

ALL WORK MUST COMPLY WITH THE BCA AND THE FOLLOWING CLAUSES

1. All excavations and fill must comply with Part 3.1.1 EARTHWORKS.
2. Drainage must comply with Part 3.1.3 DRAINAGE
3. TERMITE RISK MANAGEMENT must comply with Part 3.1.4

- a) A termite barrier or combination of barriers is installed in accordance with-
 - 1) AS3660.1 or
 - 2) 3.1.3.3 for concrete slabs on ground
- b) A durable notice must be permanently fixed to the building in a prominent location, such as a meter box or the like, indicating-
 - 1) the method of protection; and
 - 2) the date of installation of the system; and
 - 3) where a chemical barrier is used, its life expectancy as listed on the National registration Authority label; and
 - 4) the installer's or manufacturers recommendations for the scope and frequency of future inspections for termite activity.

4) Filling under slabs must comply with Part 3.2.2 and clause 3.2.2.2

5) Vapour barriers must comply with clause 3.2.2.6

6) Concrete and reinforcing must comply with clauses 3.2.3.1 & 3.2.3.2 inclusive.

7) Footing and slab construction must comply with Part 3.2.5 Clause 3.2.5.1, or AS 2870 - Refer to Engineer's detail.

8) Timber frame is manufactured to comply with AS 1684.2-1999 National Timber Framing Code and certificate will be provided by Truss and Frame manufacturer when selected.

9) Roof cladding must comply with Part 3.5.1 & 3.5.2

10) Gutters and downpipes must comply with Part 3.5.3

11) Timber wall cladding to comply with Part 3.5.4 & Clause 3.5.4.2

12) Glazing to windows must comply with Part 3.6.

13) Smoke alarms must comply with Part 3.7.5.

14) Wet areas must comply with Part 3.8.1.

15) Ceiling heights to rooms must comply with Part 3.8.2.

16) Lighting must comply with Part 3.8.4

17) All tie-downs to comply with Engineer's detail.

18) Soil classification to site to comply with Part 3.2.4 - Refer to Engineer's details.

19) Roof trusses to be designed to Engineer supplied Wind loading. Certification to be provided by Truss manufacturer.

20) Masonry Wall Ties to comply with Part 3.3

21) Lintels to comply with Part 3.4

22) Wall bracing to comply with AS 1684.2-1999 and as pr Engineer's detail.

23) Sub-Floor Ventilation to comply with Part 3.4.1

24) Stair construction to comply with Part 3.9.1

25) Balustrades/Railings to comply with Part 3.9.2

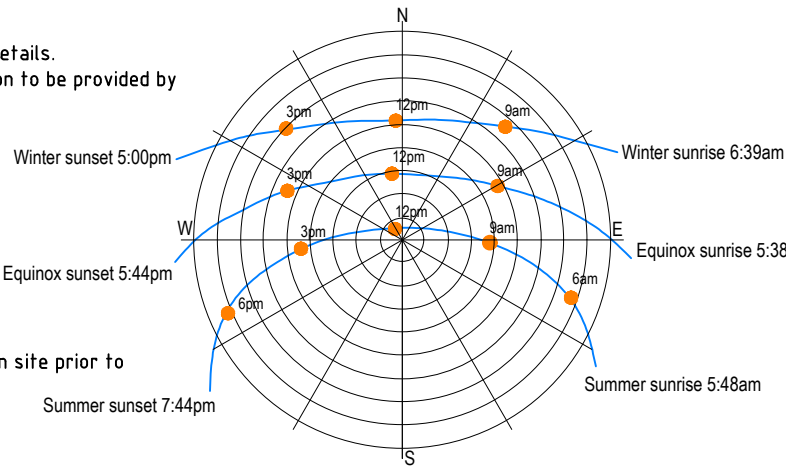
26) All work to comply with Council Standards.

