Adam Mangleson

project:

Townhouse Development

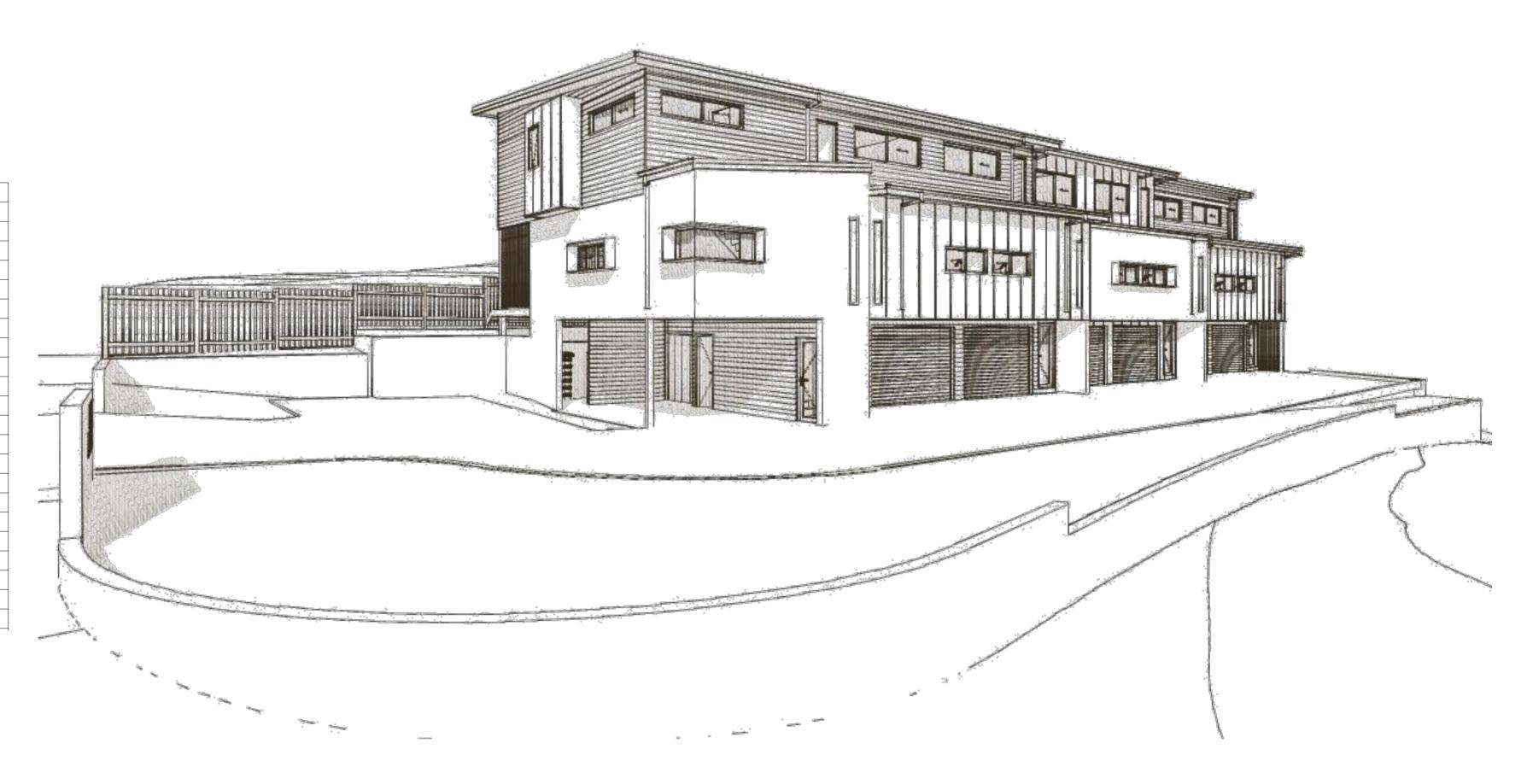
8 Kumbellin Glen, Ocean Shores, NSW

job no.

19013

Page no Layout Name

	COVER SHEET
	PERSPECTIVES
	SHADOW IMAGES
	SITE ANALYSIS
01	PROPOSED SITE PLAN
02	GROUND FLOOR PLAN
03	GROUND FLOOR DIMENSIONS
04	FIRST FLOOR PLAN
05	FIRST FLOOR DIMENSIONS
06	SECOND FLOOR PLAN
07	SECOND FLOOR DIMENSIONS
08	ROOF PLAN
09	WEST & SOUTH ELEVATIONS
10	EAST & NORTH ELEVATIONS
11	SECTION A & B
12	SECTION C + DRIVEWAY SECTION
13	GROUND FLOOR LANDSCAPING
14	FIRST FLOOR LANDSCAPING
15	COLOURS & MATERIALS
16	ADAPTABLE FLOOR PLANS
17	TURNING PATHS
18	HEIGHT PLANE IMAGES
19	SURVEY





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F	17/10/19	Drawing Additions		Ī		

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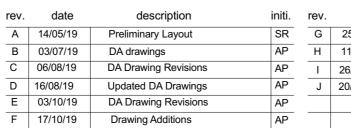
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06/08/19	DA Drawing Revisions	Ι	26/08/20	Adaptable Floorplans Added + Path
16/08/19	Updated DA Drawings	J	20/10/20	MOVING UNITS + REVISIONS
03/10/19	DA Drawing Revisions			
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SR	G	25/10/19	Basix notes added	AP
AP	Н	11/11/19	DA Drawing Revisions	SR
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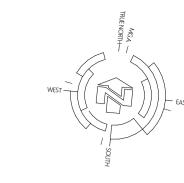
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Adam Mangleson		19013 issue		
project	scale			
Townhouse Development	1:100 on A2	J		
8 Kumbellin Glen,	drawn	checked		
Ocean Shores, NSW	SR	Sam Ray		

21/10/2020 drawing name

drawing print date

drawing number

PERSPECTIVES





1147 D.P.243480 PUBLIC RESERVE



EXISTING BUILDING

PROPERTY DESCRIPTION

TOWNHOUSE DEVELOPMENT

LOT 1323 in DP243480 8 KUMBELLIN GLEN, OCEAN SHORES, NSW ,

LAND SIZE -SITE COVERAGE - approx Approx 42.0 %

1075.00 m² 450.00 m²



GOONDOOLOO DRIVE

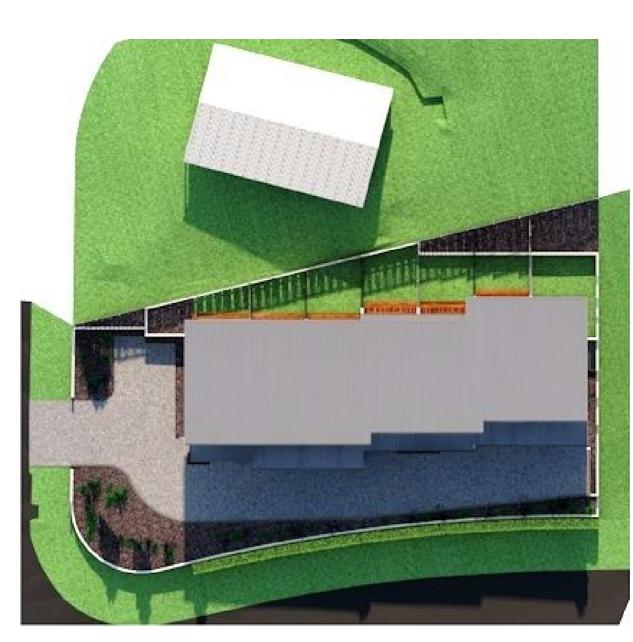
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F	17/10/19	Drawing Additions	AP				

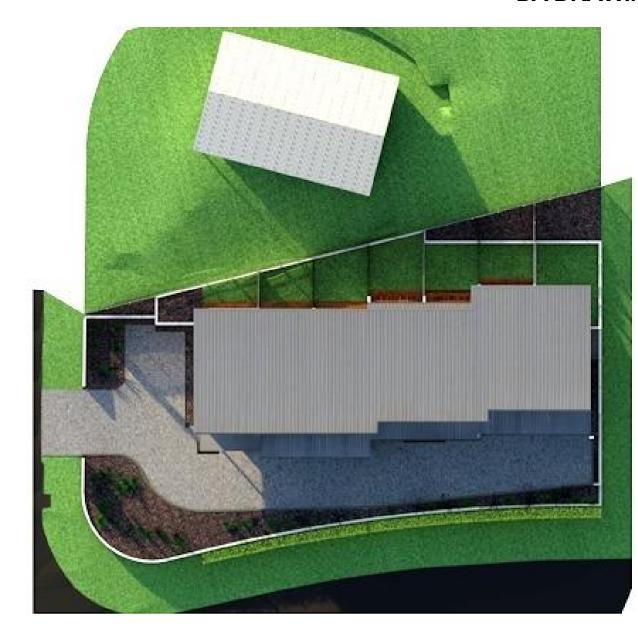
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Adam Mangleson		19013		21/10/2020
project	scale	issue	drawing name	
Townhouse Development	1:100 on A2	J		
3 Kumbellin Glen,	drawn	checked	SITE ANALYSIS	
Ocean Shores, NSW	SR	Sam Ray		



JUNE 21st 9 am



JUNE 21st noon



JUNE 21st 3 pm



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STORY

DECEMBER 21st noon



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Α	14/05/19	Preliminary Layout	SR	G	25/10/19	Basix notes added	AP
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F	17/10/19	Drawing Additions	AP				

DECEMBER 21st 3 pm



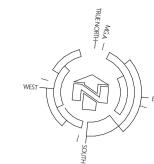
client	project number			
Adam Mangleson		19013		
project	scale	issue		
Townhouse Development	1:100 on A2	J		
8 Kumbellin Glen,	drawn	checked		
Ocean Shores, NSW	SR	Sam Ray		

21/10/2020 drawing name

drawing number

drawing print date

SHADOW IMAGES



UNIT 1 GFA AREAS:

 $\begin{array}{lll} \text{GROUND FLOOR (Concession) -} & 24.89 \text{ m}^2 \\ \text{FIRST FLOOR LIVING -} & 36.31 \text{ m}^2 \\ \text{SECOND FLOOR LIVING -} & 44.78 \text{ m}^2 \\ \end{array}$

UNIT 2-7 GFA AREAS:

 $\begin{array}{lll} \text{GROUND FLOOR (Concession) -} & 25.87 \text{ m}^2 \\ \text{FIRST FLOOR LIVING -} & 35.21 \text{ m}^2 \\ \text{SECOND FLOOR LIVING -} & 39.25 \text{ m}^2 \\ \end{array}$

 $TOTAL GFA = 527.85 \text{ m}^2$

Floor Space Ratio - 0.49:1

SITE NOTES

GROUND SURFACE WATER

FALL GROUND 50mm MIN IN FIRST 1000mm FROM BUILDING

THE HEIGHT OF SLAB ABOVE EXTERNAL FINISHED SURFACE TO BE NOT LESS THAN:

(A) 150mm ABOVE FINISHED GROUND LEVEL
(B) 100mm ABOVE SANDY WELL DRAINED AREAS
(C) 50mm ABOVE PAVED OR CONCRETE AREAS
WITH FALL AWAYFROM BUILDING

ROOF DRAINAGE

FACE GUTTERS TO HAVE A MIN. FALL OF 1:500 BOX GUTTERS TOM HAVE A MIN. FALL OF 1:100

CATCHMENT AREA GL

 30m²
 115mm D GUTTER

 40m²
 125mm D GUTTER

 50m²
 150mm D GUTTER

 60m²
 150mm D GUTTER

ALL DRAINAGE REQUIRMENTS -STORMWATER, WASTE WATER, SEWER ETC -REFER TO HYDRAULIC ENGINEERS DETAILS & SPECIFICATIONS.

