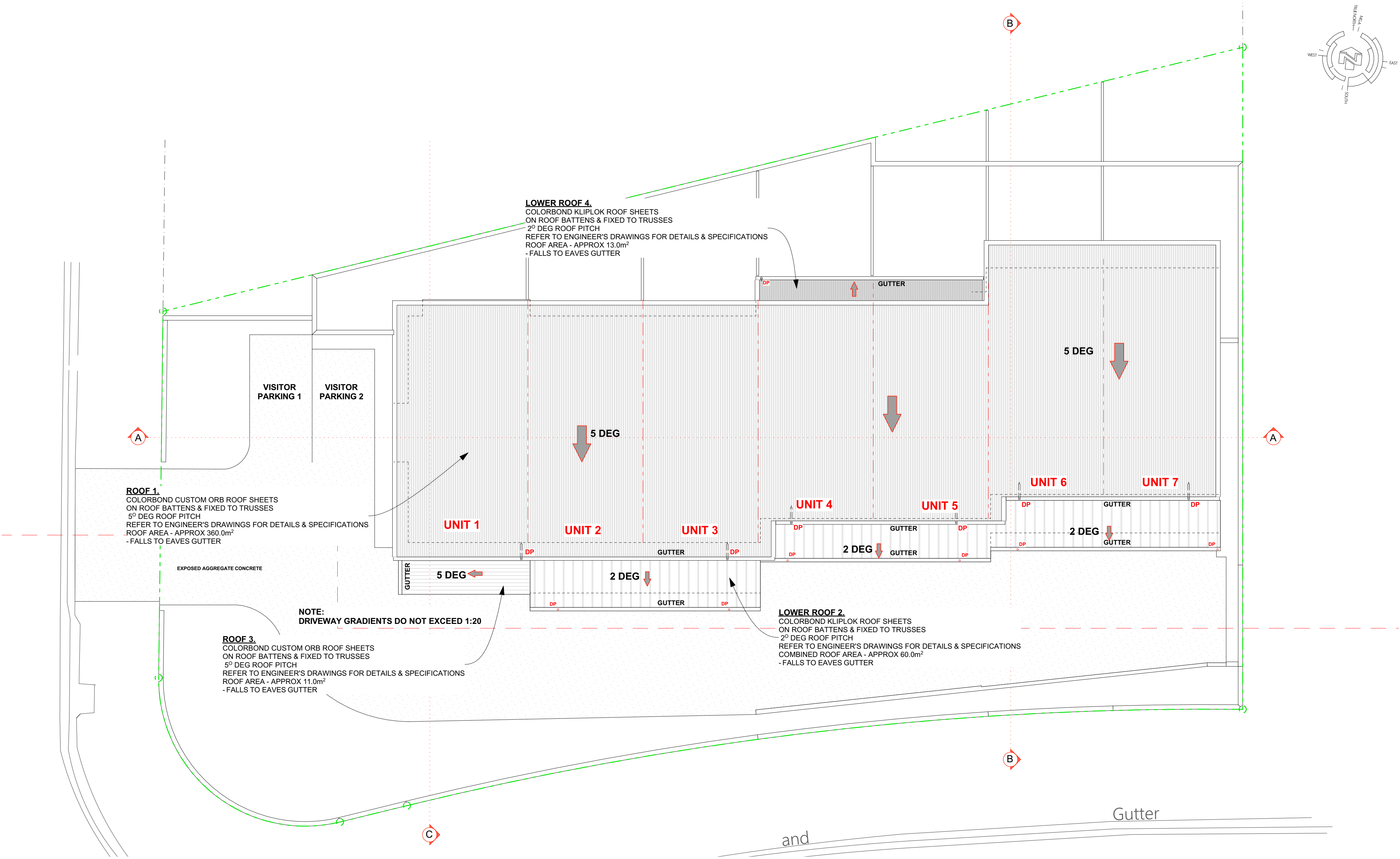
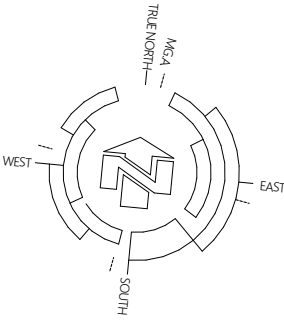
STORY DESIGN COLLECTIVE  
www.storydesign.com.au info@storydesign.com.au  
0415 484 738 QBCC Lic # 1135254  
SURFERS PARADISE BANORA POINT

Copyright: This document is the property of Story Design Collective and may not be used in whole or in part without permission. Legal Action will be taken against any person infringing the copyright.

rev.	date	description	initi.	rev.	date	description	initi.
A	14/05/19	Preliminary Layout	SR	G	25/10/19	Basix notes added	AP
B	03/07/19	DA drawings	AP	H	11/11/19	DA Drawing Revisions	SR
C	06/08/19	DA Drawing Revisions	AP	I	26/08/20	Adaptable Floorplans Added + Path	AP
D	16/08/19	Updated DA Drawings	AP	J	20/10/20	MOVING UNITS + REVISIONS	AP
E	03/10/19	DA Drawing Revisions	AP				
F	17/10/19	Drawing Additions	AP				

client	project number	drawing number	drawing print date
Adam Mangleson	19013	07	21/10/2020
project	scale	issue	drawing name
Townhouse Development	1:100 on A2	J	SECOND FLOOR DIMENSIONS
8 Kumbellin Glen, Ocean Shores, NSW	drawn SR	checked Sam Ray	





**STORY DESIGN COLLECTIVE**  
www.storydesign.com.au info@storydesign.com.au  
0415 484 738 QBCC Lic # 1135254  
SURFERS PARADISE BANORA POINT

Copyright: This document is the property of Story Design Collective and may not be used in whole or in part without permission. Legal Action will be taken against any person infringing the copyright.

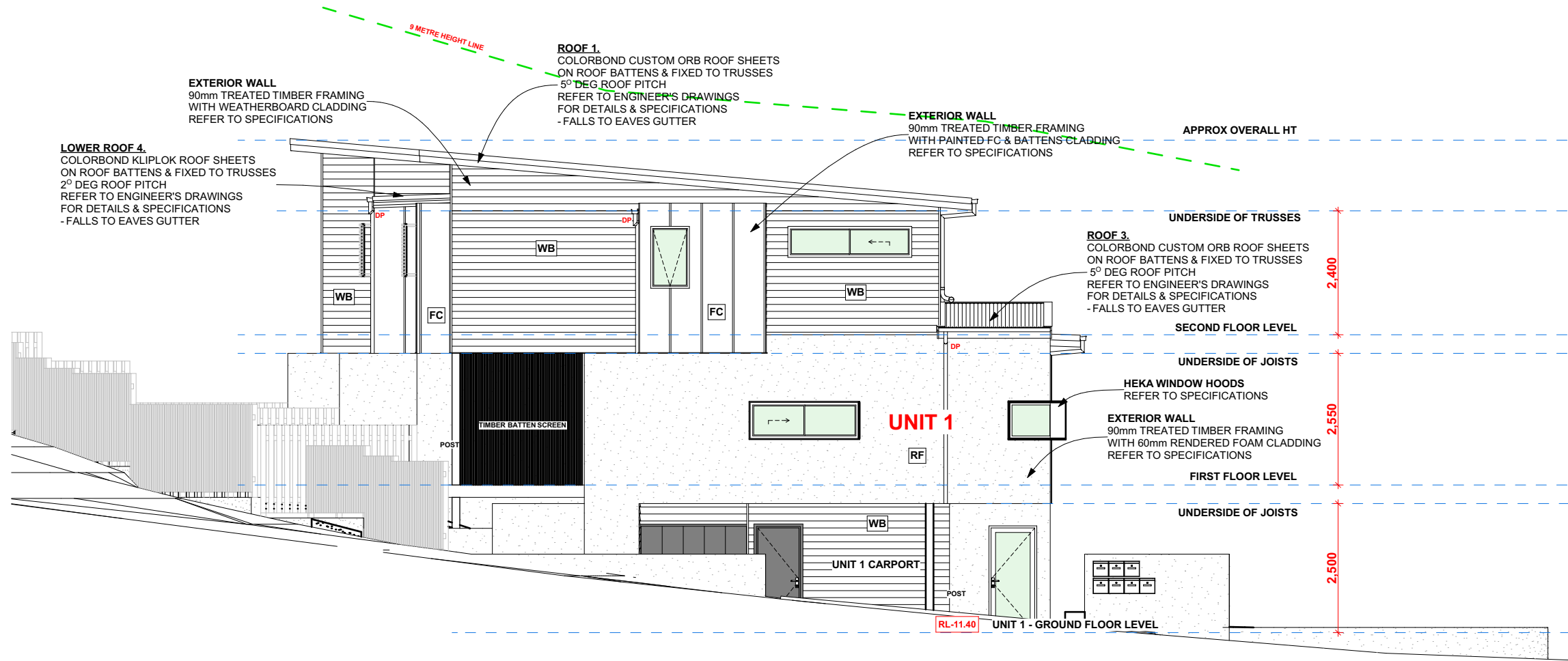
rev.	date	description	initi.	rev.	date	description	initi.
A	14/05/19	Preliminary Layout	SR	G	25/10/19	Basix notes added	AP
B	03/07/19	DA drawings	AP	H	11/11/19	DA Drawing Revisions	SR
C	06/08/19	DA Drawing Revisions	AP	I	26/08/20	Adaptable Floorplans Added + Path	AP
D	16/08/19	Updated DA Drawings	AP	J	20/10/20	MOVING UNITS + REVISIONS	AP
E	03/10/19	DA Drawing Revisions	AP				
F	17/10/19	Drawing Additions	AP				

client	project number	drawing number	drawing print date
<b>Adam Mangleson</b>	<b>19013</b>	<b>08</b>	<b>21/10/2020</b>
project	scale	issue	drawing name
<b>Townhouse Development</b>	1:100 on A2	<b>J</b>	<b>ROOF PLAN</b>
<b>8 Kumbellin Glen, Ocean Shores, NSW</b>	drawn <b>SR</b>	checked <b>Sam Ray</b>	

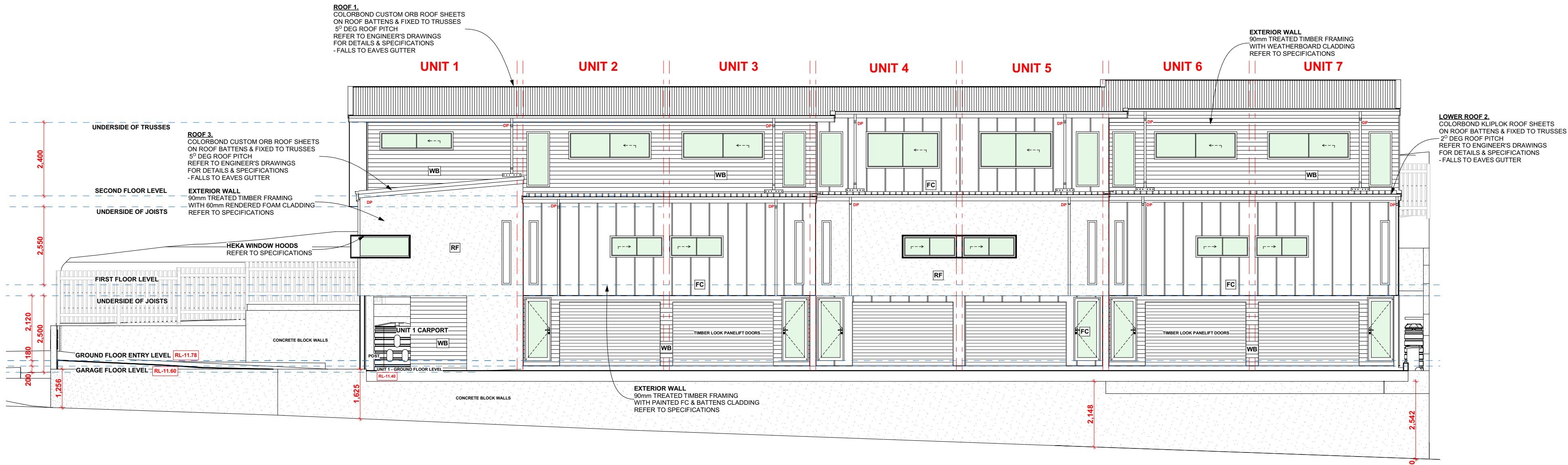


NOTE  
FOR ALL STRUCTURAL SIZING,  
FOUNDATIONS, SLABS,  
FLOOR SYSTEMS, ROOF SYSTEMS,  
TIEDOWN AND BRACING  
REFER TO ENGINEERS DRAWINGS.