GENERAL NOTES:

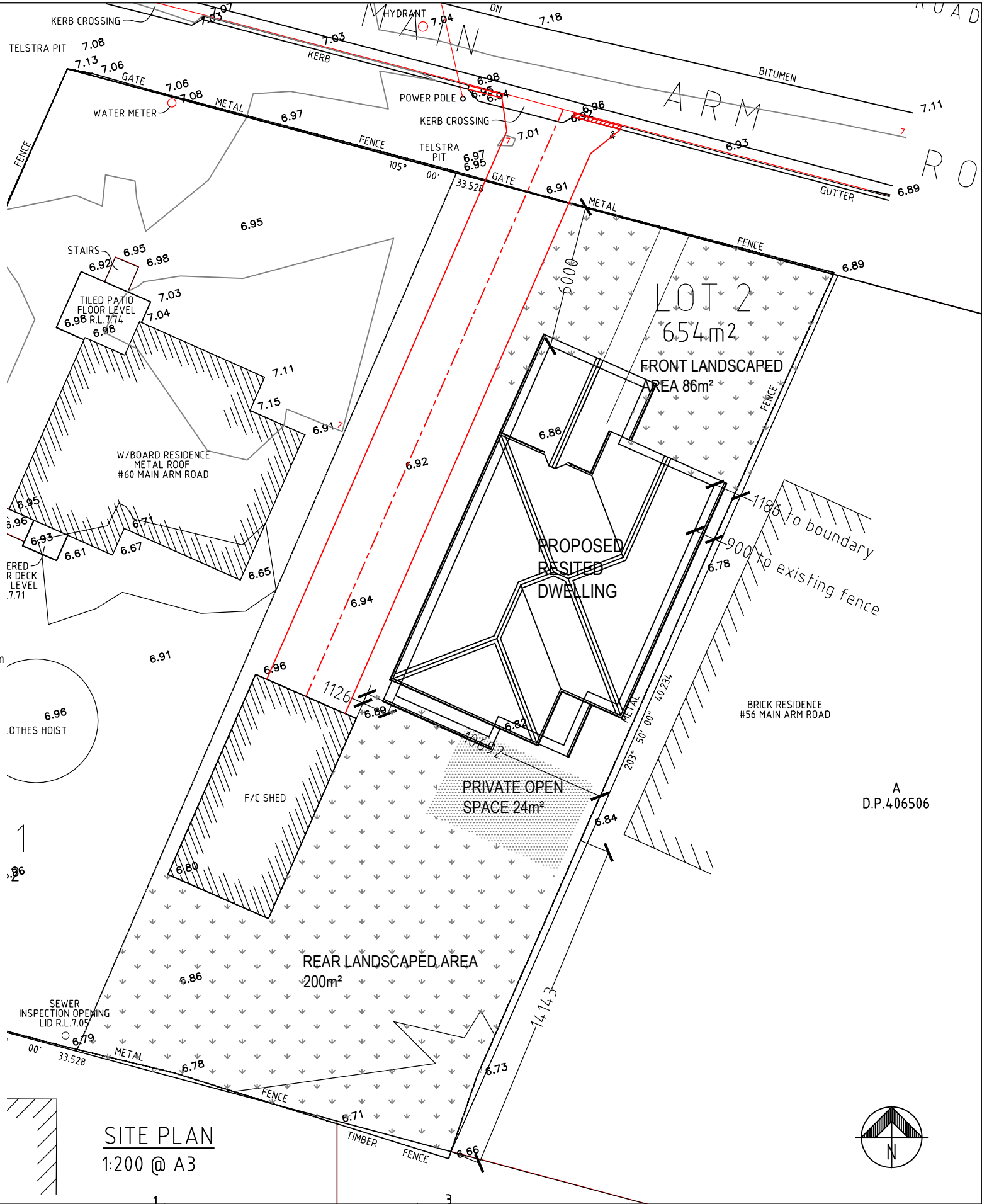
1. The contractor/s to inspect site and verify all levels and dimensions on site prior to commencing any work.
2. Figured dimensions take precedence over scaled dimensions.
3. Contractor/s to use architectural drawings for set out.
4. All discrepancies are to be referred to the client immediately.
5. All work to be in accordance with BCA, relevant standards & local authority requirements.
6. Verify location of existing services prior to construction & relocate as required in conjunction with the relevant authority.
7. Discharge stormwater in accordance with local authority requirements and relevant standards.
8. Discharge wastewater in accordance with local authority requirements and relevant standards.
9. Slabs, footings, steelwork, bracing, tie down, retaining walls & articulation joints to be in accordance with engineers details.
10. Roof and floor framing to be in accordance with the manufacturers specification and to be co-ordinated with the engineering design with regard to slab thickenings and floor support locations.
11. All timber work is to comply with AS 1684.1999 National Timber Framing Code.
12. Make good all damaged surfaces on completion of work.