<u>DOWNPIPES</u>

MIN. SIZE 90mm DIAMETER

MAX. SPACING OF DOWNPIPES IS 12m

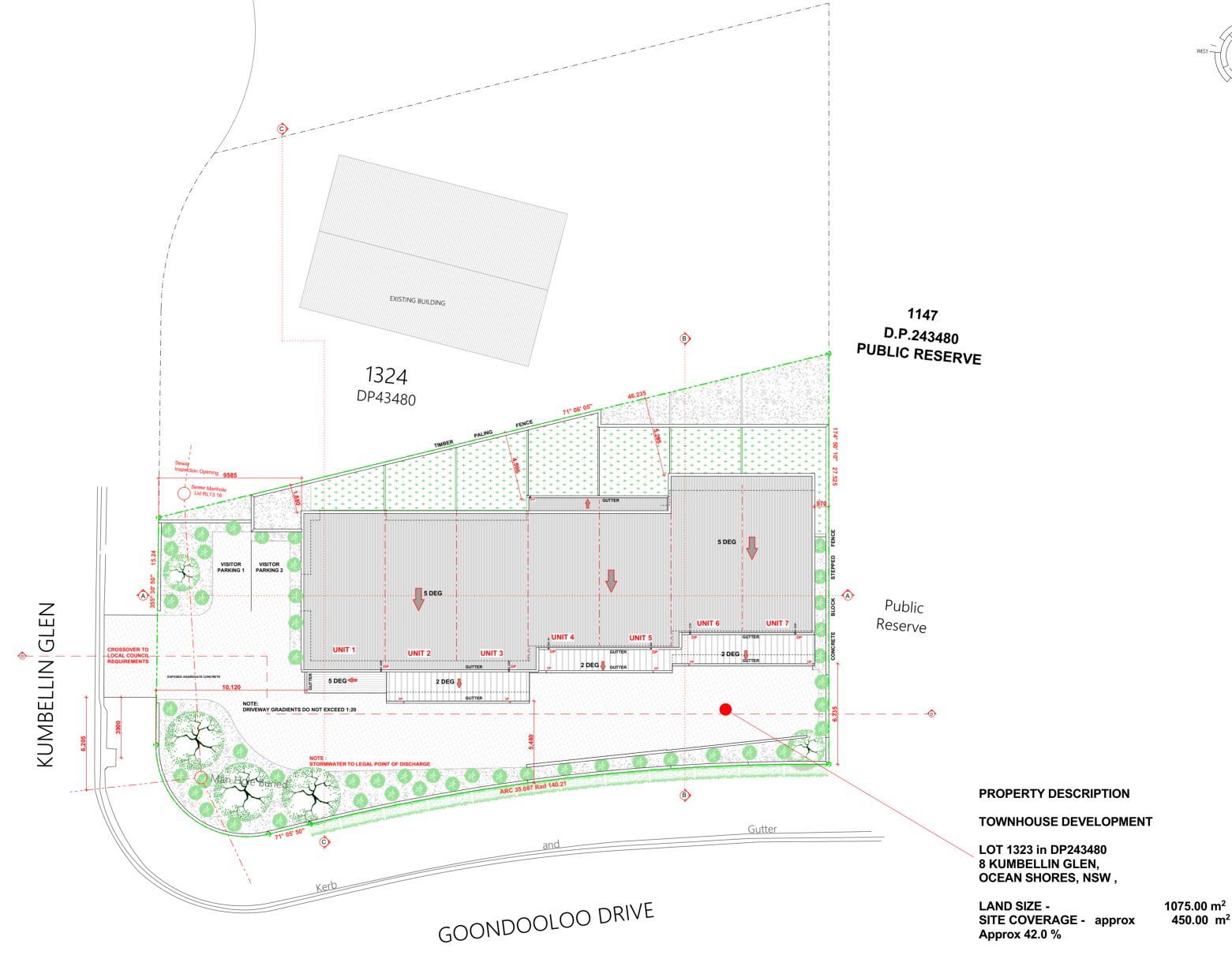
DOWNPIPES TO BE FIXED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS & IF MORE THAN 1.2m FROM THE VALLEY PROVISION FOR AN OVERFLOW IS REQUIRED.

STORMWATER

STORMWATER LINES FOR 2 OR MORE DOWNPIPES
TO BE 100mm DIA. WITH ALL BRANCHES TO BE 90mm

STORMWATER LINES SHALL BE TO A MIN. FALL OF 1:60 & WHERE POSSIBLE PLACED AS SHOWN.

100mm COVER TO STORMWATER DRAINAGE.





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Adam Mangleson		19013	01	21/10/2020
project	scale	issue	drawing name	
Townhouse Development	1:100 on A2	J		
8 Kumbellin Glen,	drawn	checked	Proposed site plan	
Ocean Shores, NSW	SR	Sam Ray		

VISITOR

PARKING 1

RL-11.45

VISITOR

PARKING 2

SERVICES

△2.2 x 4.9

UNIT 2

RL-11.60

GARAGE

6.7 x 4.6

SERVICES

2.2 x 4.9

UNIT 1

RL-11.40

CARPORT

6.0 x 3.8

2500 CEILING

DRIVEWAY GRADIENTS DO NOT EXCEED 1:20

C

date

A 14/05/19

B 03/07/19

C 06/08/19

D 16/08/19

E 03/10/19

F 17/10/19

description

Preliminary Layout

DA Drawing Revisions

Updated DA Drawings

DA Drawing Revisions

Drawing Additions

DA drawings

3kW SOLAR SYSTEM TO EACH UNIT

A

STORY

RL-12,05

DRIVEWAY EXPOSED AGGREGATE CONCRETE

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SURFERS PARADISE

0415 484 738

The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table DA DRAWINGS The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the UNIT 7 AREAS: "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as GROUND FLOOR -FIRST FLOOR LIVING -38.20 m² 42.63 m² 15.81 m² (B) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table. ALFRESCO -SECOND FLOOR LIVING 45.12 m UNIT 6 AREAS: TOTAL = 141.76 m² GROUND FLOOR 44.21 m FIRST FLOOR LIVING -ALFRESCO -SECOND FLOOR LIVING 42.63 m² 15.81 m² 45.12 m² **UNIT 5 AREAS:** 44.21 m² TOTAL = 147.77 m² 42.92 m² 15.81 m² 45.12 m² GROUND FLOOR -FIRST FLOOR LIVING -ALFRESCO -SECOND FLOOR LIVING -**UNIT 4 AREAS:** GROUND FLOOR -44.21 m² 42.92 m² 15.81 m² 45.12 m² FIRST FLOOR LIVING ALFRESCO -SECOND FLOOR LIVING **UNIT 3 AREAS:** GROUND FLOOR -FIRST FLOOR LIVING 44.21 m² 42.63 m² 15.81 m² 45.12 m² ALFRESCO -SECOND FLOOR LIVING 44.21 m² TOTAL = 147.77 m² 45.12 m SERVICES 2.2 x 4.9 SERVICES SERVICES AC UNIT 2.2 x 4.9 ^ 2.2 x 4.9 AC UNIT SERVICES **UNIT 7** UNIT 6 2.2 x 4.9 RL-11.60 RL-11.60 UNIT 5 UNIT 4 **GARAGE** GARAGE RL-11.60 RL-11.60 6.7 x 4.6 6.7 x 4.6 UNIT 3 GARAGE GARAGE (A)6.7 x 4.6 6.7 x 4.6 RL-11.60 **GARAGE** 6.7 x 4.6 RL-11.55 RL-11.55 RL-11.55 RL-11.25 RL-11.25 **BASIX DETAILS** B REFER TO BASIX REPORT

project number

scale

drawn

SR

1:100 on A2

19013

checked

Sam Ray

drawing name

GROUND FLOOR PLAN

initi.

Adam Mangleson

8 Kumbellin Glen,

Ocean Shores, NSW

Townhouse Development

description

26/08/20 Adaptable Floorplans Added + Path

J 20/10/20 MOVING UNITS + REVISIONS

G 25/10/19 Basix notes added

AP

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H 11/11/19 DA Drawing Revisions

drawing print date

21/10/2020

drawing number

02

GROUND FLOOR DIMENSIONS

checked

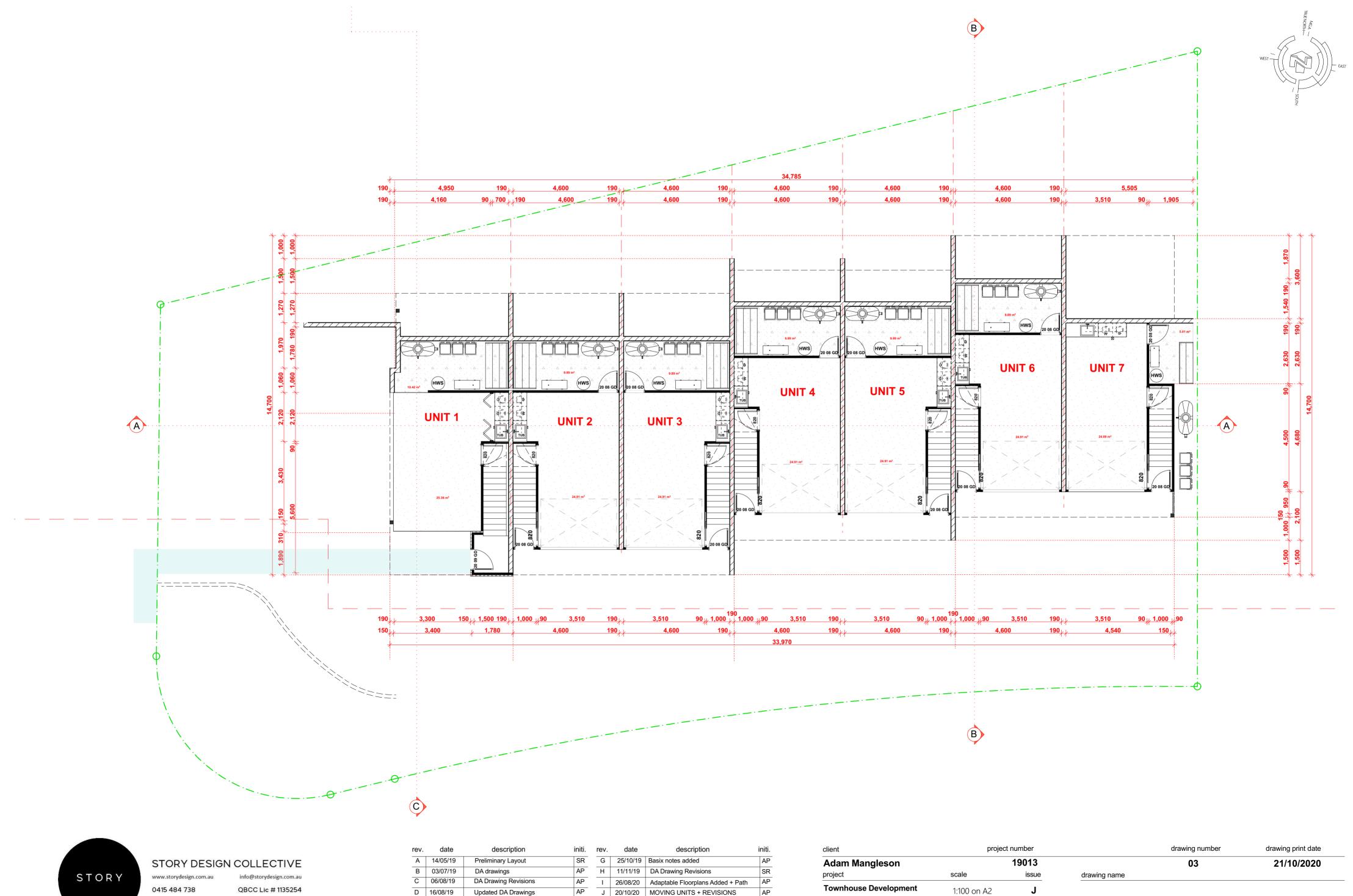
Sam Ray

drawn

SR

8 Kumbellin Glen,

Ocean Shores, NSW



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J 20/10/20 MOVING UNITS + REVISIONS

D 16/08/19

E 03/10/19

F 17/10/19

SURFERS PARADISE

BANORA POINT

Updated DA Drawings

DA Drawing Revisions

Drawing Additions

CONCRETE SLAB ON GROUND **EXPOSED AGG CONCRETE DRIVEWAY**

& RETAINING WALLS

EXTERIOR WALLS
190mm CONCRETE BLOCK WALLS 90mm TREATED PINE FRAMING WEATHERBOARD CLADDING FC SHEETING WITH COVER BATTENS 60mm RENDERED FOAM CLADDING

INTERNAL LINING PLASTERBOARD WITH STANDARD CORNICE

ROOFING COLORBOND CUSTOM ORB @ 5 DEGS & KLIPLOK ROOF SHEETING @ 2 DEGS **COLORBOND GUTTERS & FASCIA** PAINTED PVC DOWNPIPES

POWDERCOATED ALUMINIUM WINDOWS & DOORS HEKA WINDOW HOODS TO SELECTED WINDOWS

TIMBER FLOORING **CERAMIC TILES TO WET AREAS HWD TIMBER STAIR TREADS** HWD TIMBER DECKING WITH TREATED TIMBER STEPS

TREATED TIMBER POSTS & FENCE PALINGS

3kW SOLAR SYSTEM TO EACH UNIT

REFER TO ENGINEERS DETAILS REFER TO UNIT SPECIFICATIONS FOR ALL PRODUCT SELECTIONS

REFER TO BASIX REPORT

REFER TO natHERS REPORT

(A)

REFER TO UNIT INTERIOR DRAWINGS

WATER TANKS - 1500 LITRE POLY + PUMP REVERSE CYCLE HEATING & COOLING 250 LITRE ELECTRIC HOT WATER SYSTEM

The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.