WEST - ELEVATION 1



SOUTH - ELEVATION 2



STORY DESIGN COLLECTIVE

www.storydesign.com.au info@storydesign.com.au

0415 484 738 QBCC Lic # 1135254

SURFERS PARADISE BANORA POINT

Copyright: This document is the property of Story Design Collective and may not be used in whole or in part without permission. Legal Action will be taken against any person infringing the copyright.

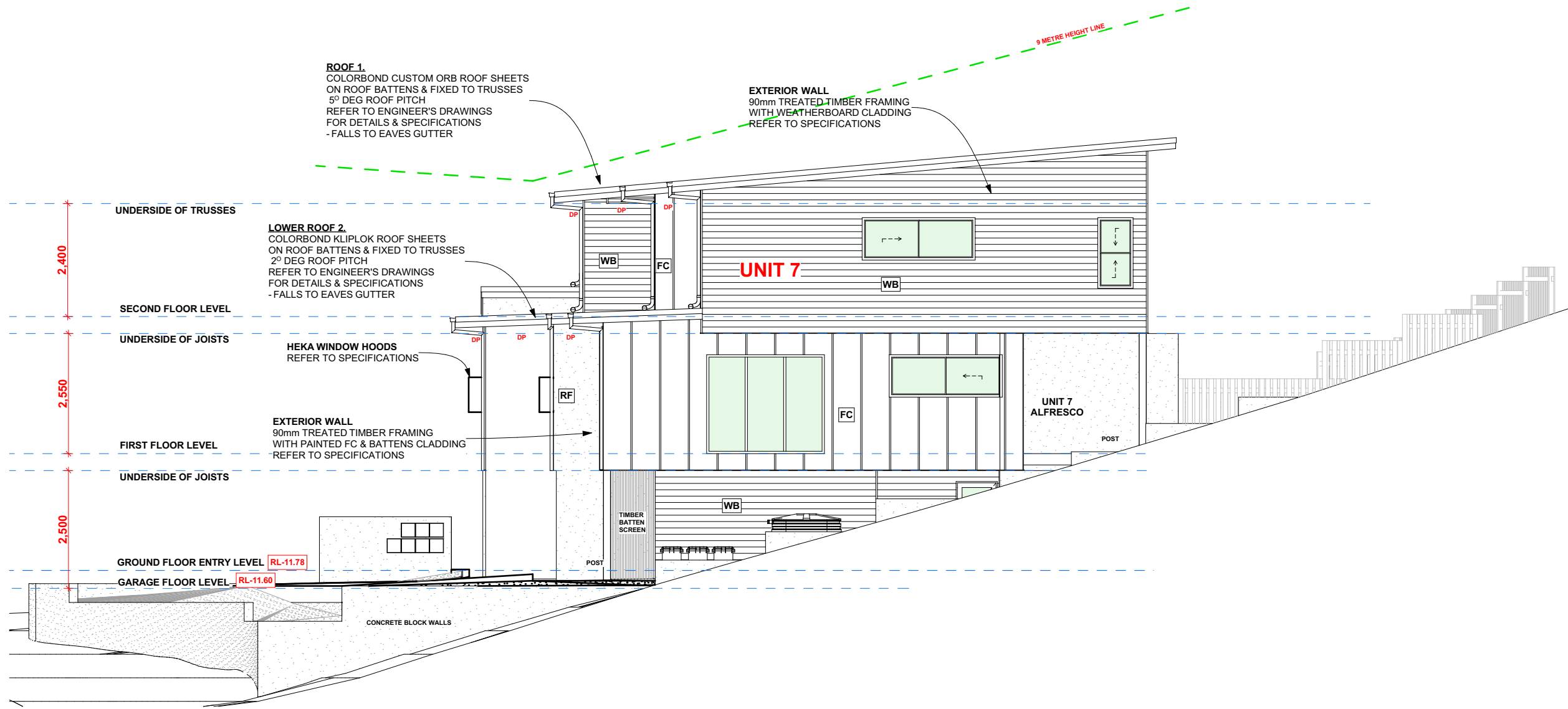
rev.	date	description	initi.	rev.	date	description	initi.
A	14/05/19	Preliminary Layout	SR	G	25/10/19	Basix notes added	AP
B	03/07/19	DA drawings	AP	H	11/11/19	DA Drawing Revisions	SR
C	06/08/19	DA Drawing Revisions	AP	I	26/08/20	Adaptable Floorplans Added + Path	AP
D	16/08/19	Updated DA Drawings	AP	J	20/10/20	MOVING UNITS + REVISIONS	AP
E	03/10/19	DA Drawing Revisions	AP				
F	17/10/19	Drawing Additions	AP				

client	project number	drawing number	drawing print date
Adam Mangleson	19013	09	21/10/2020
project	scale	issue	drawing name
Townhouse Development	1:100 on A2	J	WEST & SOUTH ELEVATIONS
8 Kumbellin Glen, Ocean Shores, NSW	drawn SR	checked Sam Ray	

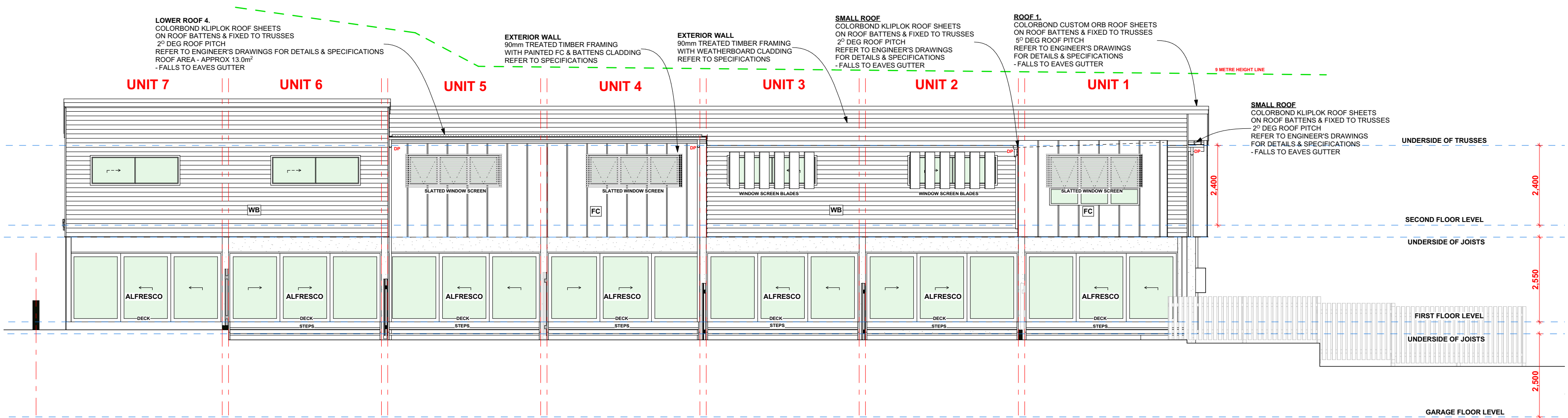


NOTE  
FOR ALL STRUCTURAL SIZING,  
FOUNDATIONS, SLABS,  
FLOOR SYSTEMS, ROOF SYSTEMS,  
TIEDOWN AND BRACING  
REFER TO ENGINEERS DRAWINGS.

EAST - ELEVATION 3



NORTH - ELEVATION 4



STORY DESIGN COLLECTIVE

www.storydesign.com.au info@storydesign.com.au

0415 484 738 QBCC Lic # 1135254

SURFERS PARADISE BANORA POINT

Copyright: This document is the property of Story Design Collective and may not be used in whole or in part without permission. Legal Action will be taken against any person infringing the copyright.

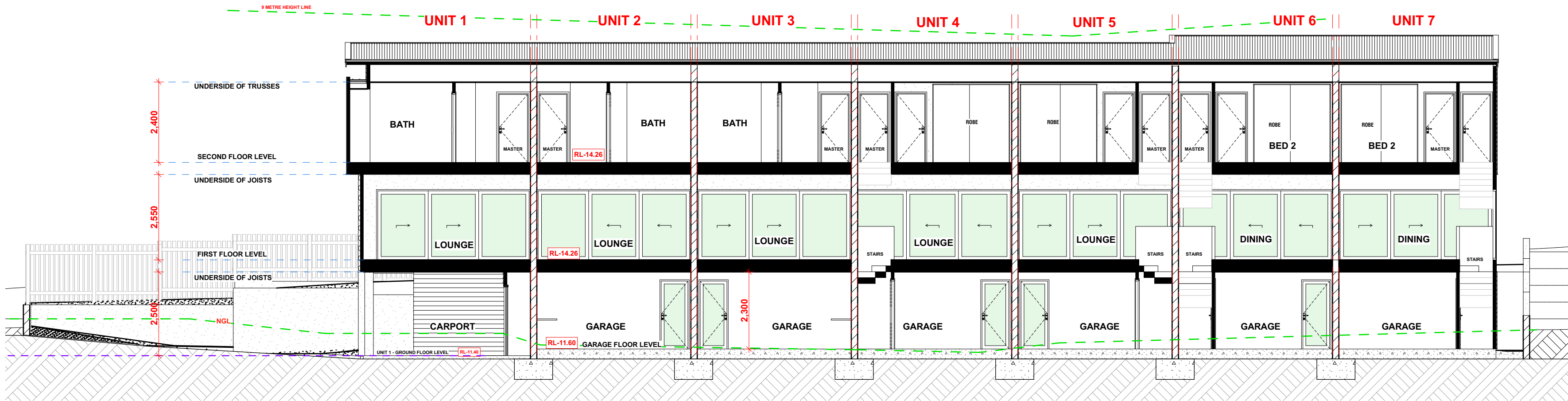
rev.	date	description	initi.	rev.	date	description	initi.
A	14/05/19	Preliminary Layout	SR	G	25/10/19	Basix notes added	AP
B	03/07/19	DA drawings	AP	H	11/11/19	DA Drawing Revisions	SR
C	06/08/19	DA Drawing Revisions	AP	I	26/08/20	Adaptable Floorplans Added + Path	AP
D	16/08/19	Updated DA Drawings	AP	J	20/10/20	MOVING UNITS + REVISIONS	AP
E	03/10/19	DA Drawing Revisions	AP				
F	17/10/19	Drawing Additions	AP				

client	project number	drawing number	drawing print date
Adam Mangleson	19013	10	21/10/2020
project	scale	issue	drawing name
Townhouse Development	1:100 on A2	J	EAST & NORTH ELEVATIONS
8 Kumbellin Glen, Ocean Shores, NSW	drawn SR	checked Sam Ray	