SITE DETAILS

Site area	654m ²	Private open space requirement	24m ²
Existing shed area	42.3m ²	Private open space provided	24m ²
Proposed floor area	119.8m ²	Landscaped area requirement	196.2m ²
Proposed roof area	134.7m ²	Landscaped area provided	286m ²
Floor space ratio	0.248:1		


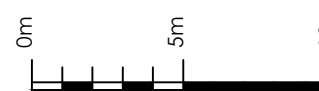


SOLAR PATH DIAGRAM



SITE PLAN

1:200 @ A3

Rev	Revision Description	BY	DATE	THIS DRAWING IS CONFIDENTIAL AND IS THE PROPERTY OF GREG ALDERSON AND ASSOCIATES. IT MUST NOT BE DISCLOSED TO A THIRD PARTY, REPRODUCED, COPIED, OR LENT WITHOUT THE WRITTEN CONSENT OF THE PROPRIETOR. DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS REFER COVER SHEET FOR NOTES UNLESS NOTED OTHERWISE	 43 Main Street, CLUNES NSW 2480 PO Box 12344, CLUNES NSW 2480 P:(02) 6629 1552 E:office@aldersonassociates.com.au W:aldersonassociates.com.au ABN 58 594 160 789	Client:	Title:	ISSUE FOR DA/CC		
0	ISSUED FOR CLIENT REVIEW	SN	22/10/19			Steve Gilbert	SITE PLAN & SAFETY IN DESIGN ASSESSMENT	Drawn:	Scale:	 Scale 1:250 Northpoint:
0	ISSUED FOR DA/CC	SN	07/04/20					Checked:	Original Size:	
								No. in set:		
								Job Number:	Drawing Number:	
								20142	20142SN01	



EXISTING NORTH-EAST ELEVATION
1:100 @ A3



PROPOSED NORTH-WEST ELEVATION
1:100 @ A3
All new building work carried out is to comply with the Building Code of Australia.
Wind bracing & Footings to Engineers details.
Plumber to comply with the relevant building Codes.
Electrician to comply with the relevant Building Codes.
Builder to confirm dimensions prior to the commencement of works.
Bathroom doors to be fitted with lift off hinges.