BASIX DETAILS The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that

central system to the dwelling, so that the dwelling's hot water is supplied by that central system This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is

The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.

The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.

Where there is an in-slab heating or cooling system, the applicant must:

fitted with a window and/or skylight.

(aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or

(bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical

NOTE : REFER TO PAGE 16 UNIT 1 HAS BEEN DESIGNED FOR ADAPTABLE HOUSING **UNIT 2 AREAS:** GROUND FLOOR -AS PER AUSTRALIAN STANDARDS AS 4299 - 1995

The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table

The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as

The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.

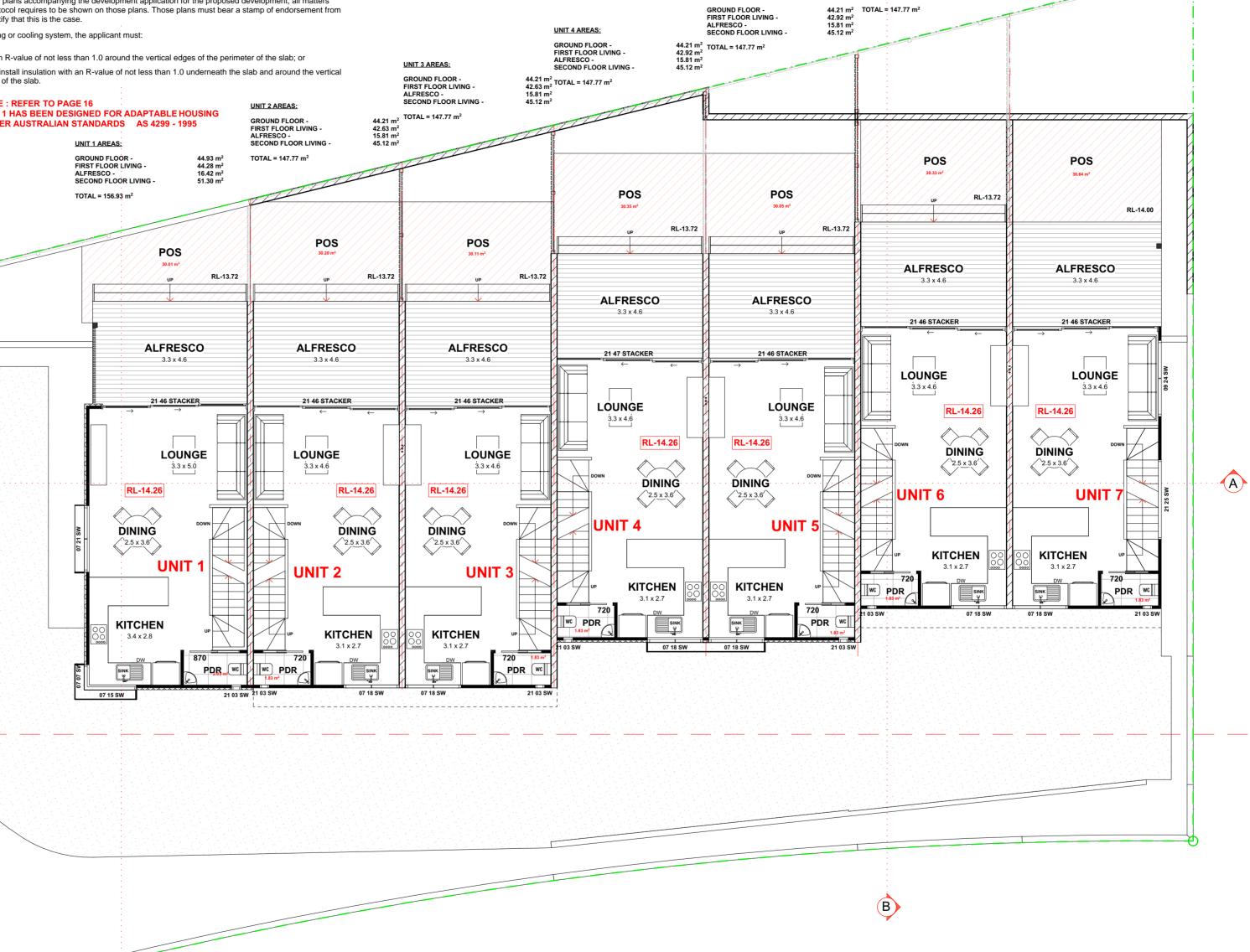
UNIT 5 AREAS:

GROUND FLOOR -

UNIT 7 AREAS: GROUND FLOOR -FIRST FLOOR LIVING -(B) ALFRESCO -SECOND FLOOR LIVING UNIT 6 AREAS: TOTAL = 141.76 m² GROUND FLOOR -44.21 m FIRST FLOOR LIVING -ALFRESCO -SECOND FLOOR LIVING -42.63 m² 15.81 m² 45.12 m²

38.20 m² 42.63 m² 15.81 m² 45.12 m²

DA DRAWINGS



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description



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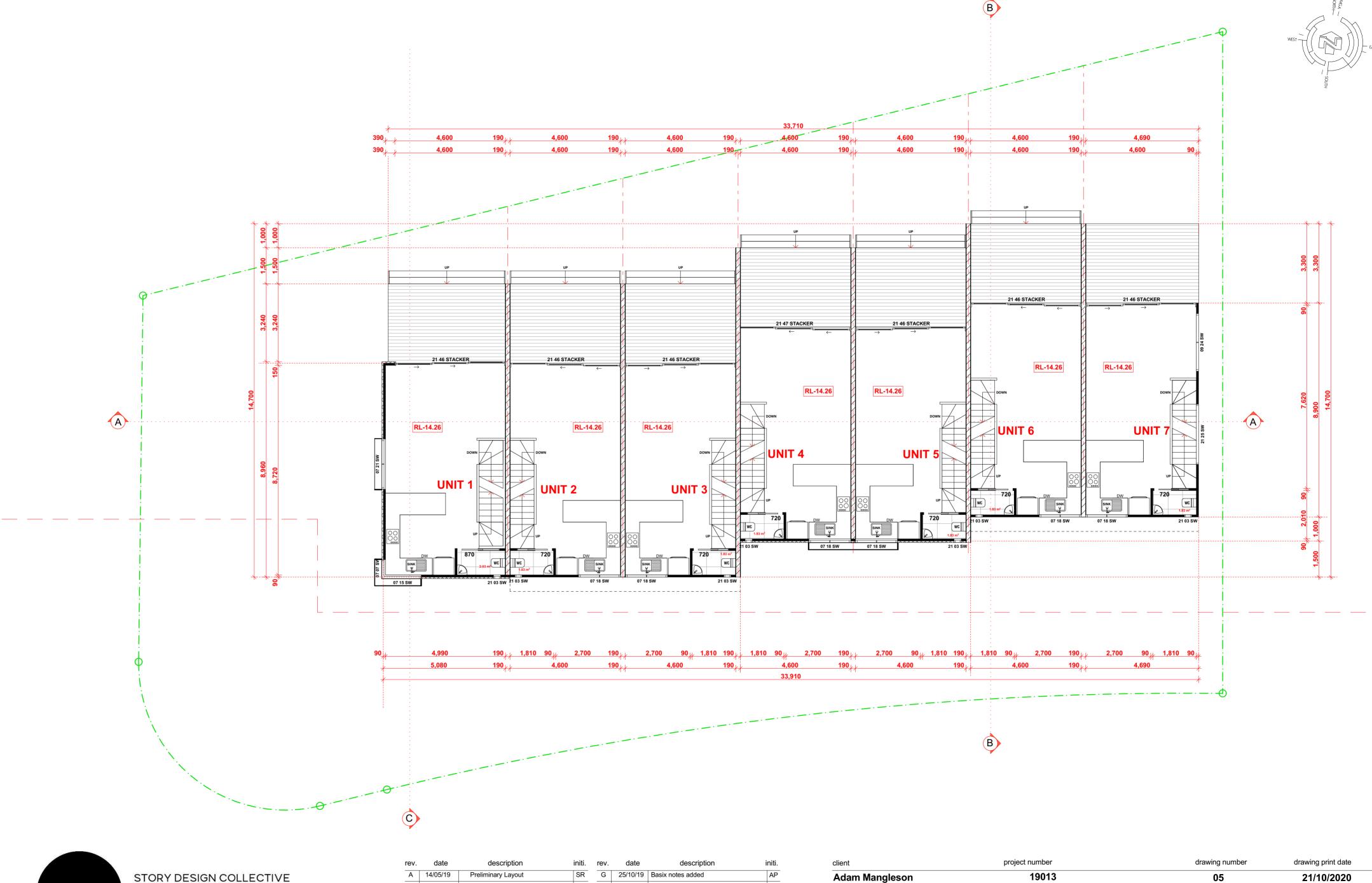
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F	17/10/19	Drawing Additions	AP			

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		19013		04	21/10/2020
	scale	issue	drawing name		
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	drawn	checked	FIRST FLOOR PLAN		
	CD	Som Dov			

drawing number

drawing print date



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 Drawing Additions
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Adam Mangleson		19013		
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Townhouse Development	1:100 on A2	J		
8 Kumbellin Glen,	drawn	checked		
Ocean Shores, NSW	SR	Sam Ray		

drawing name

FIRST FLOOR DIMENSIONS

EXTERIOR WALLS 190mm CONCRETE BLOCK WALLS

& RETAINING WALLS 90mm TREATED PINE FRAMING WEATHERBOARD CLADDING FC SHEETING WITH COVER BATTENS 60mm RENDERED FOAM CLADDING

INTERNAL LINING PLASTERBOARD WITH STANDARD CORNICE

ROOFING COLORBOND CUSTOM ORB @ 5 DEGS & KLIPLOK ROOF SHEETING @ 2 DEGS **COLORBOND GUTTERS & FASCIA** PAINTED PVC DOWNPIPES

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TIMBER FLOORING **CERAMIC TILES TO WET AREAS HWD TIMBER STAIR TREADS** HWD TIMBER DECKING WITH TREATED TIMBER STEPS

TREATED TIMBER POSTS & FENCE PALINGS

REFER TO UNIT SPECIFICATIONS FOR ALL PRODUCT SELECTIONS

REFER TO BASIX REPORT

REFER TO natHERS REPORT

REFER TO UNIT INTERIOR DRAWINGS WATER TANKS - 1500 LITRE POLY + PUMP

REFER TO ENGINEERS DETAILS

(A)

REVERSE CYCLE HEATING & COOLING 250 LITRE ELECTRIC HOT WATER SYSTEM **3kW SOLAR SYSTEM TO EACH UNIT**

MASTER 3.4 x 4.0

/ 09/27 SMV /

UNIT 2 AREAS:

44.93 m² 44.28 m² 16.42 m² 51.30 m²

MASTER

GROUND FLOOR -

TOTAL = 147.77 m²

FIRST FLOOR LIVING -ALFRESCO -SECOND FLOOR LIVING -

3.6 x 3.5

BATH

BED 2 _BED 2

MASTER

3.4 x 4.0

UNIT 3 AREAS:

44.21 m² TOTAL = 147.77 m²

45.12 m

GROUND FLOOR -FIRST FLOOR LIVING

ALFRESCO -SECOND FLOOR LIVING

3.6 x 3.5

09 27 SW 09 27 SW

2 DEG 🌡

GUTTER

initi.

AP

The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table

"Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as

UNIT 4 AREAS:

44.21 m² 42.63 m² 15.81 m² 45.12 m²

GROUND FLOOR -FIRST FLOOR LIVING -

ALFRESCO -SECOND FLOOR LIVING

MASTER

BATH

BED 2

3.6 x 3.5

2 DEG

The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the

The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.