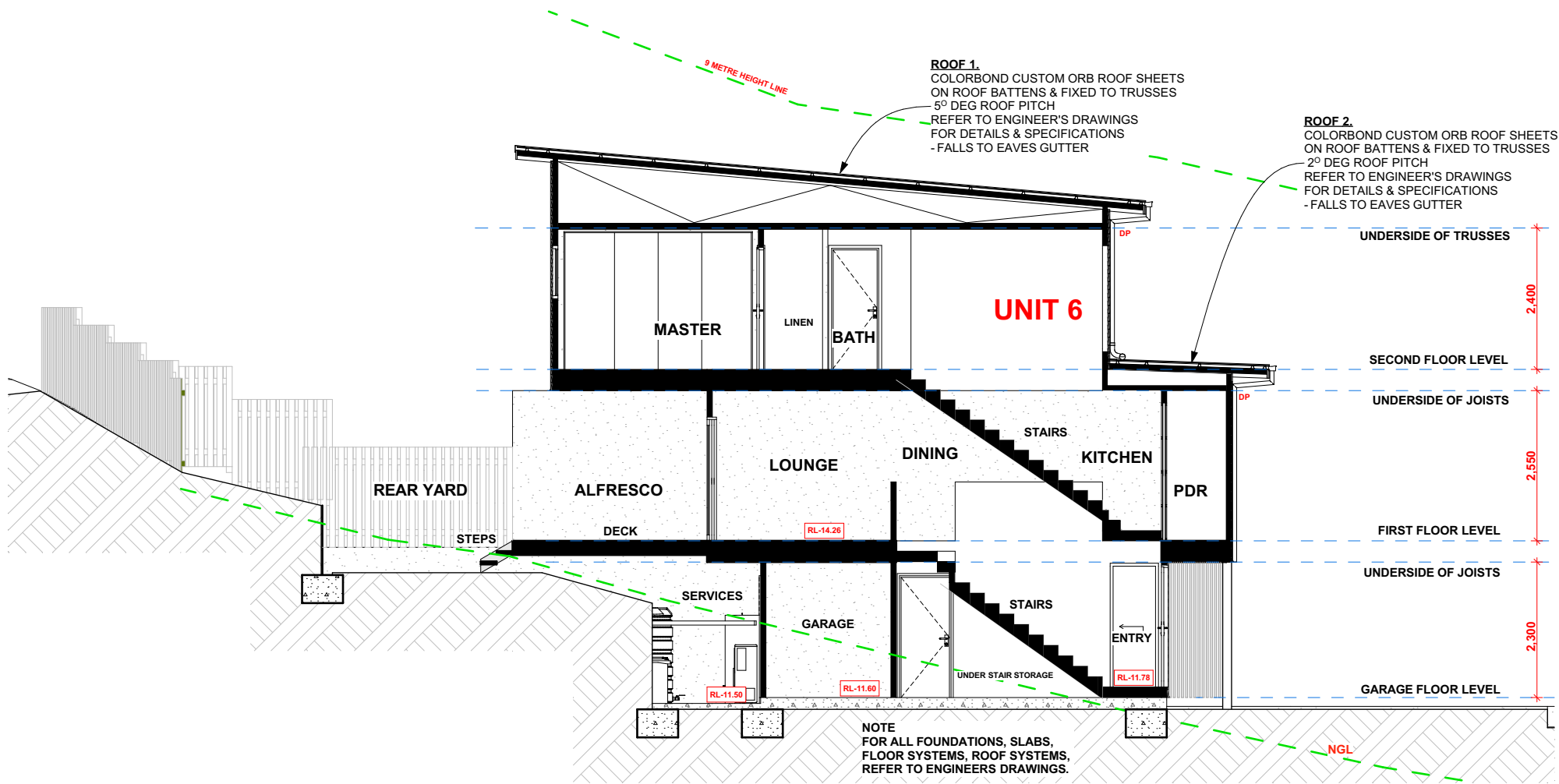


NOTE  
FOR ALL STRUCTURAL SIZING,  
FOUNDATIONS, SLABS,  
FLOOR SYSTEMS, ROOF SYSTEMS,  
TIEDOWN AND BRACING  
REFER TO ENGINEERS DRAWINGS.

SECTION A



SECTION B



STORY DESIGN COLLECTIVE  
www.storydesign.com.au info@storydesign.com.au  
0415 484 738 QBCC Lic # 1135254  
SURFERS PARADISE BANORA POINT

Copyright: This document is the property of Story Design Collective and may not be used in whole or in part without permission. Legal Action will be taken against any person infringing the copyright.

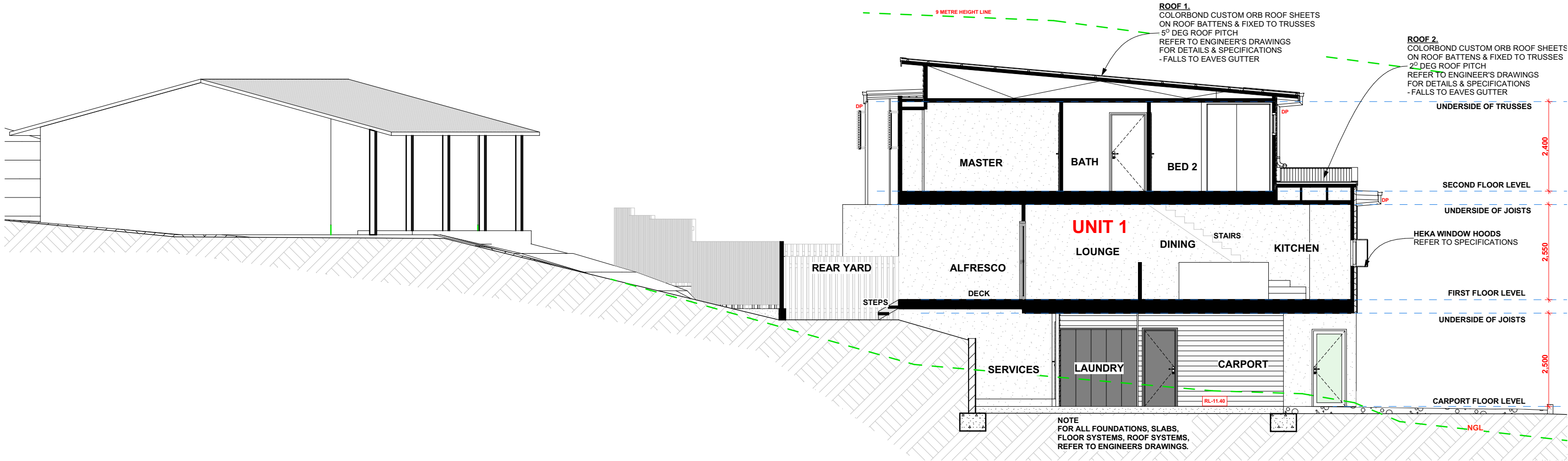
rev.	date	description	initi.	rev.	date	description	initi.
A	14/05/19	Preliminary Layout	SR	G	25/10/19	Basix notes added	AP
B	03/07/19	DA drawings	AP	H	11/11/19	DA Drawing Revisions	SR
C	06/08/19	DA Drawing Revisions	AP	I	26/08/20	Adaptable Floorplans Added + Path	AP
D	16/08/19	Updated DA Drawings	AP	J	20/10/20	MOVING UNITS + REVISIONS	AP
E	03/10/19	DA Drawing Revisions	AP				
F	17/10/19	Drawing Additions	AP				

client	project number	drawing number	drawing print date
Adam Mangleson	19013	11	21/10/2020
project	scale	issue	drawing name
Townhouse Development	1:100 on A2	J	SECTION A & B
8 Kumbellin Glen, Ocean Shores, NSW	drawn SR	checked Sam Ray	

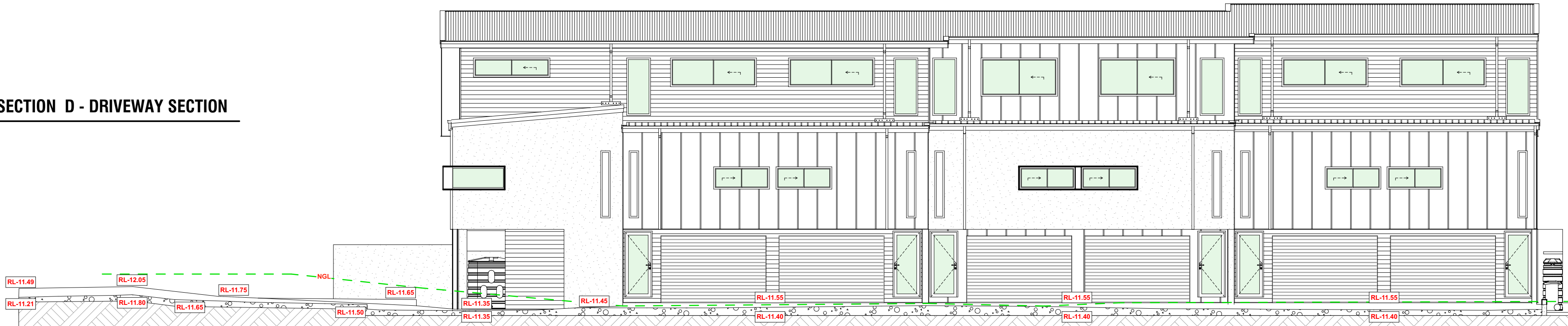


NOTE  
FOR ALL STRUCTURAL SIZING,  
FOUNDATIONS, SLABS,  
FLOOR SYSTEMS, ROOF SYSTEMS,  
TIEDOWN AND BRACING  
REFER TO ENGINEERS DRAWINGS.

SECTION C



SECTION D - DRIVEWAY SECTION



STORY DESIGN COLLECTIVE  
www.storydesign.com.au info@storydesign.com.au  
0415 484 738 QBCC Lic # 1135254  
SURFERS PARADISE BANORA POINT

Copyright: This document is the property of Story Design Collective and may not be used in whole or in part without permission. Legal Action will be taken against any person infringing the copyright.

rev.	date	description	initi.	rev.	date	description	initi.
A	14/05/19	Preliminary Layout	SR	G	25/10/19	Basix notes added	AP
B	03/07/19	DA drawings	AP	H	11/11/19	DA Drawing Revisions	SR
C	06/08/19	DA Drawing Revisions	AP	I	26/08/20	Adaptable Floorplans Added + Path	AP
D	16/08/19	Updated DA Drawings	AP	J	20/10/20	MOVING UNITS + REVISIONS	AP
E	03/10/19	DA Drawing Revisions	AP				
F	17/10/19	Drawing Additions	AP				

client	project number	drawing number	drawing print date
Adam Mangleson	19013	12	21/10/2020
project	scale	issue	drawing name
Townhouse Development	1:100 on A2	J	SECTION C + DRIVEWAY SECTION
8 Kumbellin Glen, Ocean Shores, NSW	drawn SR	checked Sam Ray	

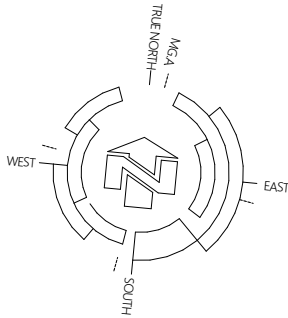


BASIX DETAILS

REFER TO BASIX REPORT

The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).