PROPOSED SOUTH-WEST ELEVATION
1:100 @ A3




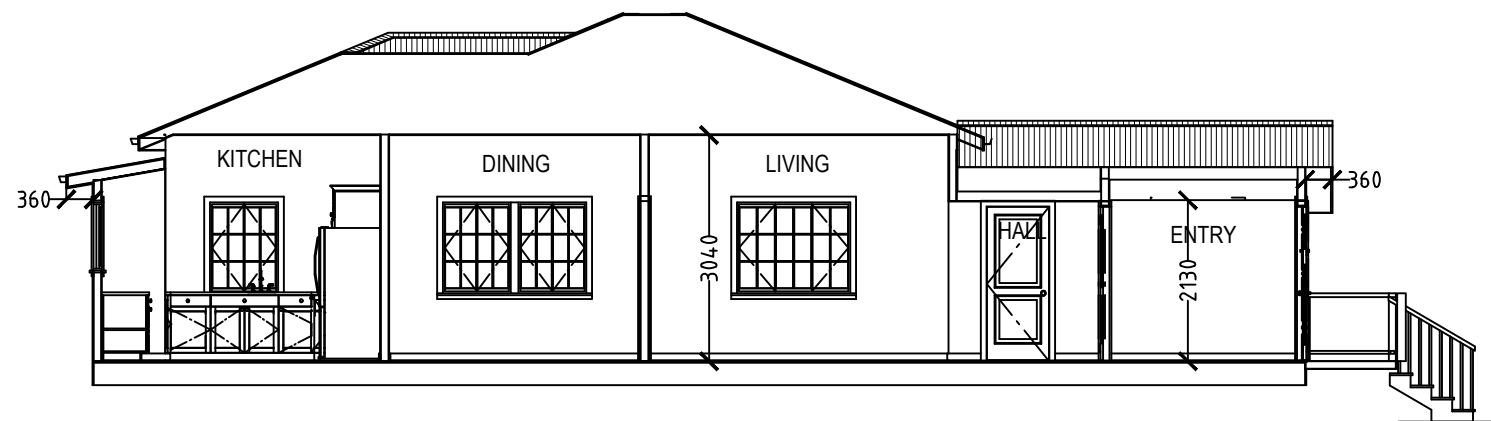
PROPOSED SOUTH-EAST ELEVATION
1:100 @ A3

- General**
- Existing roof framing and sheeting to be retained.
 - Existing walls timber framed
 - Existing exterior wall cladding timber weatherboard
 - No new walls proposed
 - New Steps to NCC requirements
 - Balustrade to be provided on entry landing if finished floor level is 1000mm above the finished ground level
 - Windows to be screened to owners specifications in accordance with bushfire requirements (where applicable).

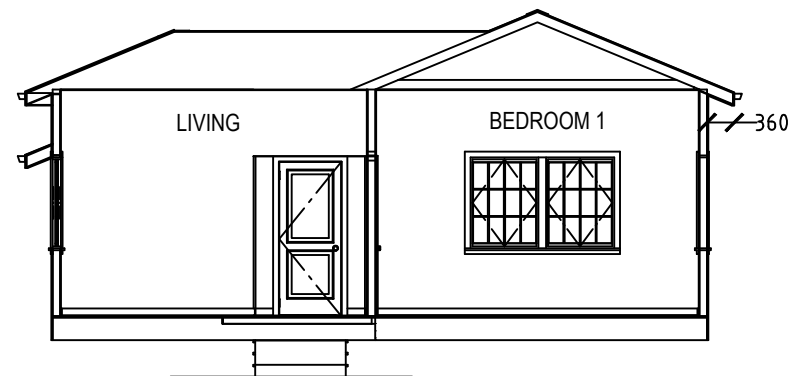
- Colours**
- Roof green colourbond (medium)
 - External walls white colour

All wiring, power outlets, switches, etc., should, to the maximum extent possible, be located above the relevant flood level. All electrical wiring installed below the relevant flood level should be suitable for continuous submergence in water and should contain no fibrous components. Earth core linkage systems (or safety switches) are to be installed. Only submersible-type splices should be used below the relevant flood level. All conduits located below the relevant designated flood level should be so installed that they will be self-draining if subjected to flooding. All new construction materials to be flood compatible materials and methods
Bathroom door to be fitted with lift off hinges.