UNIT 5 AREAS:

44.21 m² 42.92 m² 15.81 m² 45.12 m²

GROUND FLOOR -

FIRST FLOOR LIVING -ALFRESCO -SECOND FLOOR LIVING -

MASTER 3.4 x 4.0

BED 2

3.6 x 3.5

GUTTER

B

project number **Adam Mangleson** scale

Townhouse Development 1:100 on A2 drawn 8 Kumbellin Glen, Ocean Shores, NSW SR Sam Ray

19013 06 21/10/2020 drawing name SECOND FLOOR PLAN checked

drawing number

DA DRAWINGS

UNIT 7 AREAS:

ALFRESCO -

44.21 m

42.63 m² 15.81 m² 45.12 m²

(B)

UNIT 6 AREAS:

44.21 m² TOTAL = 147.77 m² 42.92 m² 15.81 m² 45.12 m²

GROUND FLOOR -

FIRST FLOOR LIVING -ALFRESCO -SECOND FLOOR LIVING

MASTER

3.4 x 4.0

BED 2

3.6 x 3.5

2 DEG

GUTTER

GROUND FLOOR -FIRST FLOOR LIVING -

TOTAL = 141.76 m²

SECOND FLOOR LIVING

MASTER

 3.4×4.0

(A)

drawing print date

BATH

BED 2

3.6 x 3.5

38.20 m² 42.63 m² 15.81 m² 45.12 m²

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E 03/10/19 F 17/10/19

C

date

A 14/05/19

B 03/07/19

The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in

This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is

The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the

The applicant must show on the plans accompanying the development application for the proposed development, all matters

(aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or

NOTE : REFER TO PAGE 16 UNIT 1 HAS BEEN DESIGNED FOR ADAPTABLE HOUSING

UNIT 1 AREAS:

ALFRESCO -SECOND FLOOR LIVING

GROUND FLOOR -FIRST FLOOR LIVING

TOTAL = 156.93 m²

BATH

BED 2

3.3 x 3.6

2 DEG

AS PER AUSTRALIAN STANDARDS AS 4299 - 1995

which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.

(bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical

"Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.

the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.

BASIX DETAILS The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that

Where there is an in-slab heating or cooling system, the applicant must:

fitted with a window and/or skylight.

central system to the dwelling, so that the dwelling's hot water is supplied by that central system

C 06/08/19 DA Drawing Revisions AP D 16/08/19 Updated DA Drawings AP DA Drawing Revisions AP Drawing Additions

Preliminary Layout

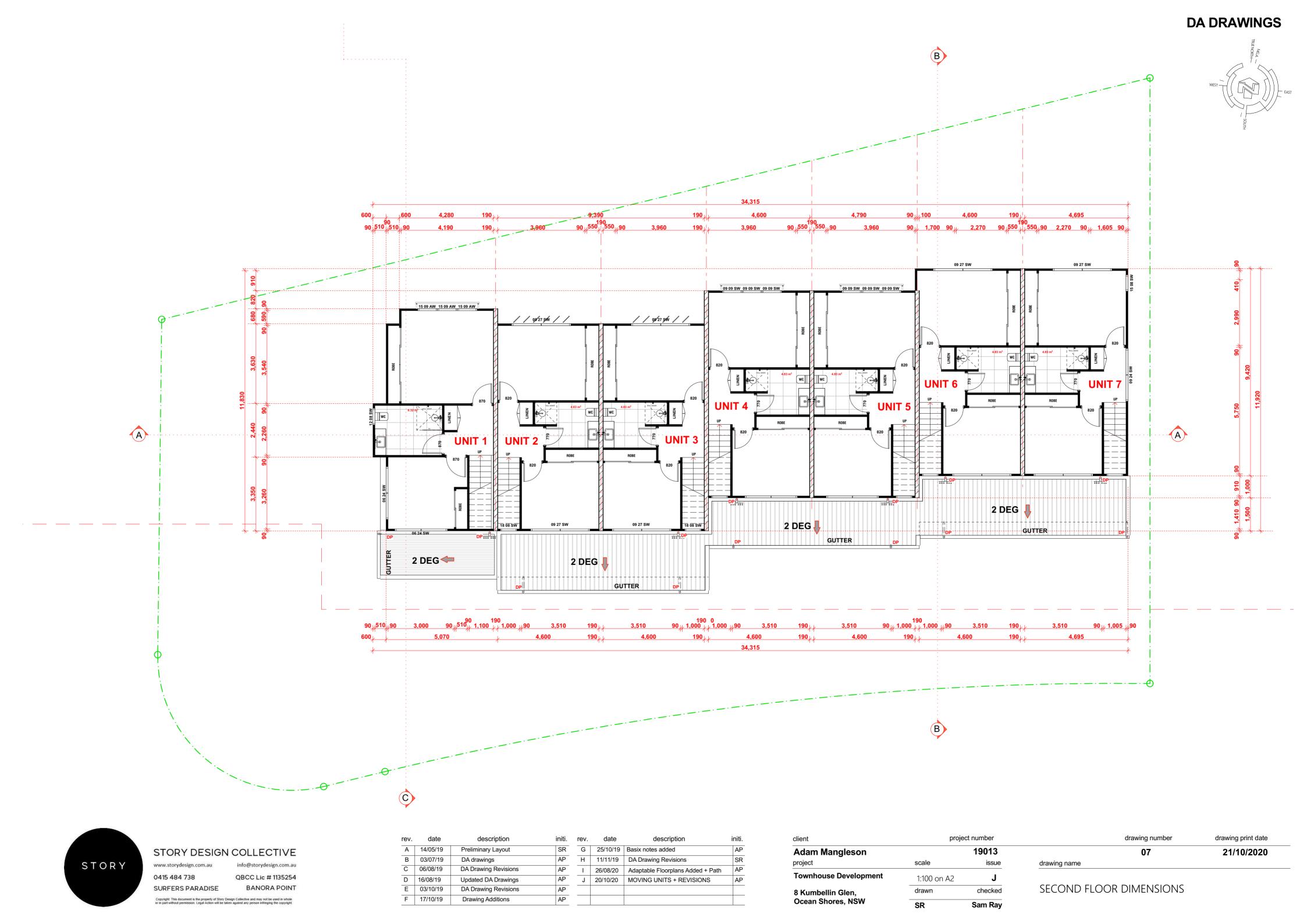
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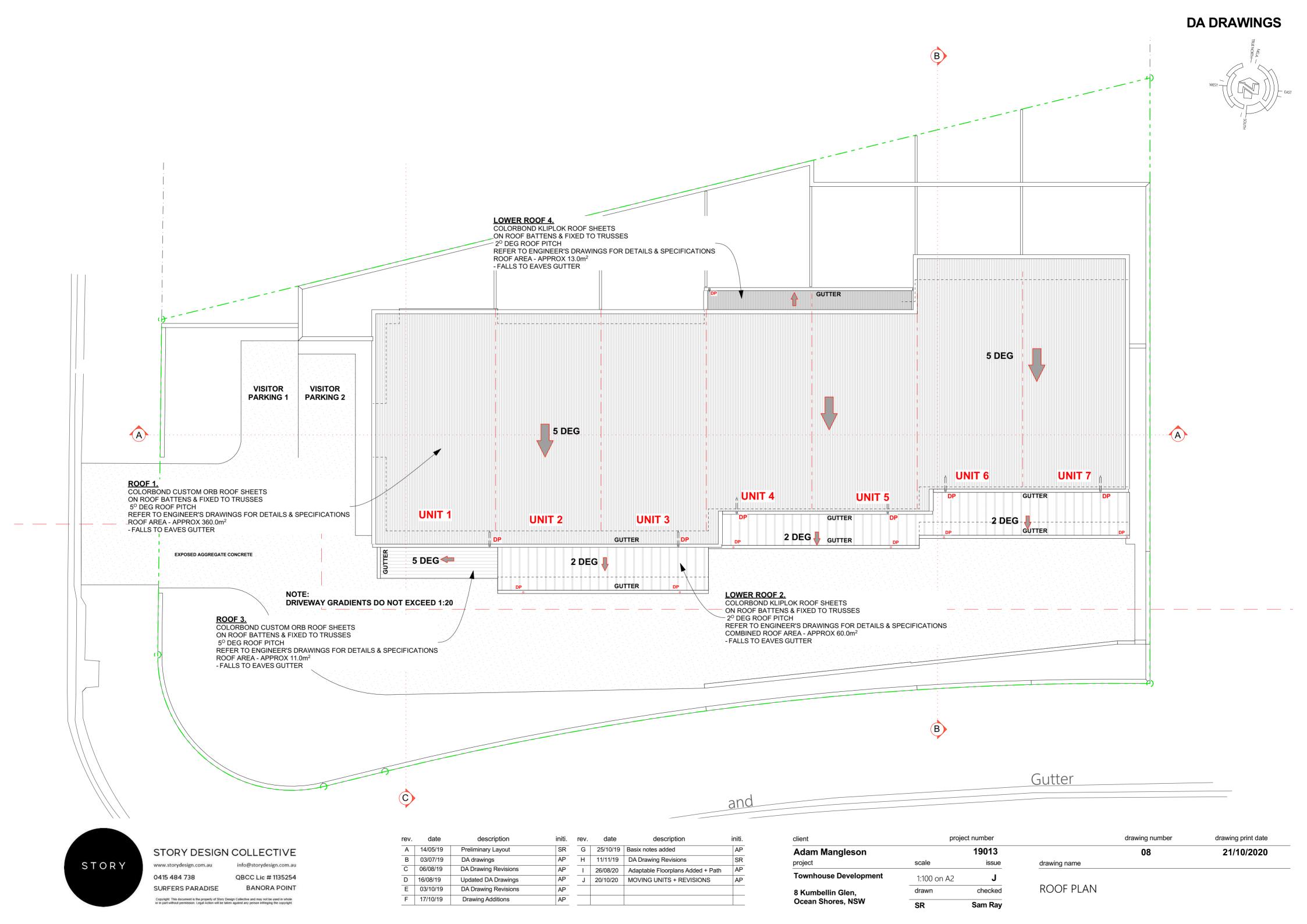
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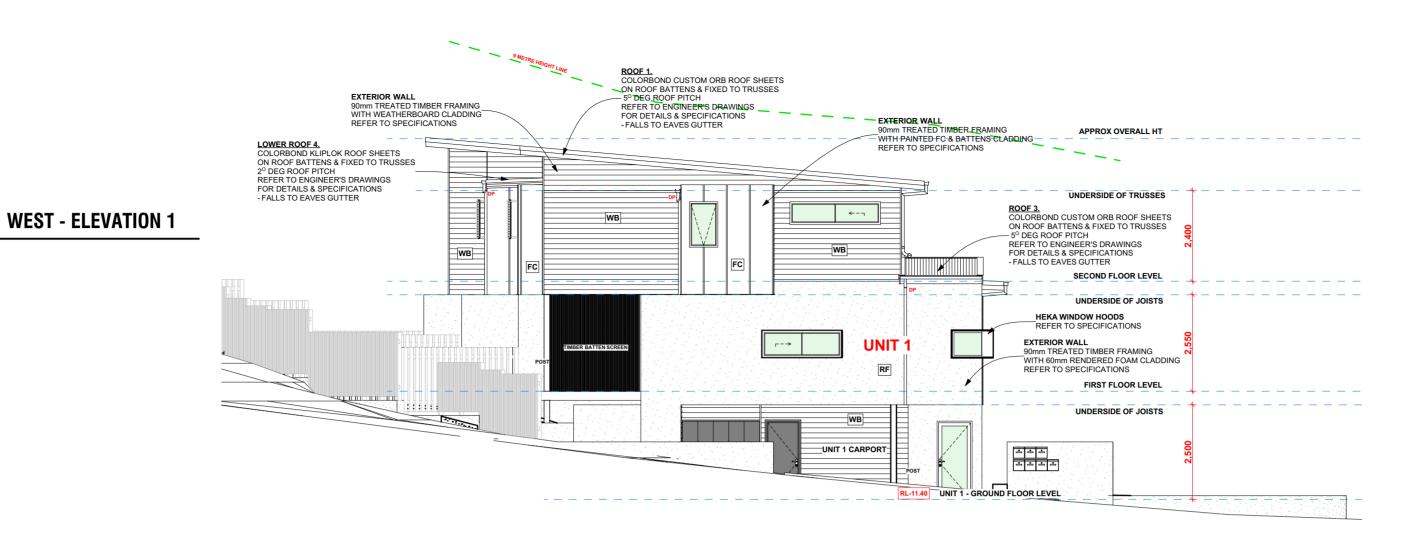
H 11/11/19 DA Drawing Revisions 26/08/20 Adaptable Floorplans Added + Path J 20/10/20 MOVING UNITS + REVISIONS