DA DRAWINGS



Landscaping Legend	
Fill	Name
	Grass / Turf
	Mulch
	Deep Soil Zone

SITE AREA		= 1075.0 m <sup>2</sup>
TOTAL LANDSCAPING AREA REQUIRED	= 490.00 m <sup>2</sup>	
PRIVATE OPEN SPACE AREAS	= 249.53 m <sup>2</sup>	
LANDSCAPE AREAS	= 243.83 m <sup>2</sup>	
TOTAL LANDSCAPING AREA ACHIEVED	= 493.36 m <sup>2</sup>	
TOTAL DEEP SOIL AREA REQUIRED	= 170.70 m <sup>2</sup>	
TOTAL DEEP SOIL AREA ACHIEVED	= 176.50 m <sup>2</sup>	

UNIT 1 AREAS:	
GROUND FLOOR -	44.93 m <sup>2</sup>
FIRST FLOOR LIVING -	44.28 m <sup>2</sup>
ALFRESCO -	16.42 m <sup>2</sup>
SECOND FLOOR LIVING -	51.30 m <sup>2</sup>
TOTAL =	156.93 m <sup>2</sup>

UNIT 2 AREAS:	
GROUND FLOOR -	44.21 m <sup>2</sup>
FIRST FLOOR LIVING -	42.63 m <sup>2</sup>
ALFRESCO -	15.81 m <sup>2</sup>
SECOND FLOOR LIVING -	45.12 m <sup>2</sup>
TOTAL =	147.77 m <sup>2</sup>

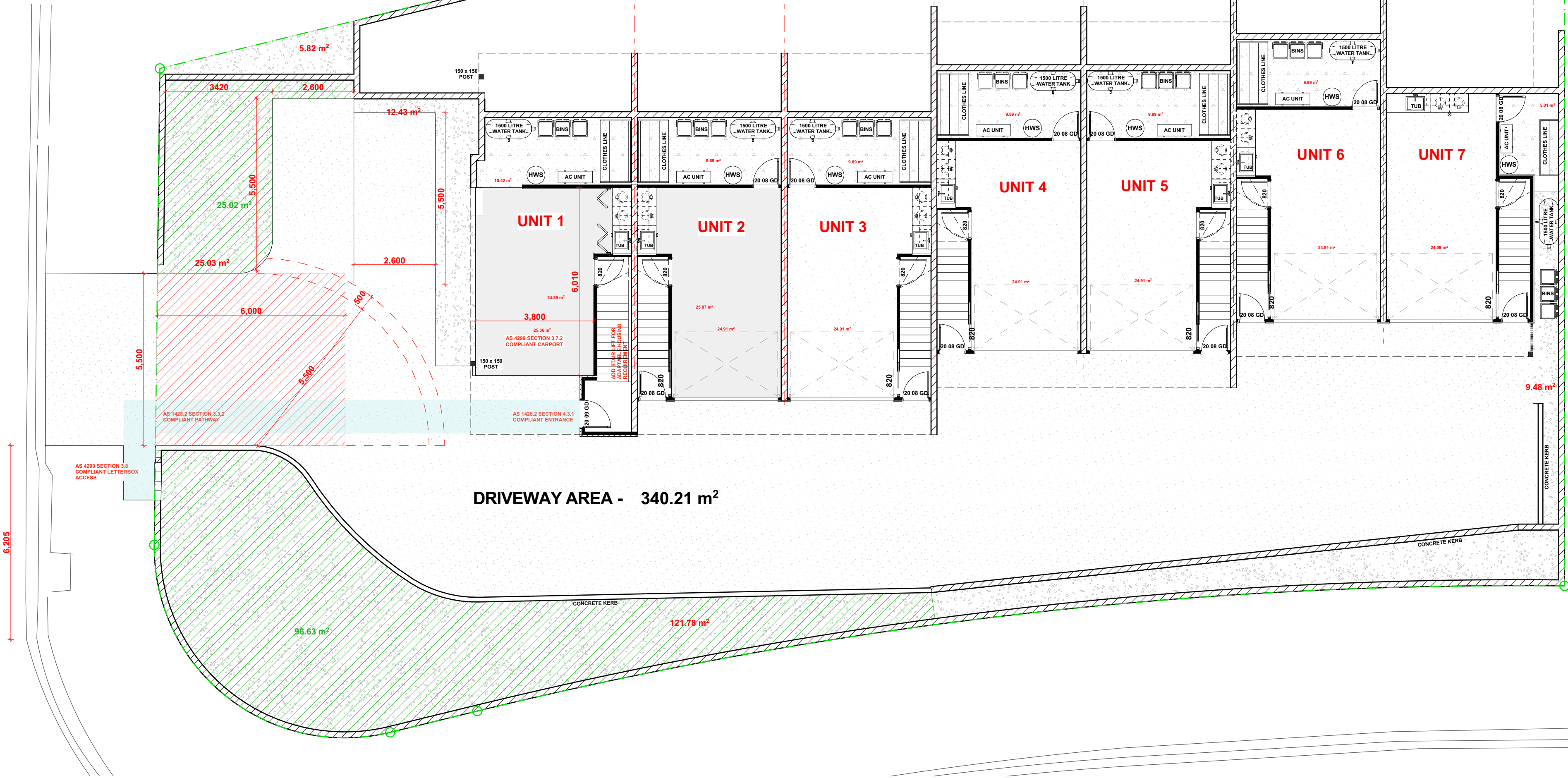
UNIT 3 AREAS:	
GROUND FLOOR -	44.21 m <sup>2</sup>
FIRST FLOOR LIVING -	42.63 m <sup>2</sup>
ALFRESCO -	15.81 m <sup>2</sup>
SECOND FLOOR LIVING -	45.12 m <sup>2</sup>
TOTAL =	147.77 m <sup>2</sup>

UNIT 4 AREAS:	
GROUND FLOOR -	44.21 m <sup>2</sup>
FIRST FLOOR LIVING -	42.63 m <sup>2</sup>
ALFRESCO -	15.81 m <sup>2</sup>
SECOND FLOOR LIVING -	45.12 m <sup>2</sup>
TOTAL =	147.77 m <sup>2</sup>

UNIT 5 AREAS:	
GROUND FLOOR -	44.21 m <sup>2</sup>
FIRST FLOOR LIVING -	42.63 m <sup>2</sup>
ALFRESCO -	15.81 m <sup>2</sup>
SECOND FLOOR LIVING -	45.12 m <sup>2</sup>
TOTAL =	147.77 m <sup>2</sup>

UNIT 6 AREAS:	
GROUND FLOOR -	44.21 m <sup>2</sup>
FIRST FLOOR LIVING -	42.63 m <sup>2</sup>
ALFRESCO -	15.81 m <sup>2</sup>
SECOND FLOOR LIVING -	45.12 m <sup>2</sup>
TOTAL =	147.77 m <sup>2</sup>

UNIT 7 AREAS:	
GROUND FLOOR -	38.20 m <sup>2</sup>
FIRST FLOOR LIVING -	42.63 m <sup>2</sup>
ALFRESCO -	15.81 m <sup>2</sup>
SECOND FLOOR LIVING -	45.12 m <sup>2</sup>
TOTAL =	141.76 m <sup>2</sup>



STORY DESIGN COLLECTIVE

www.storydesign.com.au info@storydesign.com.au  
0415 484 738 QBCC Lic # 1135254  
SURFERS PARADISE BANORA POINT

Copyright: This document is the property of Story Design Collective and may not be used in whole or in part without permission. Legal Action will be taken against any person infringing the copyright.

rev.	date	description	initi.	rev.	date	description	initi.
A	14/05/19	Preliminary Layout	SR	G	25/10/19	Basix notes added	AP
B	03/07/19	DA drawings	AP	H	11/11/19	DA Drawing Revisions	SR
C	06/08/19	DA Drawing Revisions	AP	I	26/08/20	Adaptable Floorplans Added + Path	AP
D	16/08/19	Updated DA Drawings	AP	J	20/10/20	MOVING UNITS + REVISIONS	AP
E	03/10/19	DA Drawing Revisions	AP				
F	17/10/19	Drawing Additions	AP				

client	project number	drawing number	drawing print date
Adam Mangleson	19013	13	21/10/2020
project	scale	issue	drawing name
Townhouse Development	1:100 on A2	J	GROUND FLOOR LANDSCAPING
8 Kumbellin Glen, Ocean Shores, NSW	drawn SR	checked Sam Ray	

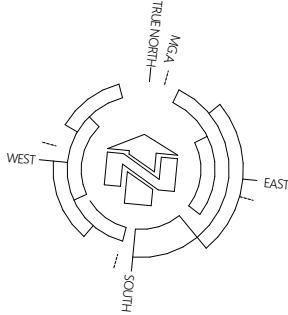


BASIX DETAILS

REFER TO BASIX REPORT

The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).

DA DRAWINGS



Landscaping Legend	
Fill	Name
	Grass / Turf
	Mulch
	Deep Soil Zone

SITE AREA	= 1075.0 m <sup>2</sup>
TOTAL LANDSCAPING AREA REQUIRED	= 490.00 m <sup>2</sup>
PRIVATE OPEN SPACE AREAS	= 249.53 m <sup>2</sup>
LANDSCAPE AREAS	= 243.83 m <sup>2</sup>
TOTAL LANDSCAPING AREA ACHIEVED	= 493.36 m <sup>2</sup>
TOTAL DEEP SOIL AREA REQUIRED	= 170.70 m <sup>2</sup>
TOTAL DEEP SOIL AREA ACHIEVED	= 176.50 m <sup>2</sup>

UNIT 1 AREAS:	
GROUND FLOOR -	44.93 m <sup>2</sup>
FIRST FLOOR LIVING -	44.28 m <sup>2</sup>
ALFRESCO -	16.42 m <sup>2</sup>
SECOND FLOOR LIVING -	51.30 m <sup>2</sup>
TOTAL =	156.93 m <sup>2</sup>

UNIT 2 AREAS:	
GROUND FLOOR -	44.21 m <sup>2</sup>
FIRST FLOOR LIVING -	42.63 m <sup>2</sup>
ALFRESCO -	15.81 m <sup>2</sup>
SECOND FLOOR LIVING -	45.12 m <sup>2</sup>
TOTAL =	147.77 m <sup>2</sup>