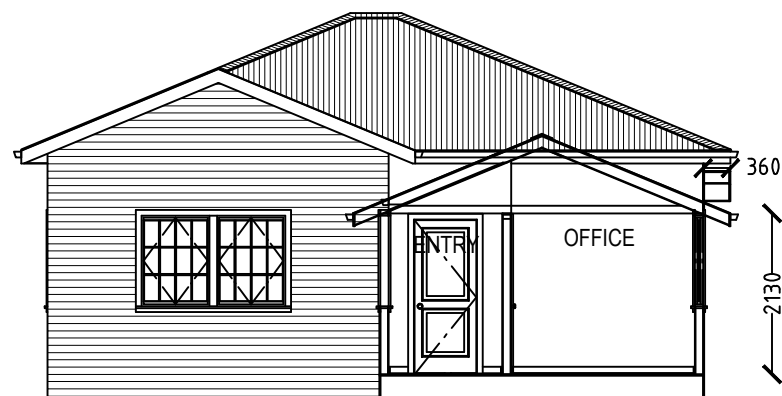
Rev	Revision Description	BY	DATE	THIS DRAWING IS CONFIDENTIAL AND IS THE PROPERTY OF GREG ALDERSON AND ASSOCIATES. IT MUST NOT BE DISCLOSED TO A THIRD PARTY, REPRODUCED, COPIED, OR LENT WITHOUT THE WRITTEN CONSENT OF THE PROPRIETOR.	 <div>Greg Alderson Associates</div>	43 Main Street, CLUNES NSW 2480 PO Box 12344, CLUNES NSW 2480	Client: Steve Gilbert	Title: PROPOSED DWELLING ELEVATIONS	ISSUE FOR DA/CC			
0	ISSUED FOR CLIENT REVIEW	SN	22/10/19						<div>0m1m2m3m4m5m</div> <div>Scale 1:100</div>			
0	ISSUED FOR DA/CC	SN	07/04/20									
				DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS			Site address: Lot 2 DP 1256643 58 Main Arm Road, Mullumbimby NSW 2482	Project: USE OF RESITED DWELLING	Checked:	Original Size:	No. in set:	
				REFER COVER SHEET FOR NOTES UNLESS NOTED OTHERWISE					ST	A3	03 of 04	
									Job Number:	Drawing Number:		
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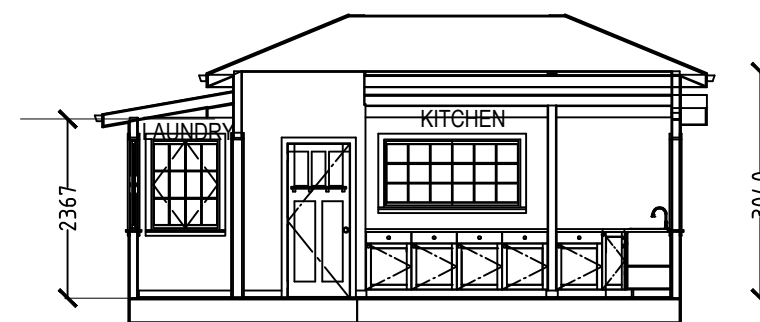
SECTION 1
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SECTION 2
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SECTION 3
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SECTION 4
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Z:\JOBS\20142 - Steven Gilbert - 60 Main Arm Rd\GENERAL HOUSE PLANS\20142 Gilbert house plan 3 DA APRIL 2020.dwg				58 Main Arm Road, Mullumbimby NSW 2482			USE OF RESITED DWELLING			