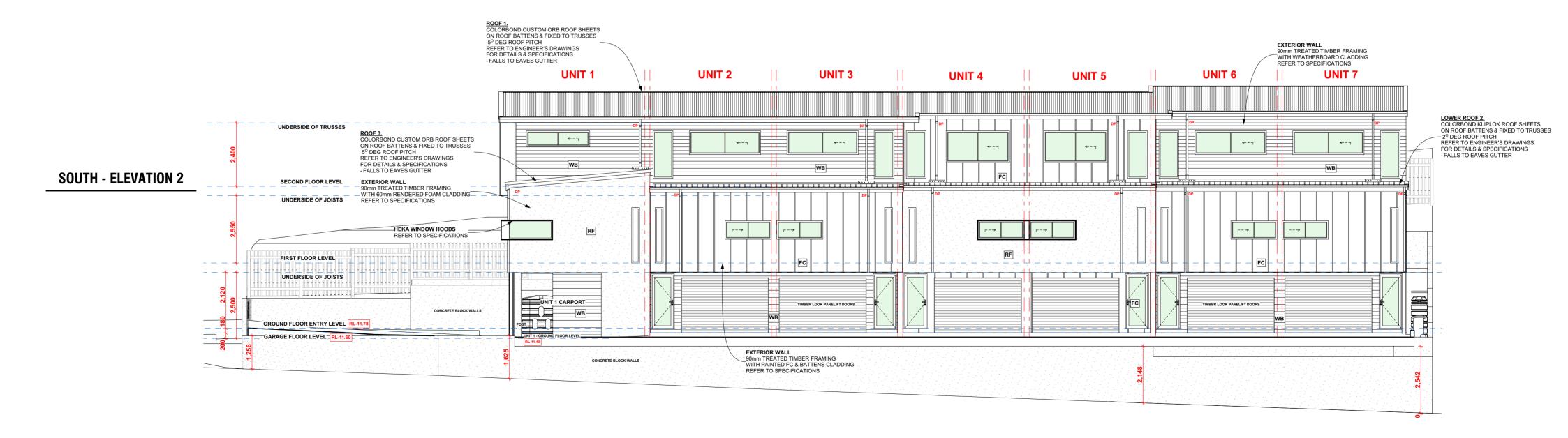
G 25/10/19 Basix notes added

description









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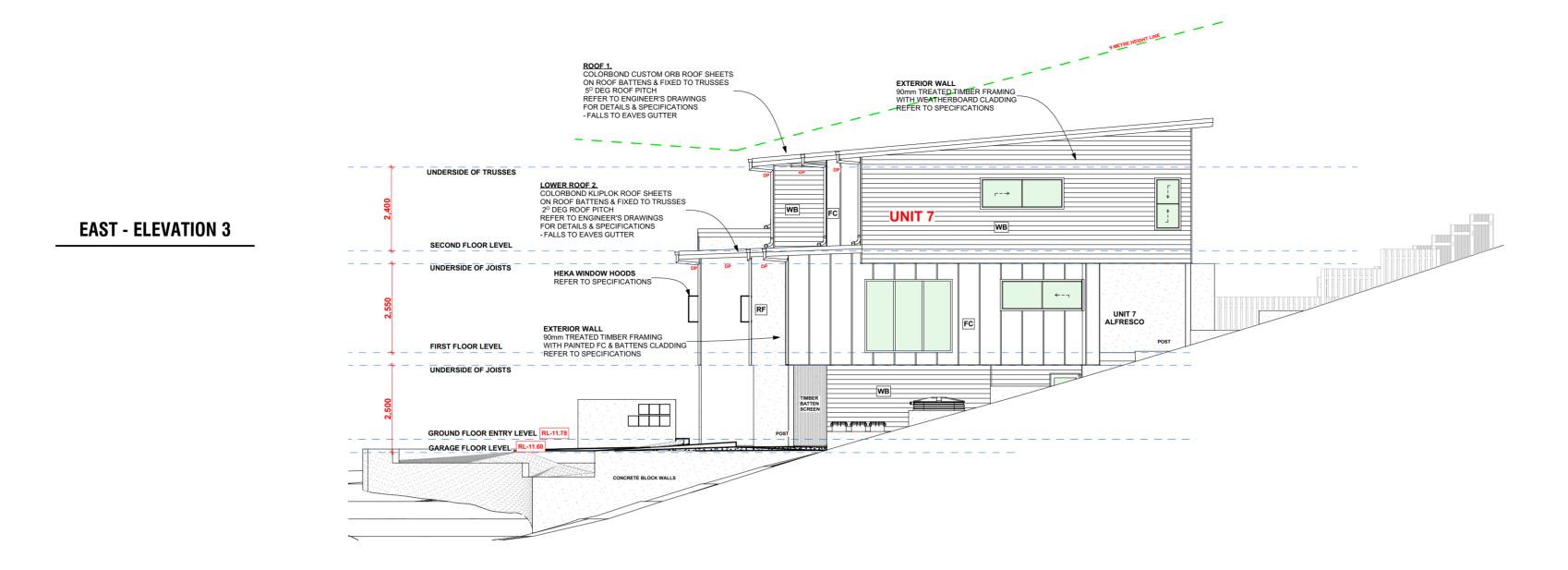
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F	17/10/19	Drawing Additions	AP				

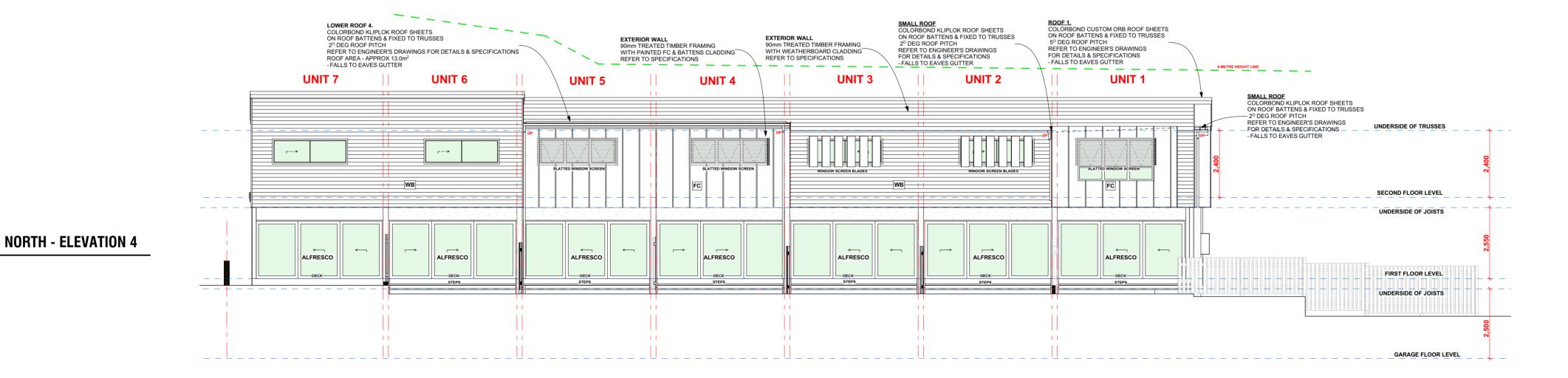
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	19013		
scale	issue		
1:100 on A2	J		
drawn	checked		
SR	Sam Ray		
	scale 1:100 on A2 drawn		

	09	21/10/2020
drawing name		
WEST & SOUTH		
ELEVATIONS		

drawing print date

drawing number





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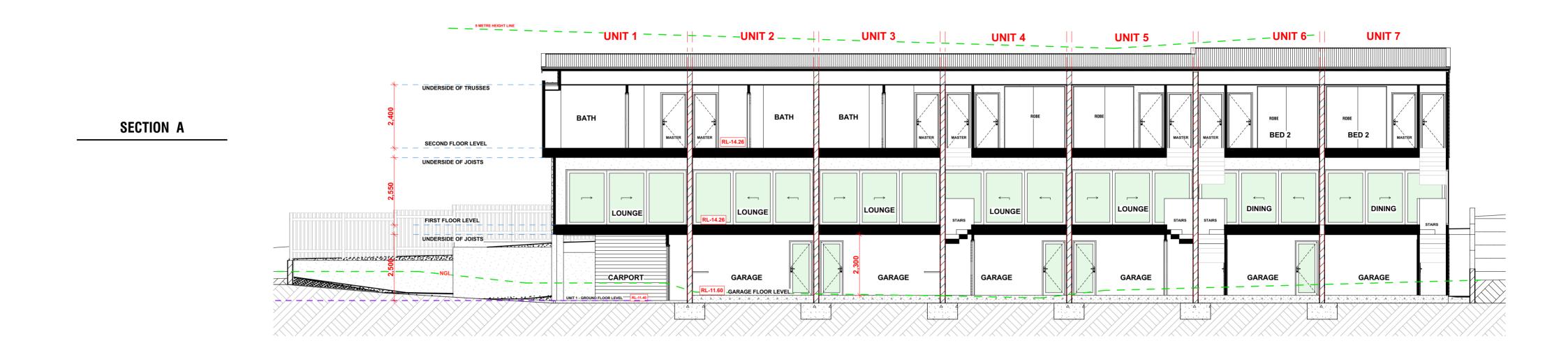
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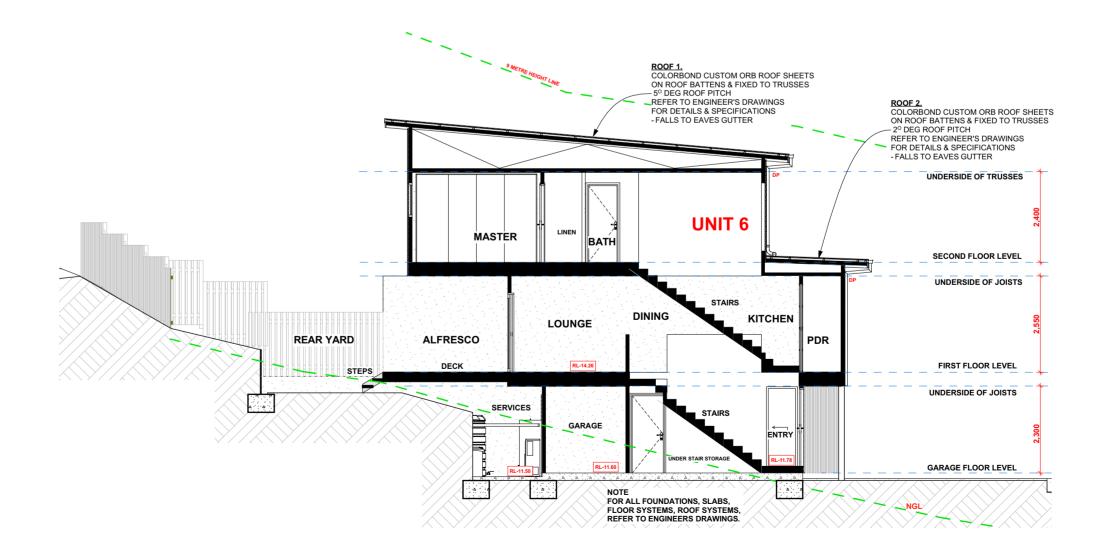
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F	17/10/19	Drawing Additions	AP				

client	proj	ect number	drawing number	drawing print date	
Adam Mangleson		19013	10	21/10/2020	
oroject	scale	issue	drawing name		
Townhouse Development	1:100 on A2	J			
8 Kumbellin Glen,	drawn	checked	EAST & NORTH ELEVATIONS		
Ocean Shores, NSW	SR	Sam Ray			