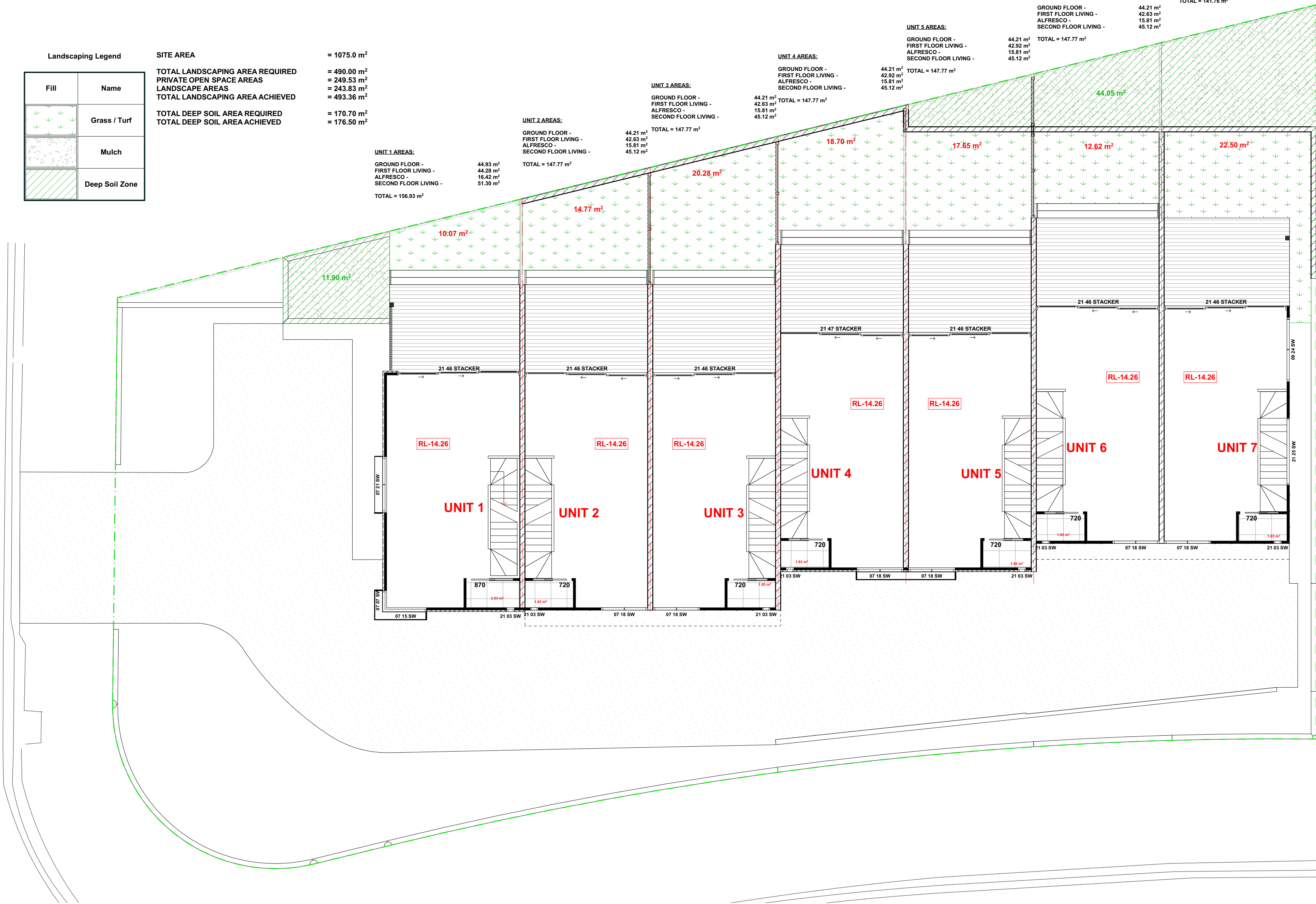
UNIT 3 AREAS:	
GROUND FLOOR -	44.21 m <sup>2</sup>
FIRST FLOOR LIVING -	42.63 m <sup>2</sup>
ALFRESCO -	15.81 m <sup>2</sup>
SECOND FLOOR LIVING -	45.12 m <sup>2</sup>
TOTAL =	147.77 m <sup>2</sup>

UNIT 4 AREAS:	
GROUND FLOOR -	44.21 m <sup>2</sup>
FIRST FLOOR LIVING -	42.92 m <sup>2</sup>
ALFRESCO -	15.81 m <sup>2</sup>
SECOND FLOOR LIVING -	45.12 m <sup>2</sup>
TOTAL =	147.77 m <sup>2</sup>

UNIT 5 AREAS:	
GROUND FLOOR -	44.21 m <sup>2</sup>
FIRST FLOOR LIVING -	42.92 m <sup>2</sup>
ALFRESCO -	15.81 m <sup>2</sup>
SECOND FLOOR LIVING -	45.12 m <sup>2</sup>
TOTAL =	147.77 m <sup>2</sup>

UNIT 6 AREAS:	
GROUND FLOOR -	44.21 m <sup>2</sup>
FIRST FLOOR LIVING -	42.92 m <sup>2</sup>
ALFRESCO -	15.81 m <sup>2</sup>
SECOND FLOOR LIVING -	45.12 m <sup>2</sup>
TOTAL =	147.77 m <sup>2</sup>

UNIT 7 AREAS:	
GROUND FLOOR -	38.20 m <sup>2</sup>
FIRST FLOOR LIVING -	42.63 m <sup>2</sup>
ALFRESCO -	15.81 m <sup>2</sup>
SECOND FLOOR LIVING -	45.12 m <sup>2</sup>
TOTAL =	141.76 m <sup>2</sup>



STORY DESIGN COLLECTIVE

www.storydesign.com.au info@storydesign.com.au

0415 484 738 QBCC Lic # 1135254

SURFERS PARADISE BANORA POINT

Copyright: This document is the property of Story Design Collective and may not be used in whole or in part without permission. Legal Action will be taken against any person infringing the copyright.

rev.	date	description	initi.	rev.	date	description	initi.
A	14/05/19	Preliminary Layout	SR	G	25/10/19	Basix notes added	AP
B	03/07/19	DA drawings	AP	H	11/11/19	DA Drawing Revisions	SR
C	06/08/19	DA Drawing Revisions	AP	I	26/08/20	Adaptable Floorplans Added + Path	AP
D	16/08/19	Updated DA Drawings	AP	J	20/10/20	MOVING UNITS + REVISIONS	AP
E	03/10/19	DA Drawing Revisions	AP				
F	17/10/19	Drawing Additions	AP				

client	project number	drawing number	drawing print date
Adam Mangleson	19013	14	21/10/2020
project	scale	issue	drawing name
Townhouse Development	1:100 on A2	J	FIRST FLOOR LANDSCAPING
8 Kumbellin Glen, Ocean Shores, NSW	drawn	checked	
	SR	Sam Ray	





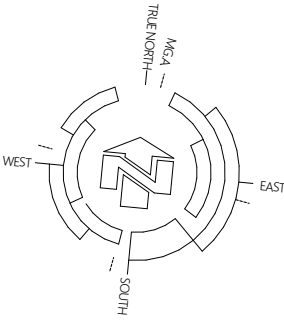
**STORY DESIGN COLLECTIVE**  
www.storydesign.com.au info@storydesign.com.au  
0415 484 738 QBCC Lic # 1135254  
SURFERS PARADISE BANORA POINT

Copyright: This document is the property of Story Design Collective and may not be used in whole or in part without permission. Legal Action will be taken against any person infringing the copyright.

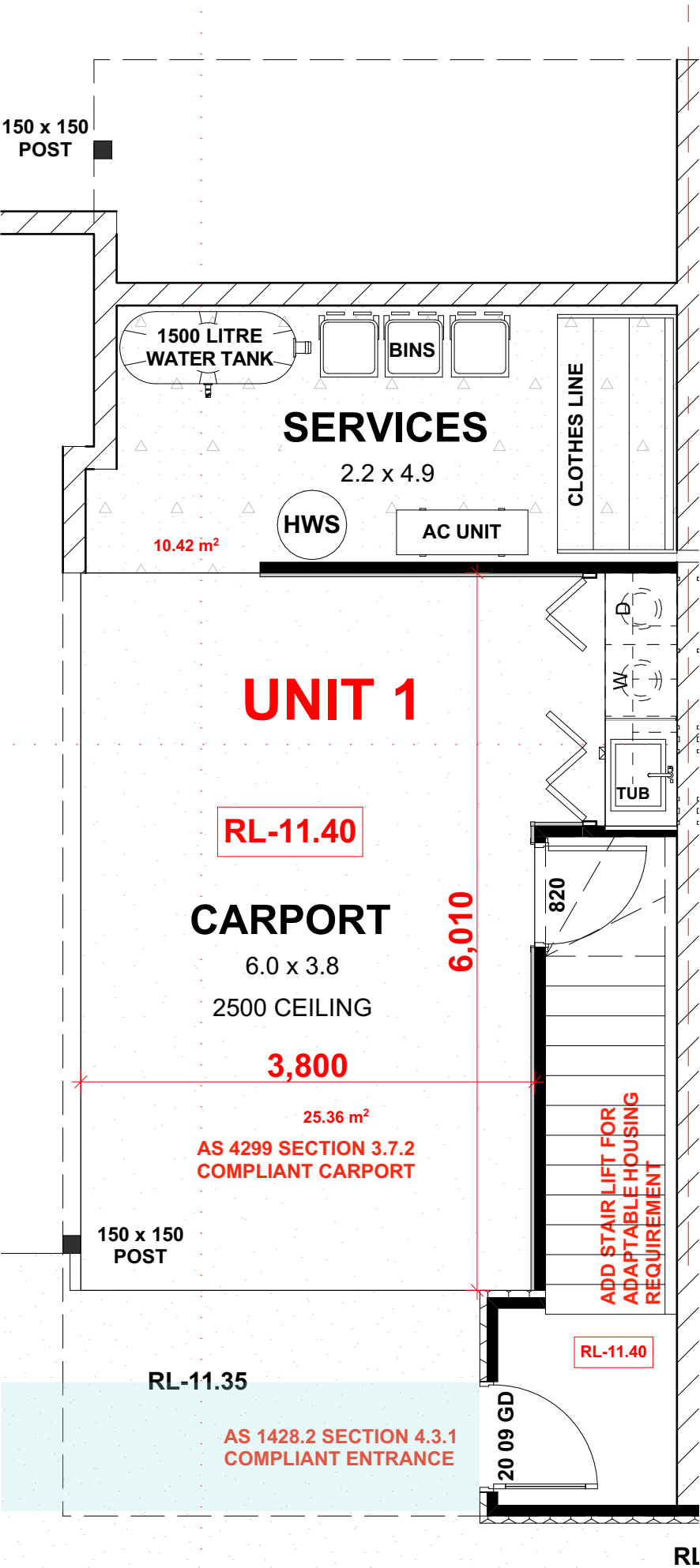
rev.	date	description	initi.	rev.	date	description	initi.
A	14/05/19	Preliminary Layout	SR	G	25/10/19	Basic notes added	AP
B	03/07/19	DA drawings	AP	H	11/11/19	DA Drawing Revisions	SR
C	06/08/19	DA Drawing Revisions	AP	I	26/08/20	Adaptable Floorplans Added + Path	AP
D	16/08/19	Updated DA Drawings	AP	J	20/10/20	MOVING UNITS + REVISIONS	AP
E	03/10/19	DA Drawing Revisions	AP				
F	17/10/19	Drawing Additions	AP				

client	project number	drawing number	drawing print date
<b>Adam Mangleson</b>	<b>19013</b>	<b>15</b>	<b>21/10/2020</b>
project	scale	issue	drawing name
<b>Townhouse Development</b>	1:100 on A2	<b>J</b>	<b>COLOURS &amp; MATERIALS</b>
<b>8 Kumbellin Glen, Ocean Shores, NSW</b>	drawn	checked	
	<b>SR</b>	<b>Sam Ray</b>	