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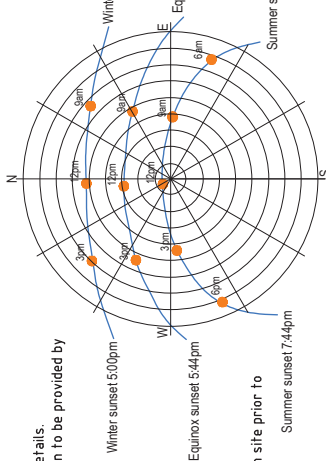
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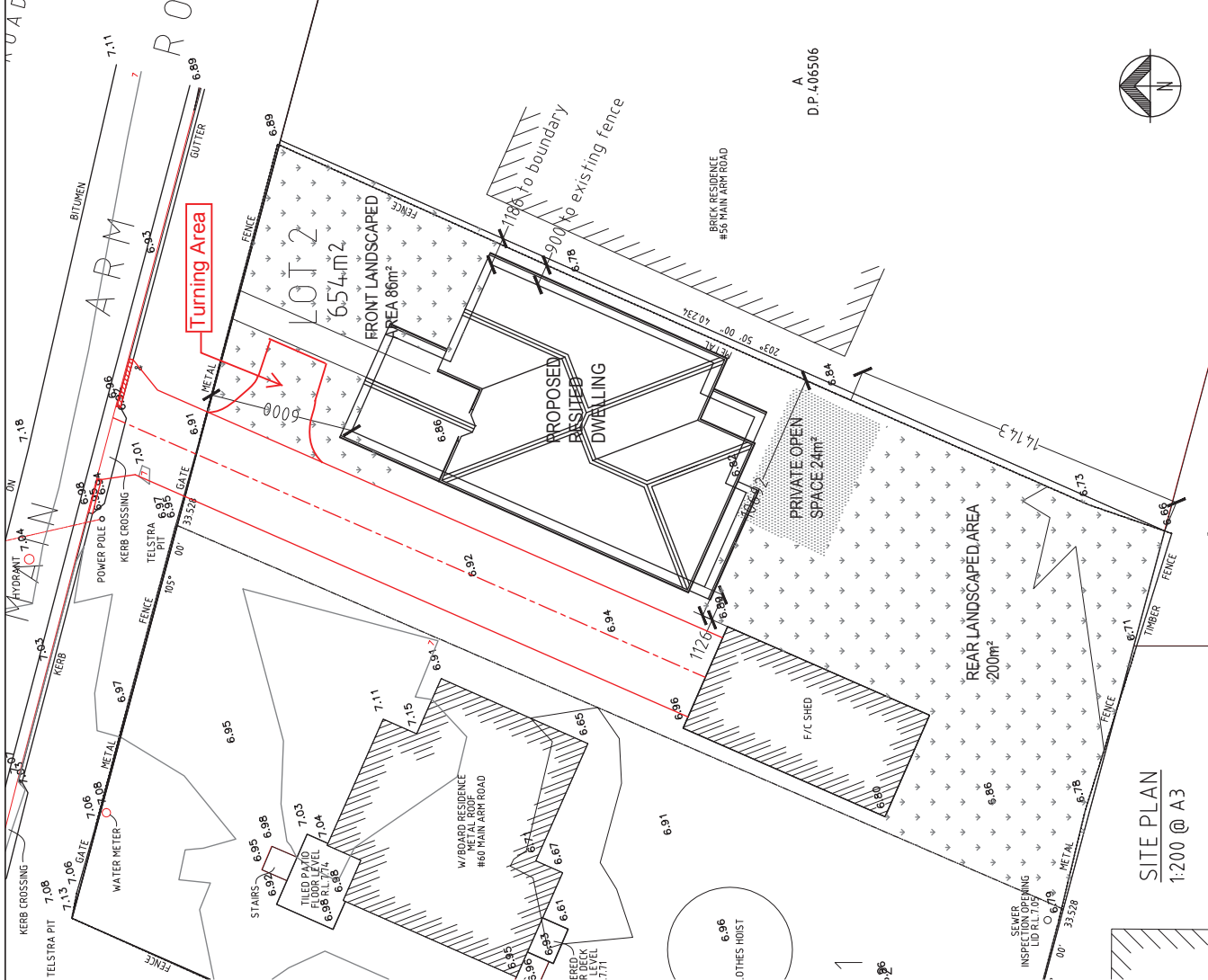
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SOLAR PATH DIAGRAM



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DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS								Site address: Lot 2 DP 1256643 58 Main Arm Road, Mullumbimby NSW 2482				Checked: ST				Original Size: A3				No. in set: 01 of 04			
REFER COVER SHEET FOR NOTES UNLESS NOTED OTHERWISE				P (02) 6629 1552 Enfield@aldersonassociates.com.au Waldersonassociates.com.au ABN 58 594 160 789								Job Number: 20142				Drawing Number: 20142S2N01				Scale 1:250			
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