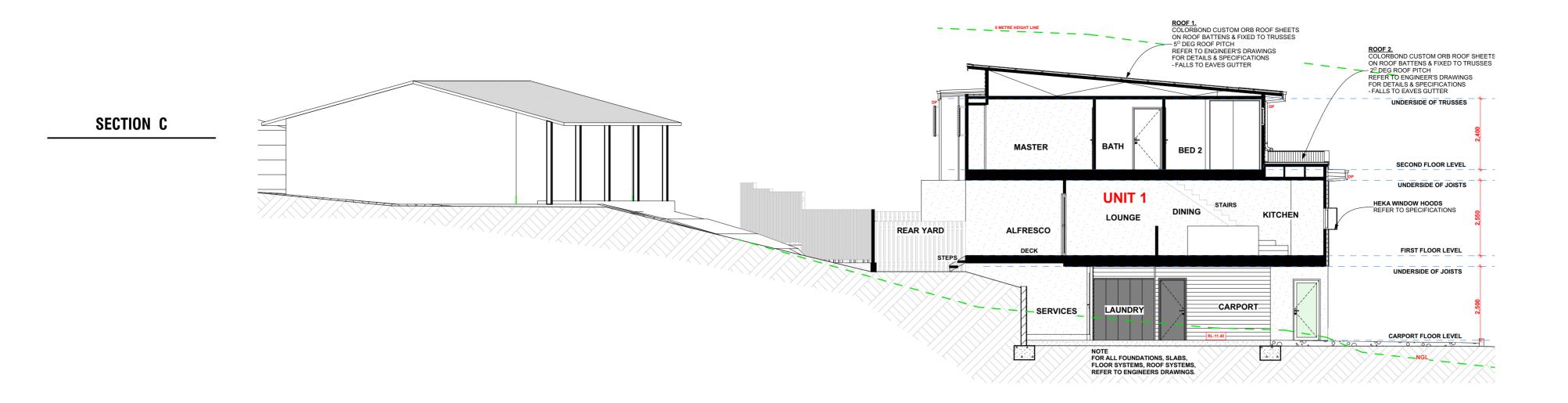
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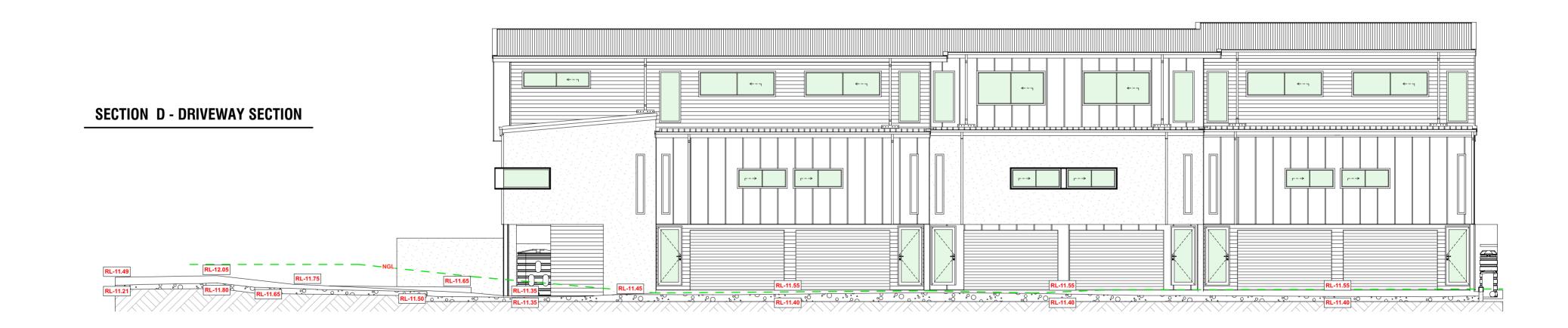




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Е	03/10/19	DA Drawing Revisions	AP				\top
F	17/10/19	Drawing Additions	AP				

client	proj	ect number		drawing number	drawing print date
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project	scale	issue	drawing name		
Townhouse Development	1:100 on A2	J			
8 Kumbellin Glen,	drawn	checked	SECTION A & B		
Ocean Shores, NSW	SR	Sam Ray			







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Е	03/10/19	DA Drawing Revisions	AP				
F	17/10/19	Drawing Additions	AP				

client	proje	ect number	drawing number	drawing print date
Adam Mangleson		19013	12	21/10/2020
project	scale	issue	drawing name	
Townhouse Development	1:100 on A2	J		
8 Kumbellin Glen,	drawn	checked	SECTION C + DRIVEWAY SECTION	
Ocean Shores, NSW	SR	Sam Ray		

REFER TO BASIX REPORT

The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).

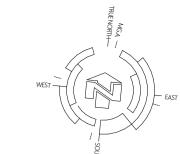
DA DRAWINGS

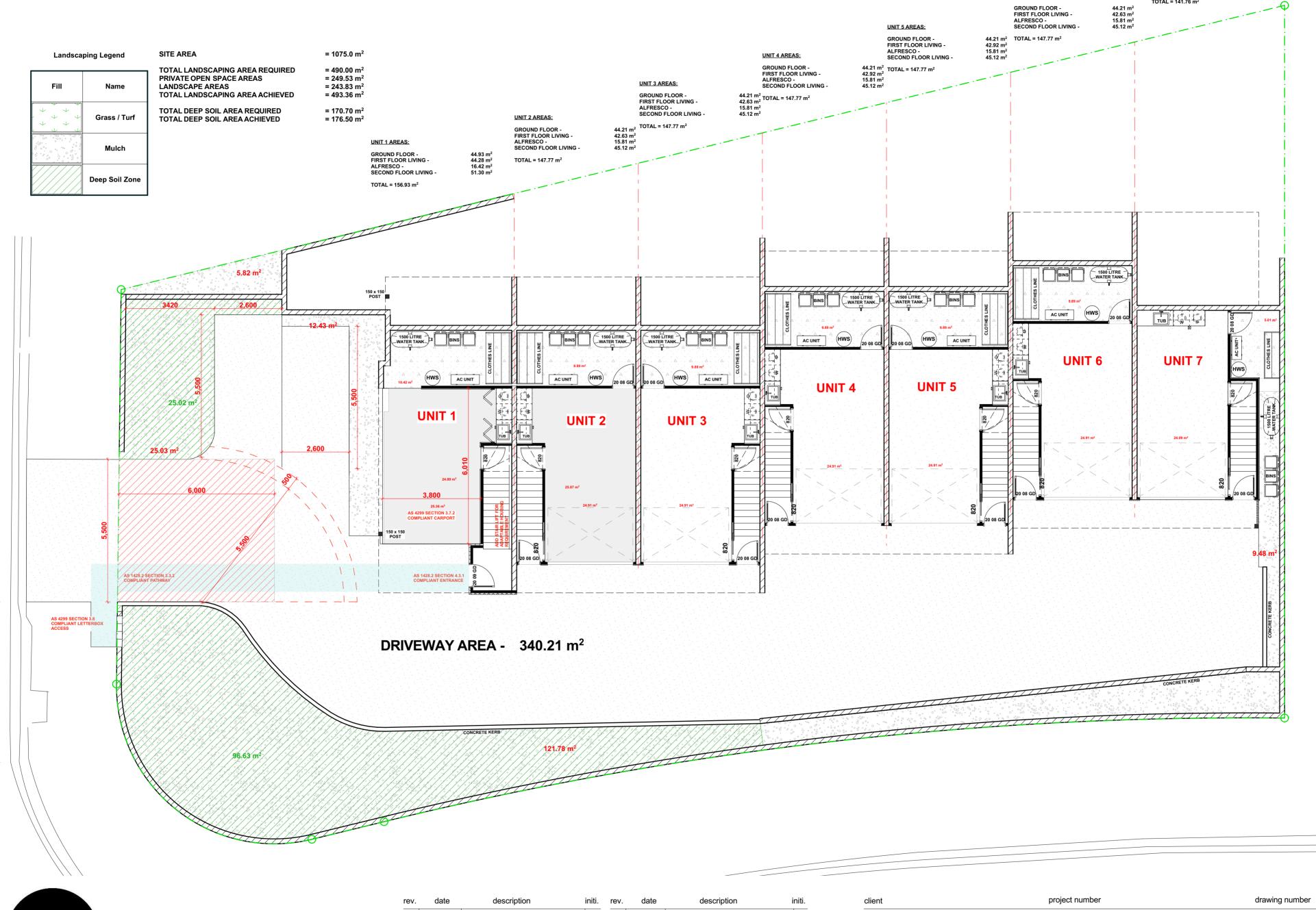
UNIT 7 AREAS:

UNIT 6 AREAS:

GROUND FLOOR -FIRST FLOOR LIVING -ALFRESCO -SECOND FLOOR LIVING -

38.20 m² 42.63 m² 15.81 m² 45.12 m²





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03/10/19	DA Drawing Revisions	AP				
17/10/19	Drawing Additions	AP				
	03/07/19 06/08/19 16/08/19 03/10/19	03/07/19 DA drawings 06/08/19 DA Drawing Revisions 16/08/19 Updated DA Drawings 03/10/19 DA Drawing Revisions	03/07/19 DA drawings AP 06/08/19 DA Drawing Revisions AP 16/08/19 Updated DA Drawings AP 03/10/19 DA Drawing Revisions AP	03/07/19 DA drawings AP H 06/08/19 DA Drawing Revisions AP I 16/08/19 Updated DA Drawings AP J 03/10/19 DA Drawing Revisions AP J	03/07/19 DA drawings AP H 11/11/19 06/08/19 DA Drawing Revisions AP I 26/08/20 16/08/19 Updated DA Drawings AP J 20/10/20 03/10/19 DA Drawing Revisions AP	03/07/19 DA drawings AP H 11/11/19 DA Drawing Revisions 06/08/19 DA Drawing Revisions AP I 26/08/20 Adaptable Floorplans Added + Path 16/08/19 Updated DA Drawings AP J 20/10/20 MOVING UNITS + REVISIONS 03/10/19 DA Drawing Revisions AP V AP

iiciit	project named			
Adam Mangleson	19013			
roject	scale	issue		
Townhouse Development	1:100 on A2	J		
Kumbellin Glen,	drawn	checked		
Ocean Shores, NSW	SR	Sam Ray		

GROUND FLOOR LANDSCAPING

13

drawing print date

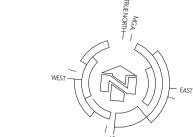
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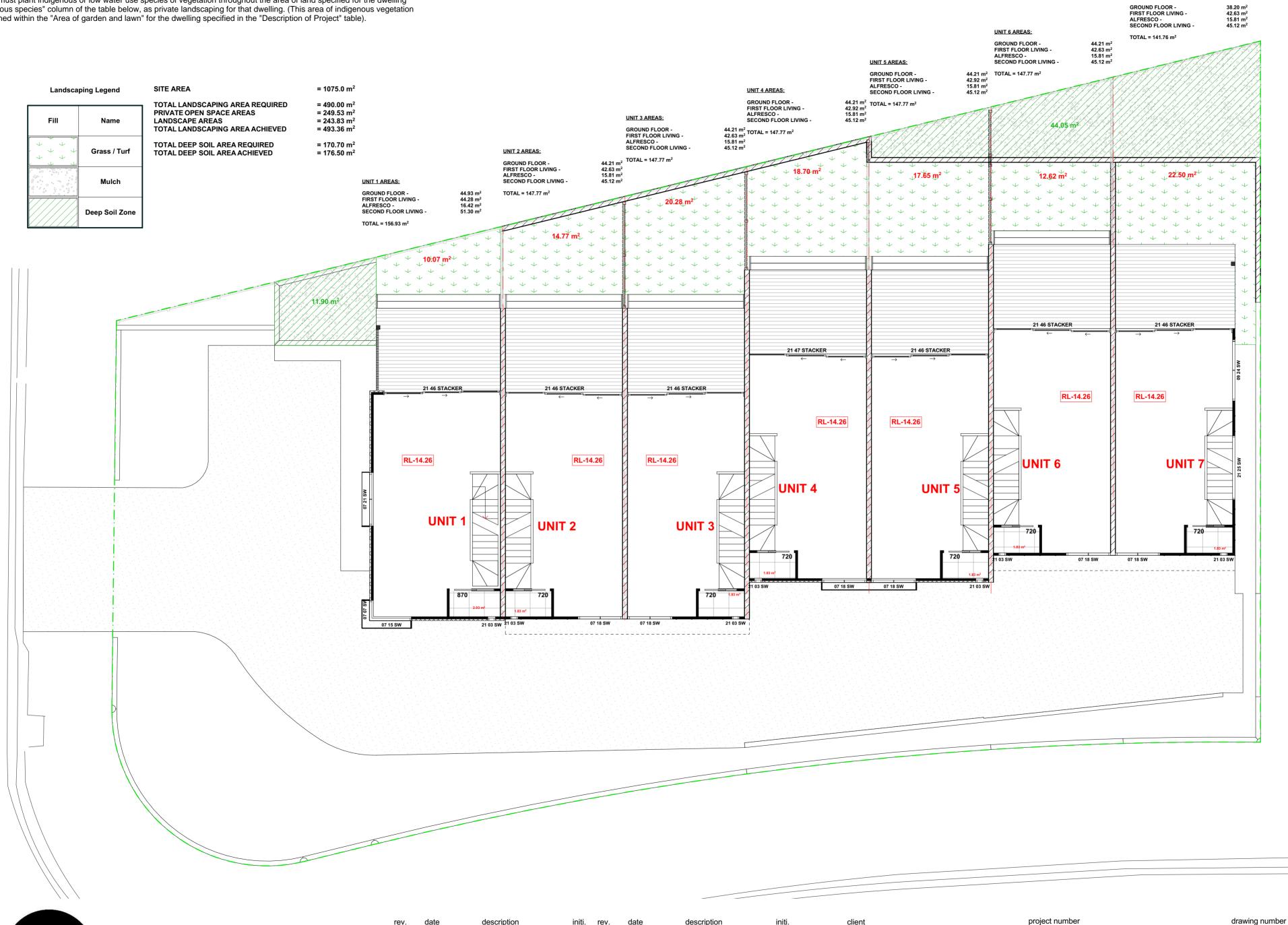
REFER TO BASIX REPORT

The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).