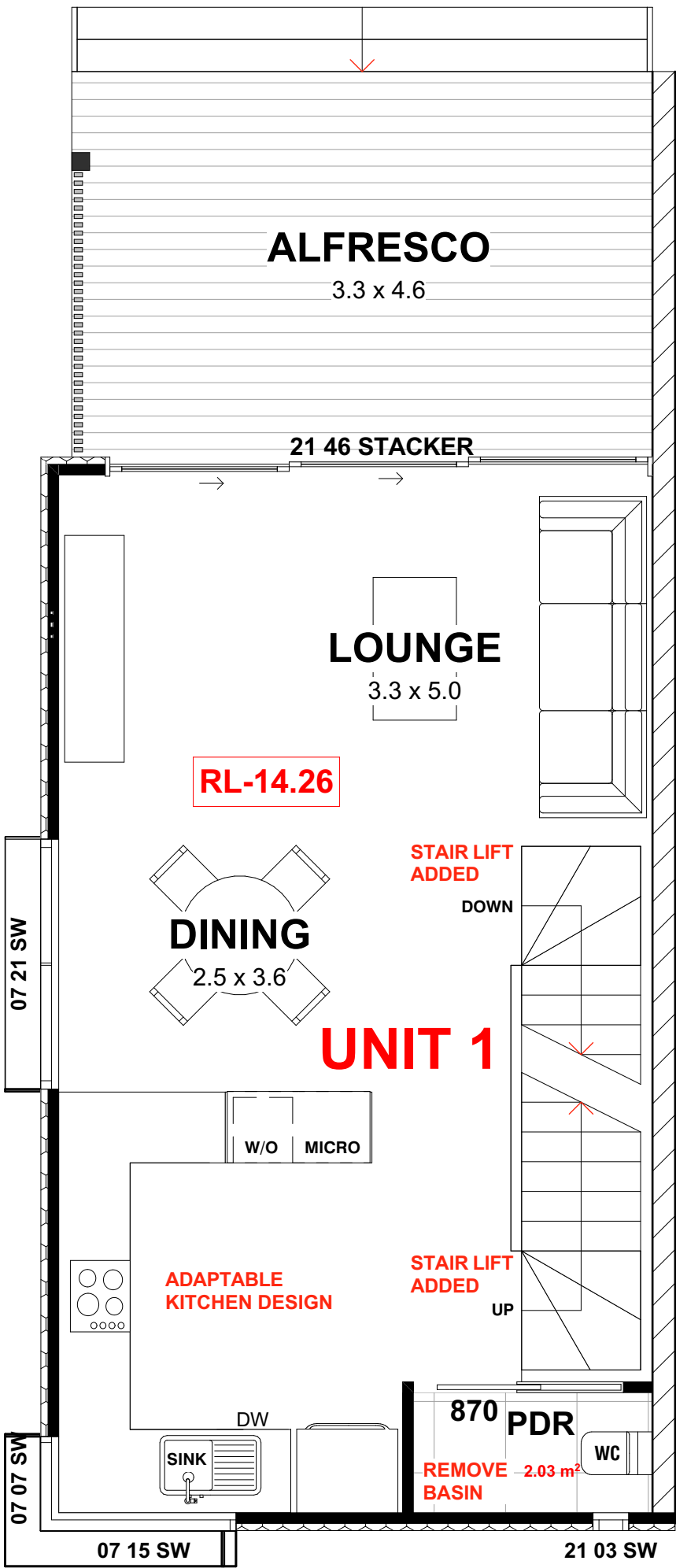




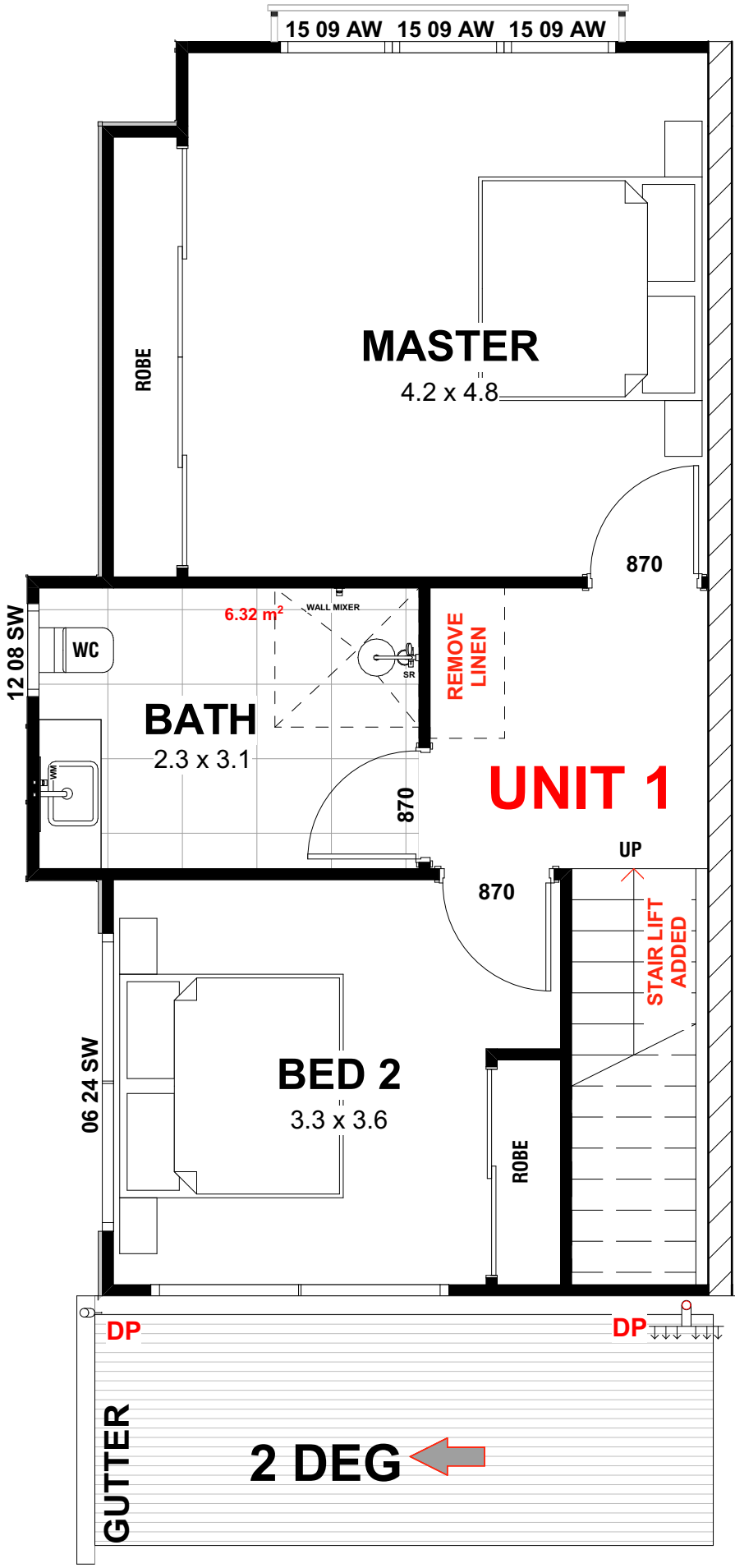
NOTE :  
UNIT 1 HAS BEEN DESIGNED FOR ADAPTABLE HOUSING  
AS PER AUSTRALIAN STANDARDS AS 4299 - 1995



GROUND FLOOR



FIRST FLOOR



SECOND FLOOR



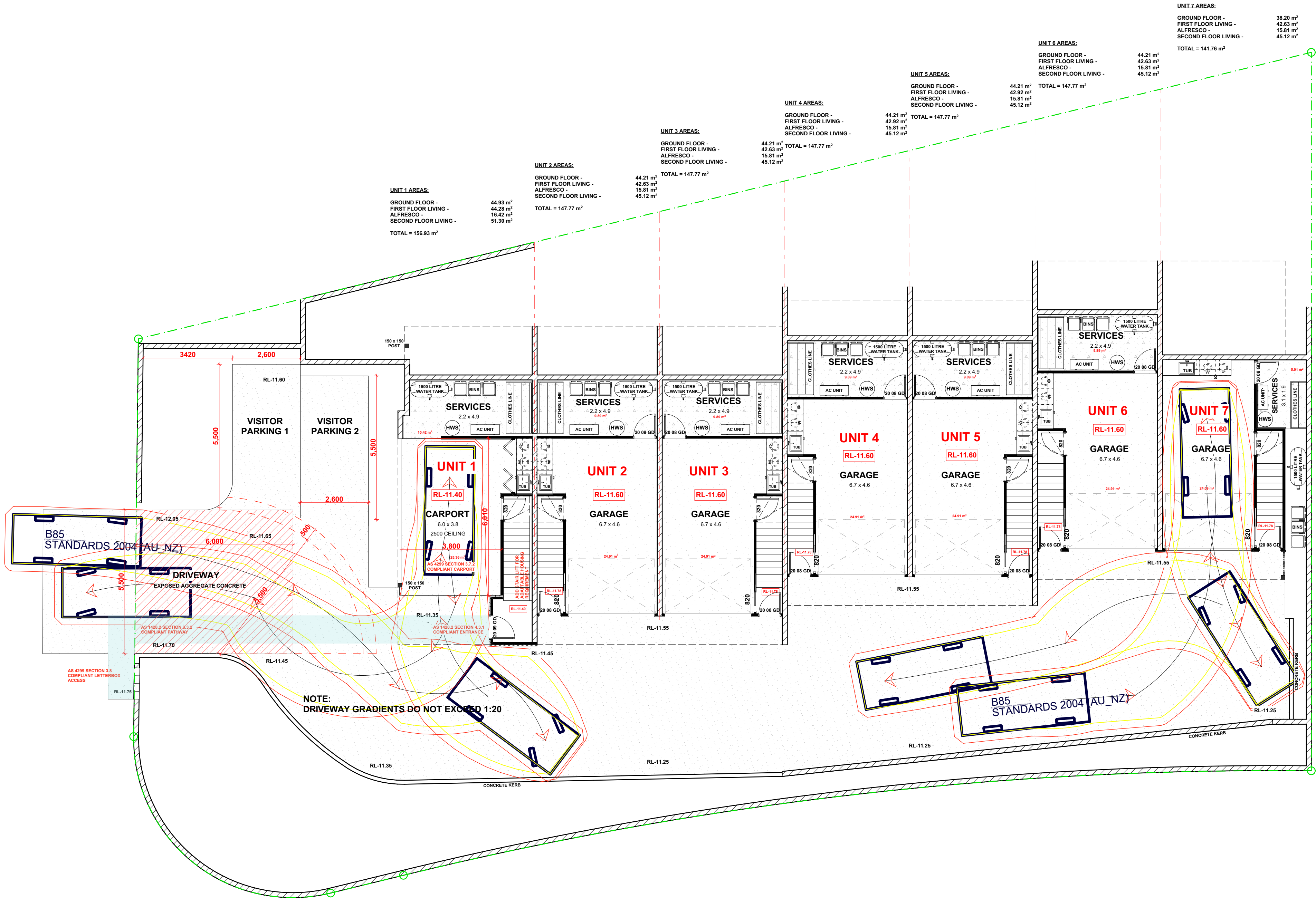
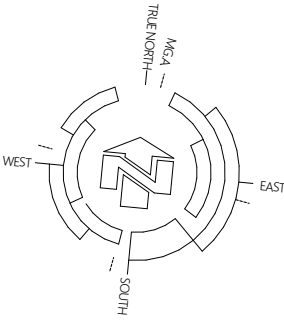
STORY DESIGN COLLECTIVE  
www.storydesign.com.au info@storydesign.com.au  
0415 484 738 QBCC Lic # 1135254  
SURFERS PARADISE BANORA POINT