DA DRAWINGS

UNIT 7 AREAS:





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Е	03/10/19	DA Drawing Revisions	AP				
F	17/10/19	Drawing Additions	AP				

client	project number				
Adam Mangleson		19013			
project	scale	issue	drawing name		
Townhouse Development	1:100 on A2	J			
8 Kumbellin Glen,	drawn	checked	FIRST FLC		
Ocean Shores, NSW	SR	Sam Ray			

FIRST FLOOR LANDSCAPING

14

drawing print date

21/10/2020





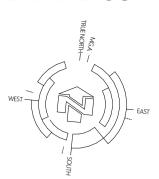
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Е	03/10/19	DA Drawing Revisions	AP				
F	17/10/19	Drawing Additions	AP				

client	project number		
Adam Mangleson	1901		
project	scale	issue	
Townhouse Development	1:100 on A2	J	
8 Kumbellin Glen,	drawn	checked	
Ocean Shores, NSW	SR	Sam Ray	

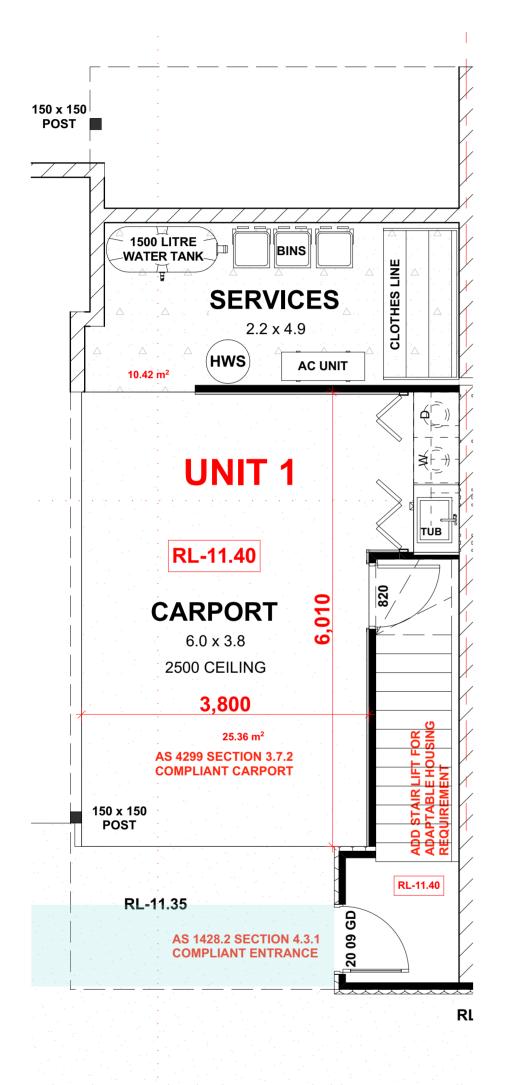
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drawing name	
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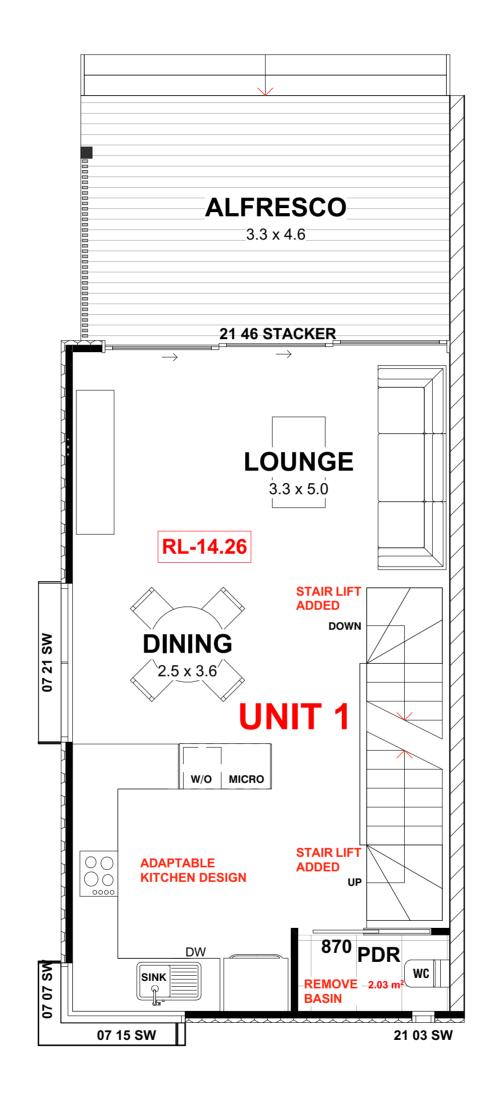
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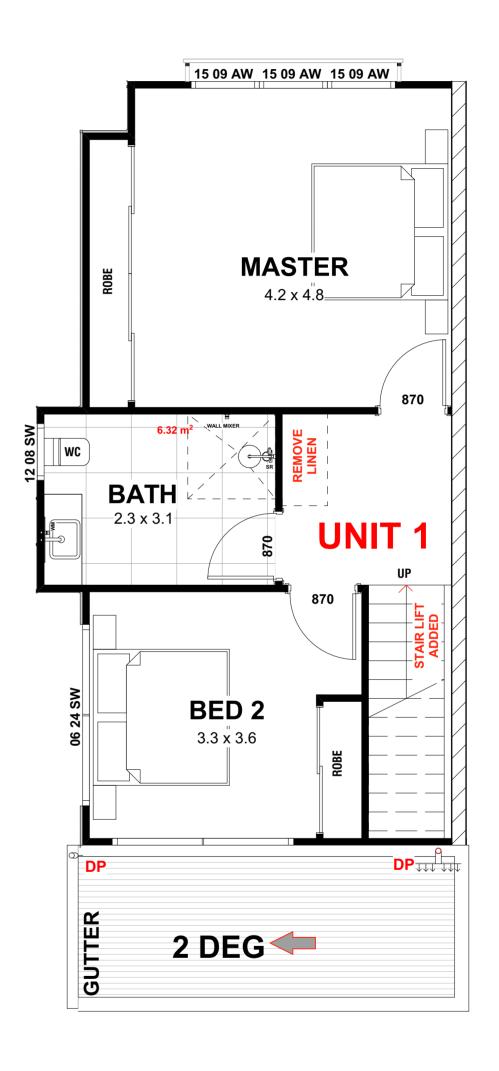
drawing number



NOTE: UNIT 1 HAS BEEN DESIGNED FOR ADAPTABLE HOUSING AS PER AUSTRALIAN STANDARDS AS 4299 - 1995







GROUND FLOOR FIRST FLOOR SECOND FLOOR

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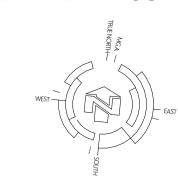
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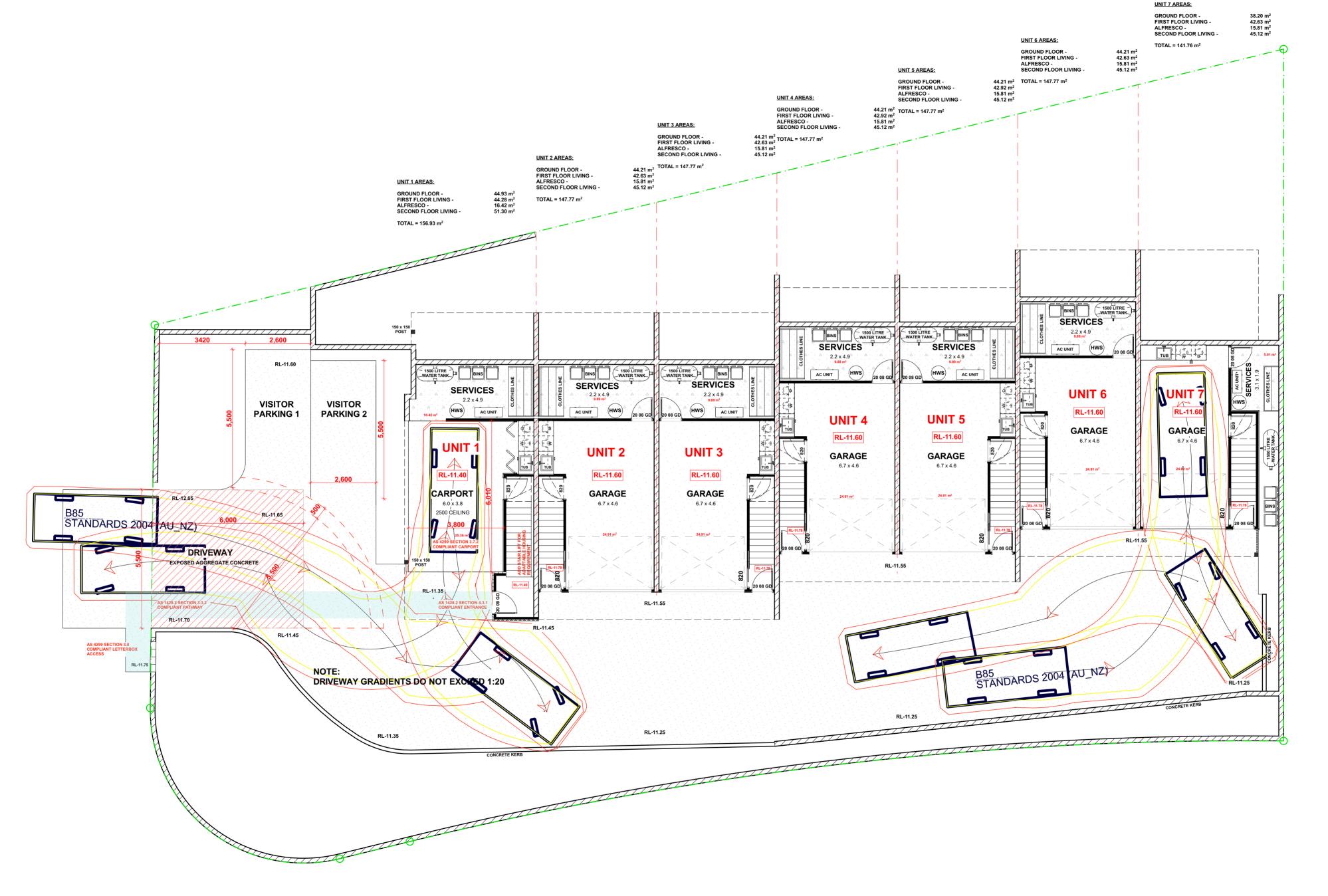
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client	project number		drawing number	drawing print date	
Adam Mangleson		19013	16	21/10/2020	
oroject	scale	issue	drawing name		
Townhouse Development	1:50 on A2	J			
8 Kumbellin Glen,	drawn	checked	ADAPTABLE FLOOR PLANS		
Ocean Shores, NSW	SR	Sam Ray			