Copyright: This document is the property of Story Design Collective and may not be used in whole or in part without permission. Legal Action will be taken against any person infringing the copyright.

rev.	date	description	initi.	rev.	date	description	initi.
A	14/05/19	Preliminary Layout	SR	G	25/10/19	Basix notes added	AP
B	03/07/19	DA drawings	AP	H	11/11/19	DA Drawing Revisions	SR
C	06/08/19	DA Drawing Revisions	AP	I	26/08/20	Adaptable Floorplans Added + Path	AP
D	16/08/19	Updated DA Drawings	AP	J	20/10/20	MOVING UNITS + REVISIONS	AP
E	03/10/19	DA Drawing Revisions	AP				
F	17/10/19	Drawing Additions	AP				

client	project number	drawing number	drawing print date
Adam Mangleson	19013	16	21/10/2020
project	scale	issue	drawing name
Townhouse Development	1:50 on A2	J	ADAPTABLE FLOOR PLANS
8 Kumbellin Glen, Ocean Shores, NSW	drawn SR	checked Sam Ray	





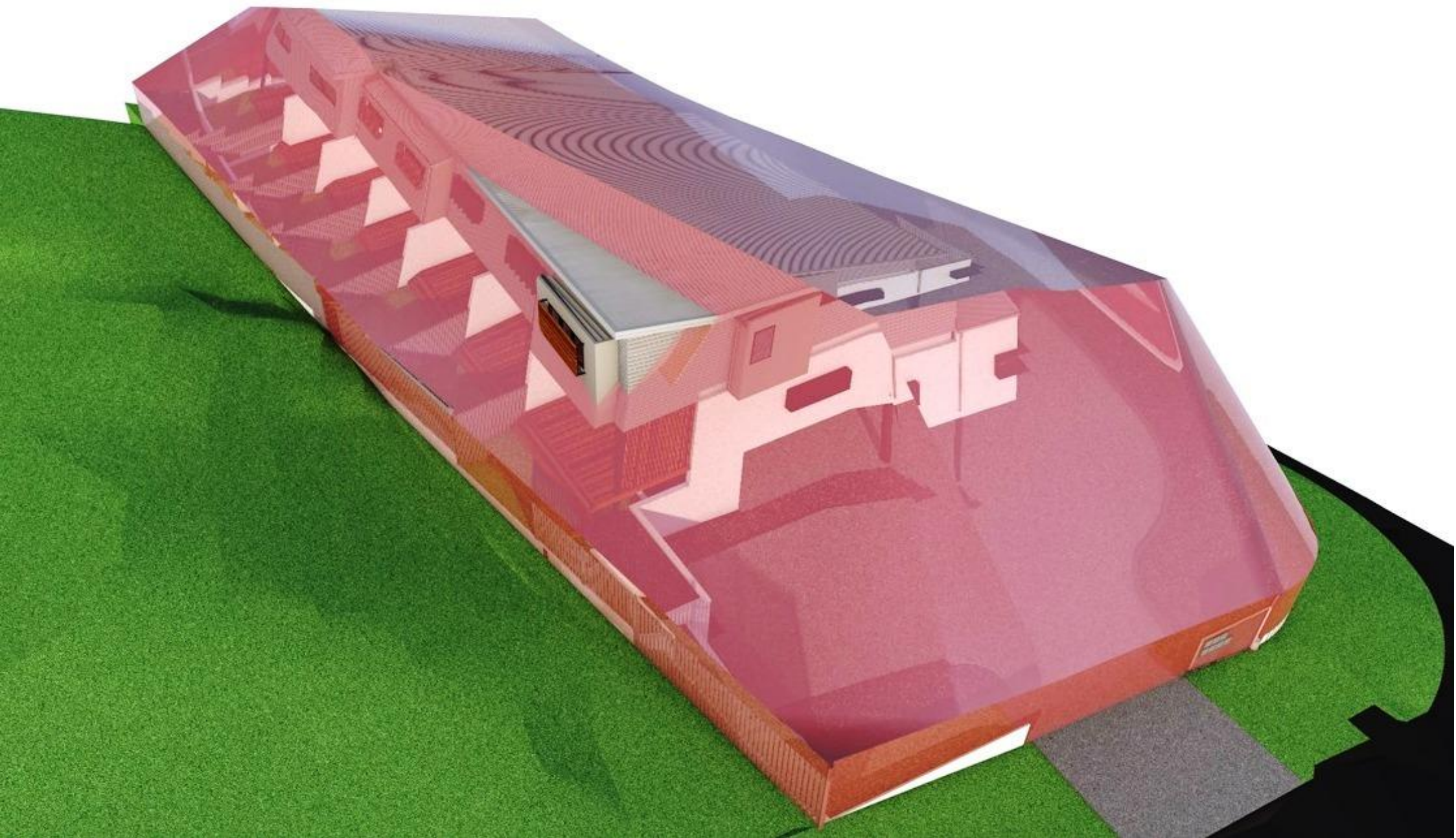
STORY DESIGN COLLECTIVE  
www.storydesign.com.au info@storydesign.com.au  
0415 484 738 QBCC Lic # 1135254  
SURFERS PARADISE BANORA POINT

Copyright: This document is the property of Story Design Collective and may not be used in whole or in part without permission. Legal Action will be taken against any person infringing the copyright.

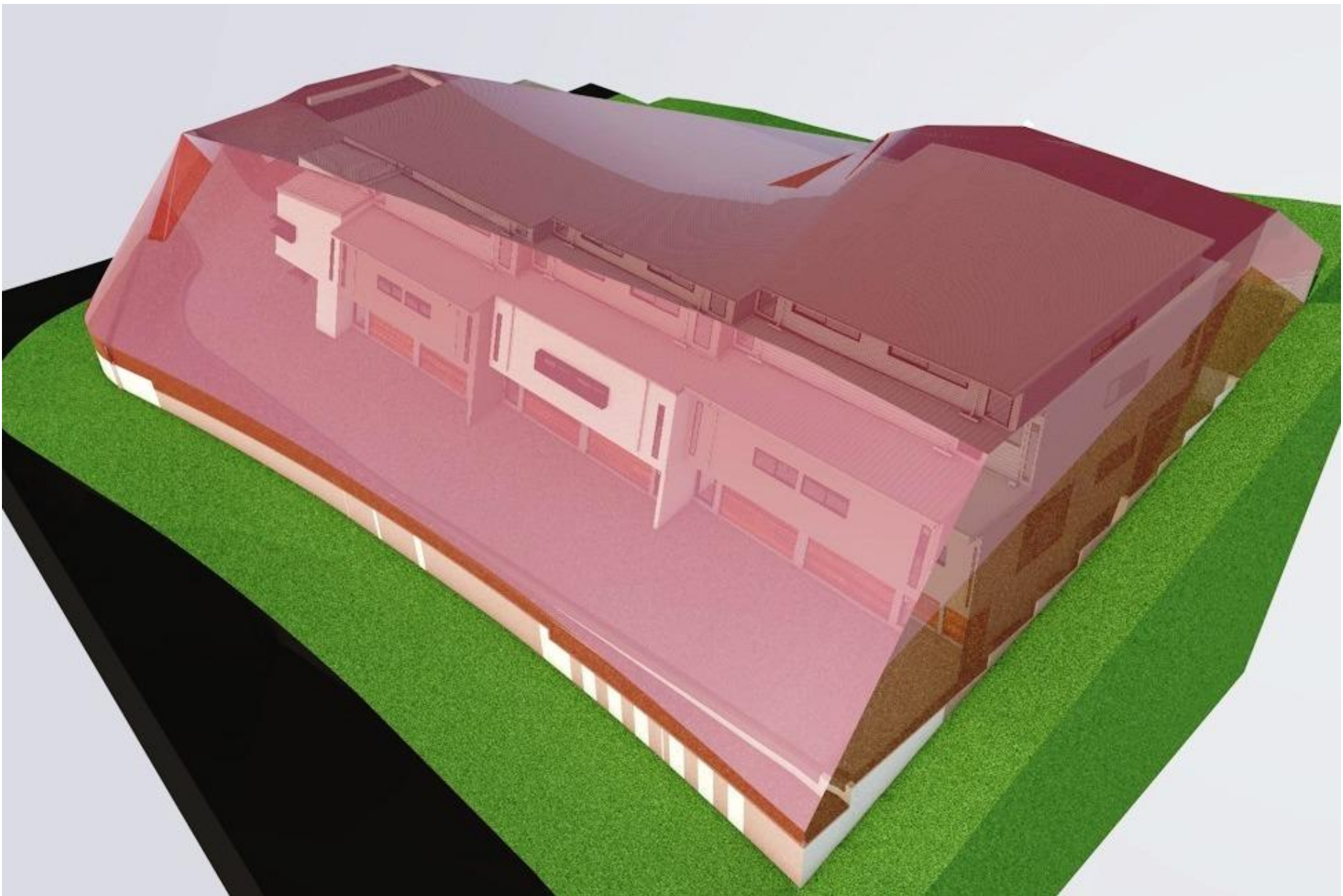
rev.	date	description	initi.	rev.	date	description	initi.
A	14/05/19	Preliminary Layout	SR	G	25/10/19	Basix notes added	AP
B	03/07/19	DA drawings	AP	H	11/11/19	DA Drawing Revisions	SR
C	06/08/19	DA Drawing Revisions	AP	I	26/08/20	Adaptable Floorplans Added + Path	AP
D	16/08/19	Updated DA Drawings	AP	J	20/10/20	MOVING UNITS + REVISIONS	AP
E	03/10/19	DA Drawing Revisions	AP				
F	17/10/19	Drawing Additions	AP				

client	project number	drawing number	drawing print date
Adam Mangleson	19013	17	21/10/2020
project	scale	issue	drawing name
Townhouse Development	1:100 on A2	J	TURNING PATHS
8 Kumbellin Glen, Ocean Shores, NSW	drawn SR	checked Sam Ray	





IMAGES SHOWING PROPOSED BUILDING  
CUTTING THROUGH THE BUILDING HEIGHT PLANE



STORY DESIGN COLLECTIVE  
www.storydesign.com.au info@storydesign.com.au  
0415 484 738 QBCC Lic # 1135254  
SURFERS PARADISE BANORA POINT

Copyright: This document is the property of Story Design Collective and may not be used in whole or in part without permission. Legal Action will be taken against any person infringing the copyright.

rev.	date	description	initi.	rev.	date	description	initi.
A	14/05/19	Preliminary Layout	SR	G	25/10/19	Basic notes added	AP
B	03/07/19	DA drawings	AP	H	11/11/19	DA Drawing Revisions	SR
C	06/08/19	DA Drawing Revisions	AP	I	26/08/20	Adaptable Floorplans Added + Path	AP
D	16/08/19	Updated DA Drawings	AP	J	20/10/20	MOVING UNITS + REVISIONS	AP
E	03/10/19	DA Drawing Revisions	AP				
F	17/10/19	Drawing Additions	AP				

client	project number	drawing number	drawing print date
Adam Mangleson	19013	18	21/10/2020
project	scale	issue	drawing name
Townhouse Development		J	HEIGHT PLANE IMAGES
8 Kumbellin Glen, Ocean Shores, NSW	drawn SR	checked Sam Ray	



**Note – Underground Services**

The location of the services shown hereon have been derived from a combination of field survey of visible components and records obtained from the appropriate authority.

The exact location of these services, and any others may therefore vary and should be verified with the relevant authorities and or the "Dial before you Dig" service prior to any works being undertaken.

Should any work be undertaken on or adjacent to the site to which this survey refers it is the responsibility of the person doing the work to locate any service that may be affected by that work.

Whilst due care was used in compiling this information, no responsibility can be accepted or taken by Ardill Payne & Partners for any inaccuracies or omissions shown or not shown hereon.

**Note –**

Pegs placed at all boundary corners

**LEGEND**

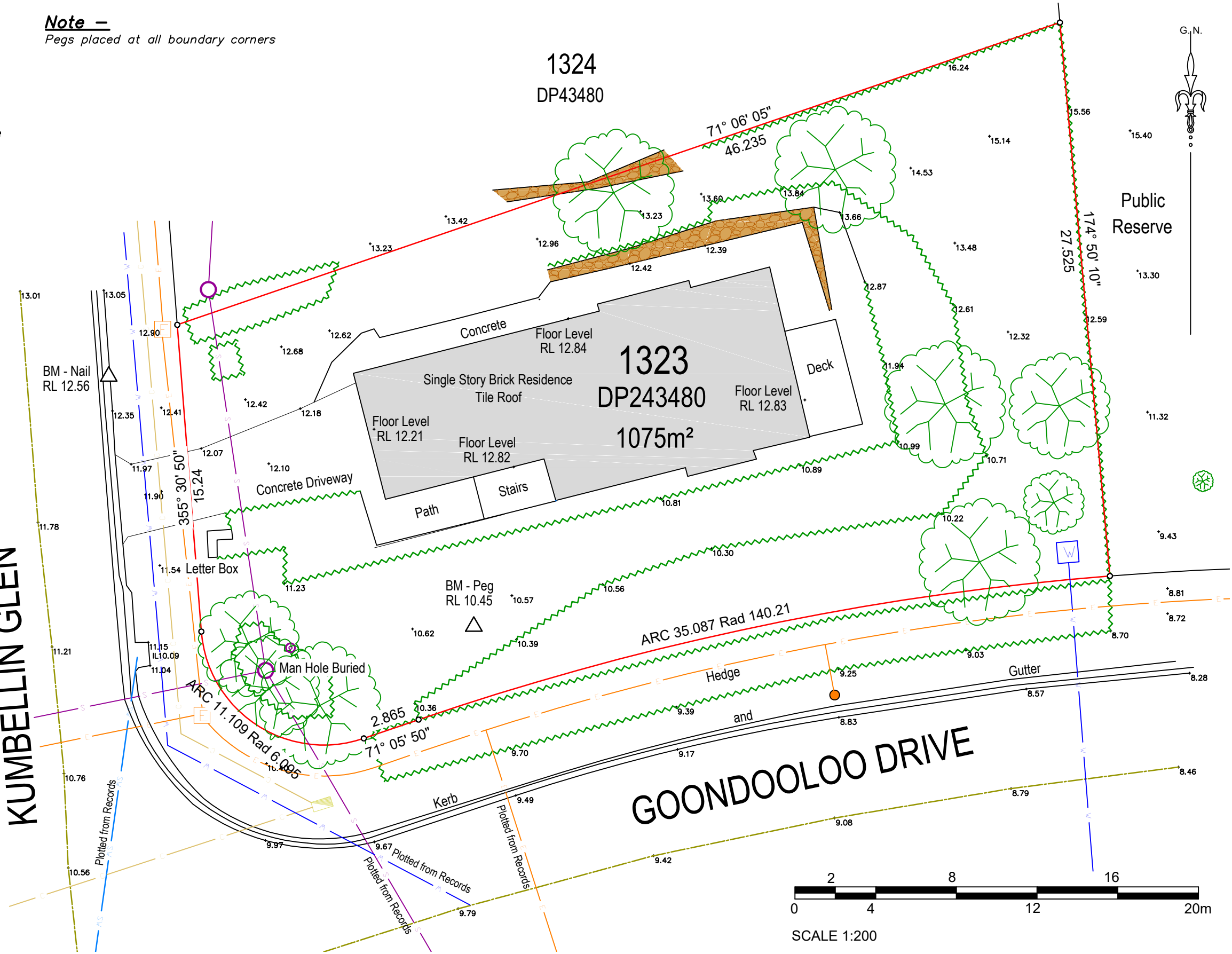
- Sewerage Inspection Point
- Sewerage Manhole
- Light Pole
- Electricity pit
- Communication Pit
- Bench Mark
- Water Meter
- Rock Wall
- Tree (Spread approx to scale)
- Garden/Vegetation
- Stormwater Main
- Water Main
- Electricity Main (underground)
- Communications Main (underground)
- Sewerage Main
- Road Centreline

**Note – Level Datum**

Level Datum: AHD  
Origin: SSM 70734 (RL 3.829 AHD)  
Contour Interval: 0.5m

NOTE: For Surveyed Points, refer to Autocad Layers:  
"X-MARK" "X-CODE" & "X-RL"

KUMBELLIN GLEN



Project:  
8 Kumbellin Glen, Ocean Shores  
Lot 1323 in DP243480

Client: Mr Adam Mangelson  
Title: Contour & Detail Survey

**ARDILL PAYNE**

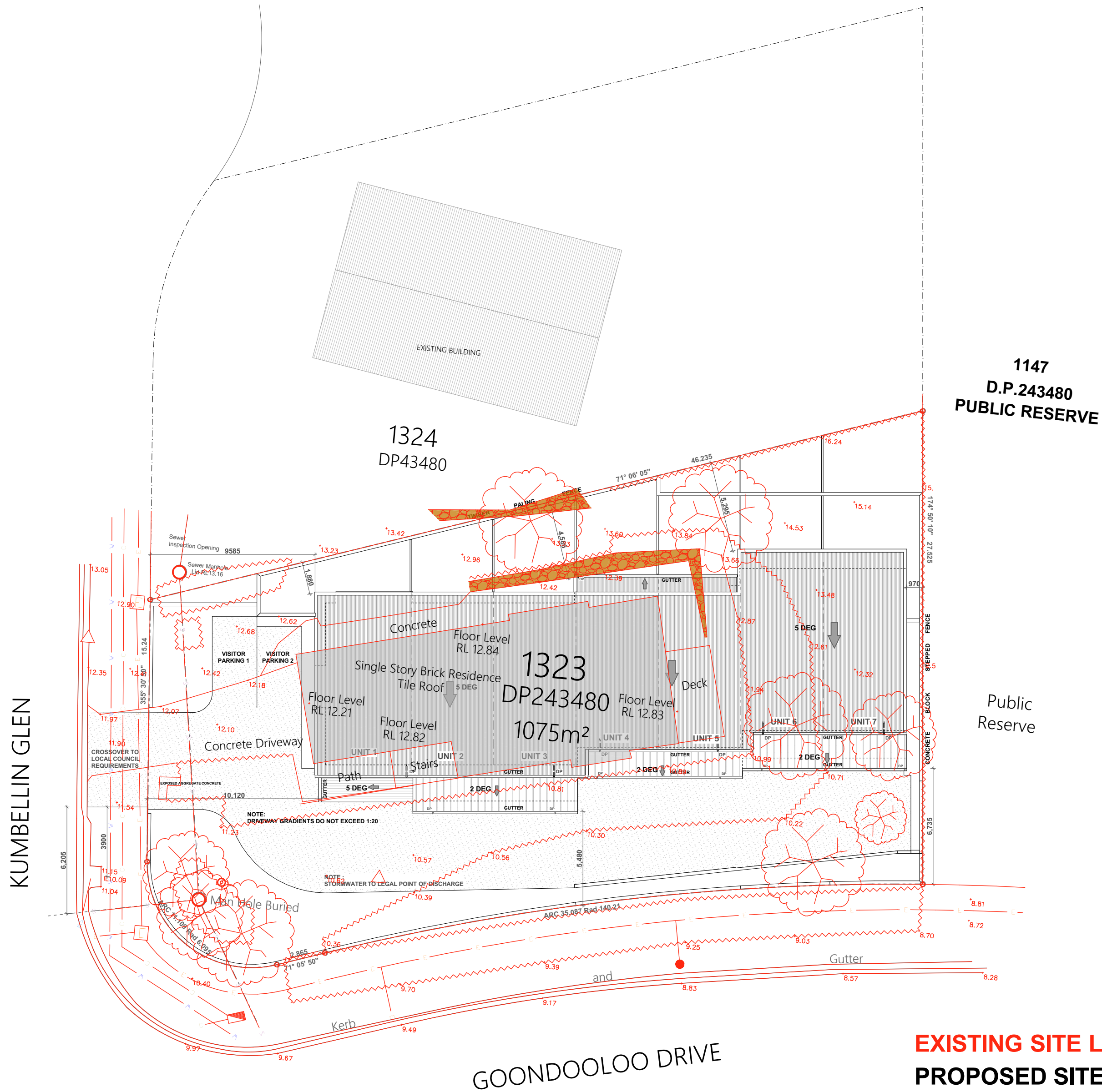
& ENGINEERS PLANNERS SURVEYORS  
ENVIRONMENTAL PROJECT MANAGEMENT  
BALLINA 45 River Street Ph. 02 6686 3280  
SOUTH BRISBANE 89 Grey Street Ph. 07 3123 6675  
GUNNEDAH 285 Conadilly Street Ph. 02 6742 9955  
A.B.N. 51 808 558 977 e-mail: info@ardillpayne.com.au



Surveyed	BJ PE	Scale at A3	1:200
Drawn	BJ	Datum	A.H.D.
Date	10/8/17	Acad File	8430DS
Checked	RJJ	Approved	
Job No.	8430	Dwg No.	S01
		Issue	

Do not scale drawing. Use written dimensions only  
This plan is copyright © All rights reserved.





STORY DESIGN COLLECTIVE  
www.storydesign.com.au info@storydesign.com.au  
0415 484 738 QBCC Lic # 1135254  
SURFERS PARADISE BANORA POINT

Copyright: This document is the property of Story Design Collective and may not be used in whole or in part without permission. Legal Action will be taken against any person infringing the copyright.

rev.	date	description	initi.	rev.	date	description	initi.
A	14/05/19	Preliminary Layout	SR	G	25/10/19	Basix notes added	AP
B	03/07/19	DA drawings	AP	H	11/11/19	DA Drawing Revisions	SR
C	06/08/19	DA Drawing Revisions	AP	I	26/08/20	Adaptable Floorplans Added + Path	AP
D	16/08/19	Updated DA Drawings	AP	J	20/10/20	MOVING UNITS + REVISIONS	AP
E	03/10/19	DA Drawing Revisions	AP				
F	17/10/19	Drawing Additions	AP				

client	project number	drawing number	drawing print date
Adam Mangleson	19013	20	21/10/2020
project	scale	issue	drawing name
Townhouse Development	1:200 on A2	J	SITE OVERLAY
8 Kumbellin Glen, Ocean Shores, NSW	drawn SR	checked Sam Ray	