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Е	03/10/19	DA Drawing Revisions	AP				
F	17/10/19	Drawing Additions	AP				

client	project number				
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project	scale	issue			
Townhouse Development	1:100 on A2	J			
8 Kumbellin Glen,	drawn	checked			
Ocean Shores, NSW	SR	Sam Ray			

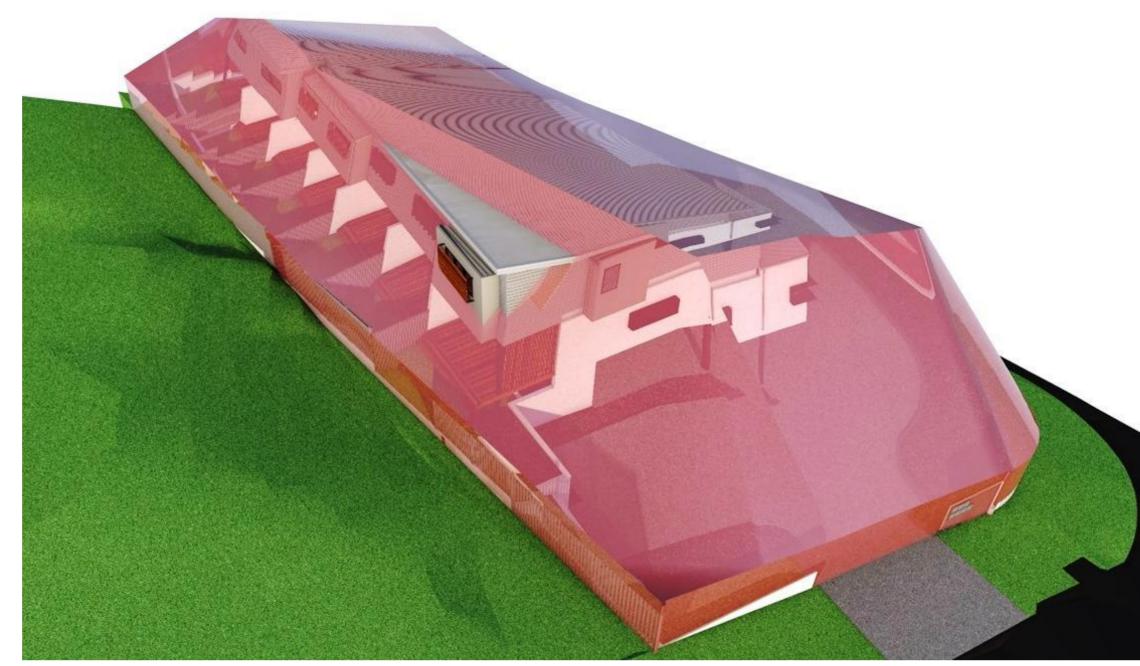
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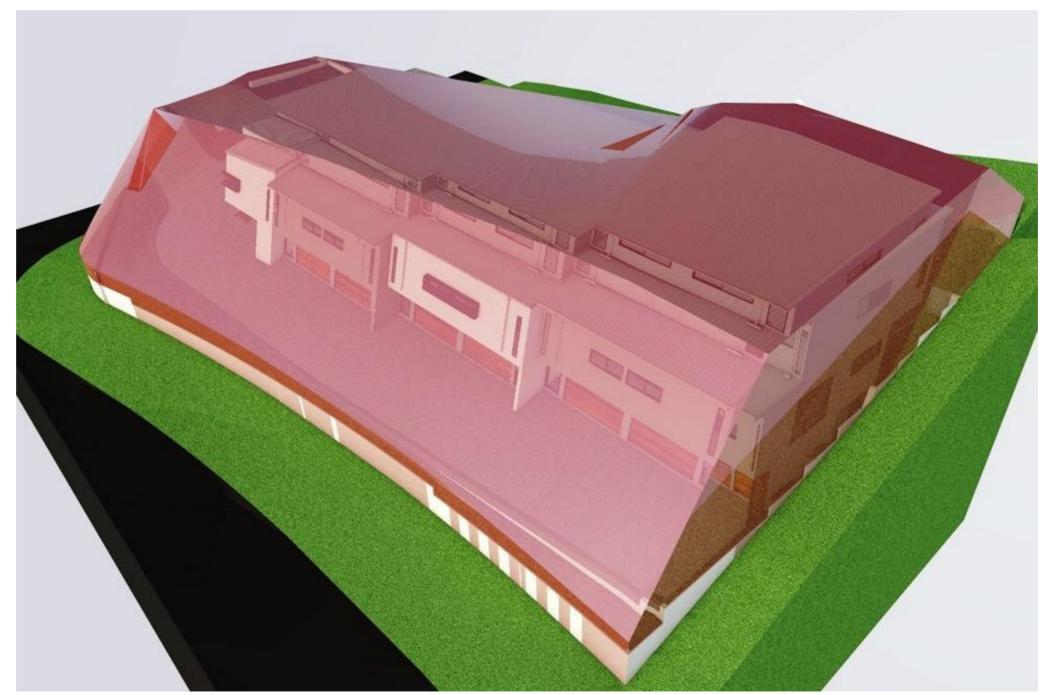
17

drawing print date

21/10/2020



IMAGES SHOWING PROPOSED BUILDING
CUTTING THROUGH THE BUILDING HEIGHT PLANE



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Е	03/10/19	DA Drawing Revisions	AP				
F	17/10/19	Drawing Additions	AP				

project number		
	19013	
scale	issue	
	J	
drawn	checked	
	Sam Ray	
	scale	

	drawing number	drawing print date
	18	21/10/2020
drawing name		
HEIGHT PLANE II	MAGES	

<u>Note</u> – Note - Underground Services Pegs placed at all boundary corners The location of the services shown hereon have been derived from a combination of field survey of 1324 visible components and records obtained from the appropriate authority. DP43480 The exact location of these services, and any others may therefore vary and should be verified with the relevant authorities and or the "Dial before [†]15.40 you Dig" service prior to any works being undertaken. [†]14.53 Should any work be undertaken on or adjacent to the site to which this survey refers it is the **Public** responsibility of the person doing the work to locate any service that may be affected by that Reserve <u>work</u>. Whilst due care was used in compiling this information, no responsibility can be accepted or taken by Ardill Payne & Partners for any inacuracies or omissions shown or not shown 12.90 Floor Level [†]12.32 RL 12.84 1323 **LEGEND** BM - Nail Single Story Brick Residence RL 12.56 Sewerage Inspection Point DP243480 Floor Level Tile Roof RL 12.83 Sewerage Manhole [†]11.32 Floor Level 1075m² *RL 12.21 Light Pole Floor Level RL 12.82 50, Electricity pit 30' 5 5.24 Concrete Driveway Communication Pit Bench Mark ⁺9.43 KUMBELLIN GLEN 11.54 Letter Box Rock Wall ^{*}8.81 RL 10.45 ARC 35.087 Rad 140.21 Tree (Spread approx to scale) *8.72 [†]10.62 Man Hole Buried GOONDOOLOO DRIVE Electricity Main (underground) Communications Main (underground) Road Centreline <u>Note - Level Datum</u> Level Datum: AHD

Origin: SSM 70734 (RL 3.829 AHD) Contour Interval: 0.5m

NOTE: For Surveyed Points, refer to Autocad Layers: "X-MARK" "X-CODE" & "X-RL"

Project:

8 Kumbellin Glen, Ocean Shores Lot 1323 in DP243480

> Do not scale drawing. Use written dimensions only This plan is copyright © All rights reserved.

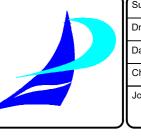
Client: Mr Adam Mangelson Title:

Contour & Detail Survey

PAYNE

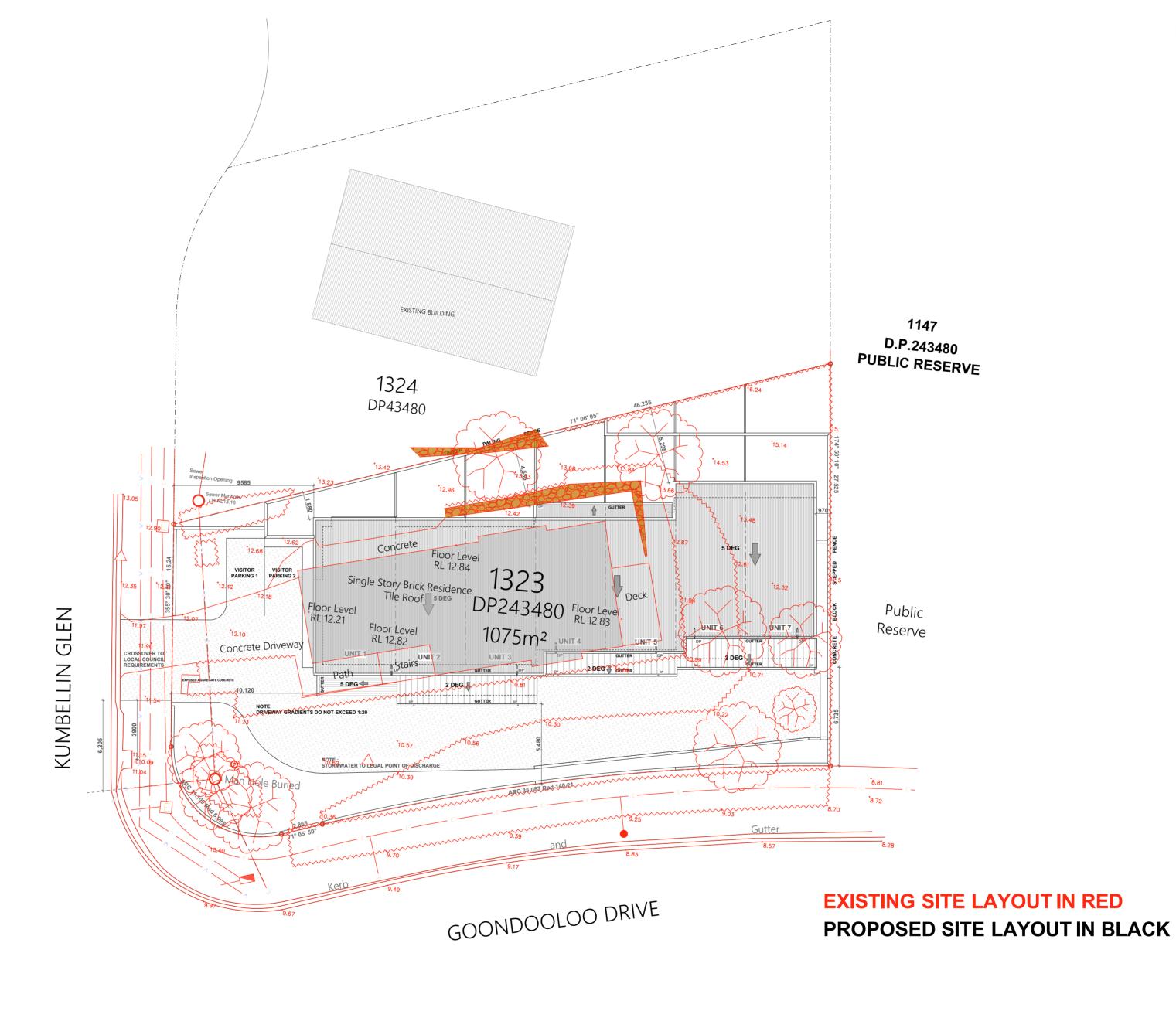
ENGINEERS PLANNERS SURVEYORS

ENVIRONMENTAL PROJECT MANAGEMENT **BALLINA** 45 River Street SOUTH BRISBANE 89 Grey Street Ph. 07 3123 6675 285 Conadilly Street Ph. 02 6742 9955 GUNNEDAH A.B.N. 51 808 558 977 e-mail: info@ardillpayne.com.au



SCALE 1:200

Surveyed	BJ PE	Scale at A3	1:20()
Drawn	ВЈ	Datum	A.H.1	D.
Date	10/8/17	Acad File	8430	DDS
Checked	RJJ	Approved		
Job No.	8430	Dwg No.	01	Issue



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F	17/10/19	Drawing Additions	AP				

lient	proj	ect number		drawing number	drawing print date
Adam Mangleson		19013		20	21/10/2020
project	scale	issue	drawing name		
Townhouse Development	1:200 on A2	J			
3 Kumbellin Glen,	drawn	checked	SITE OVERLAY		
Ocean Shores, NSW	SR	Sam Ray			