

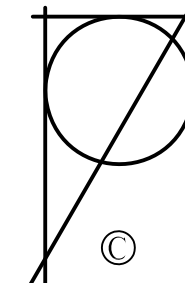
PROPOSED DEVELOPMENT
STAGED DEVELOPMENT
PROPOSED EXTENSION & RENOVATION
TO
BRUNSWICK SURF LIFE SAVING CLUB

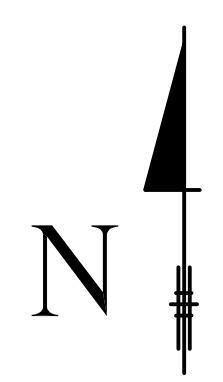
BRUNSWICK SURF LIFE SAVING CLUB
SOUTH BEACH ROAD
BRUNSWICK HEADS

LOT 427
DP 729272

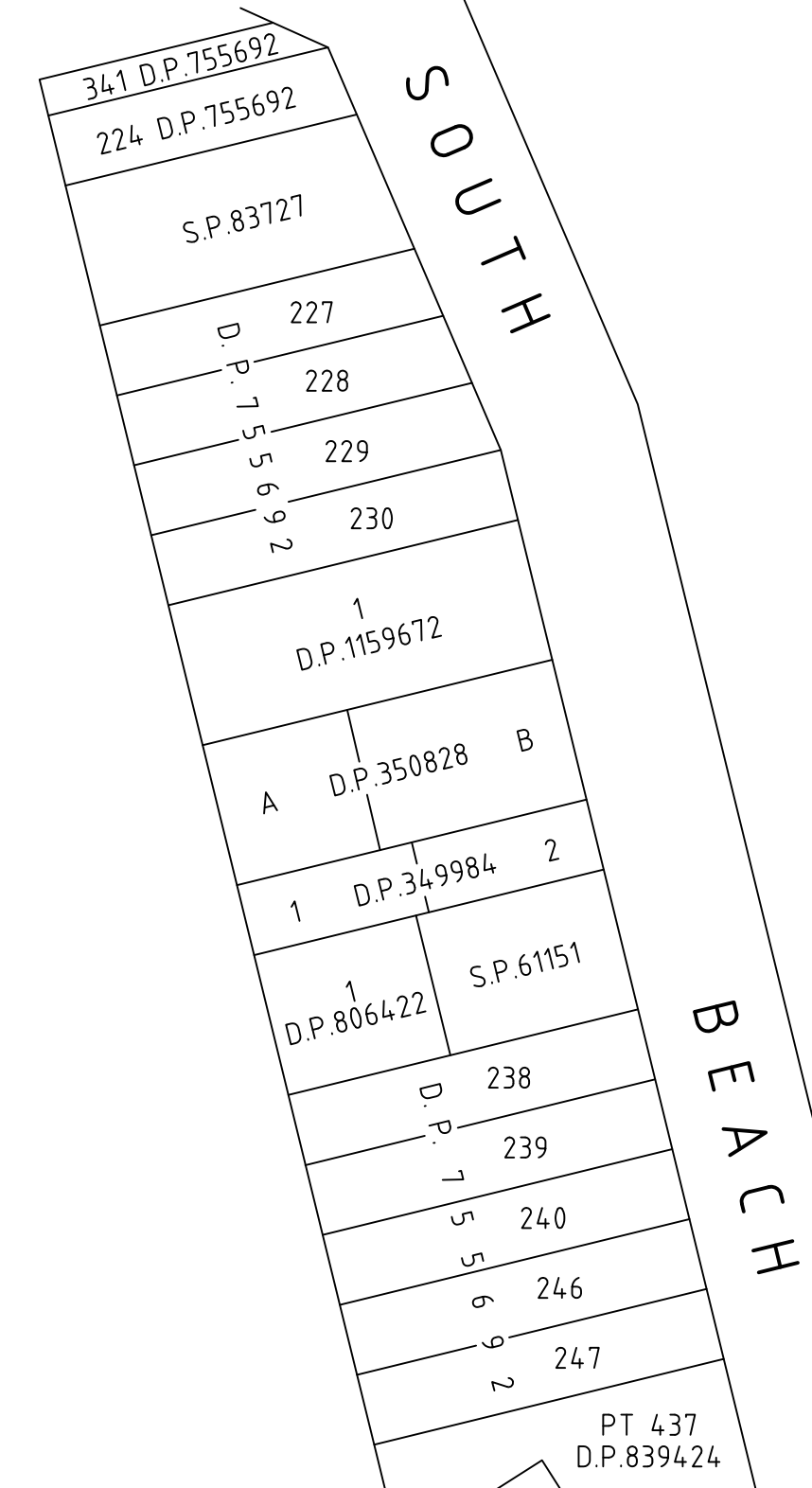
PLAN NO. 2051B
28th March, 2018.

PARAMETER DESIGNS

 SONIA MACCOURT
11 Poplar Avenue
CABARITA BEACH NSW 2488
PHONE: 02 6676 2280
MOBILE: 0438 647 942
EMAIL: sonia@parameterdesigns.com



423
D.P.729272



SOUTH BEACH ROAD

427
D.P.729272
8.42ha

7004
D.P.1043656

POWER POLE

436
D.P.839424

OVERHEAD POWERLINES

STAY WIRE

PT 437
D.P.839424

SEE

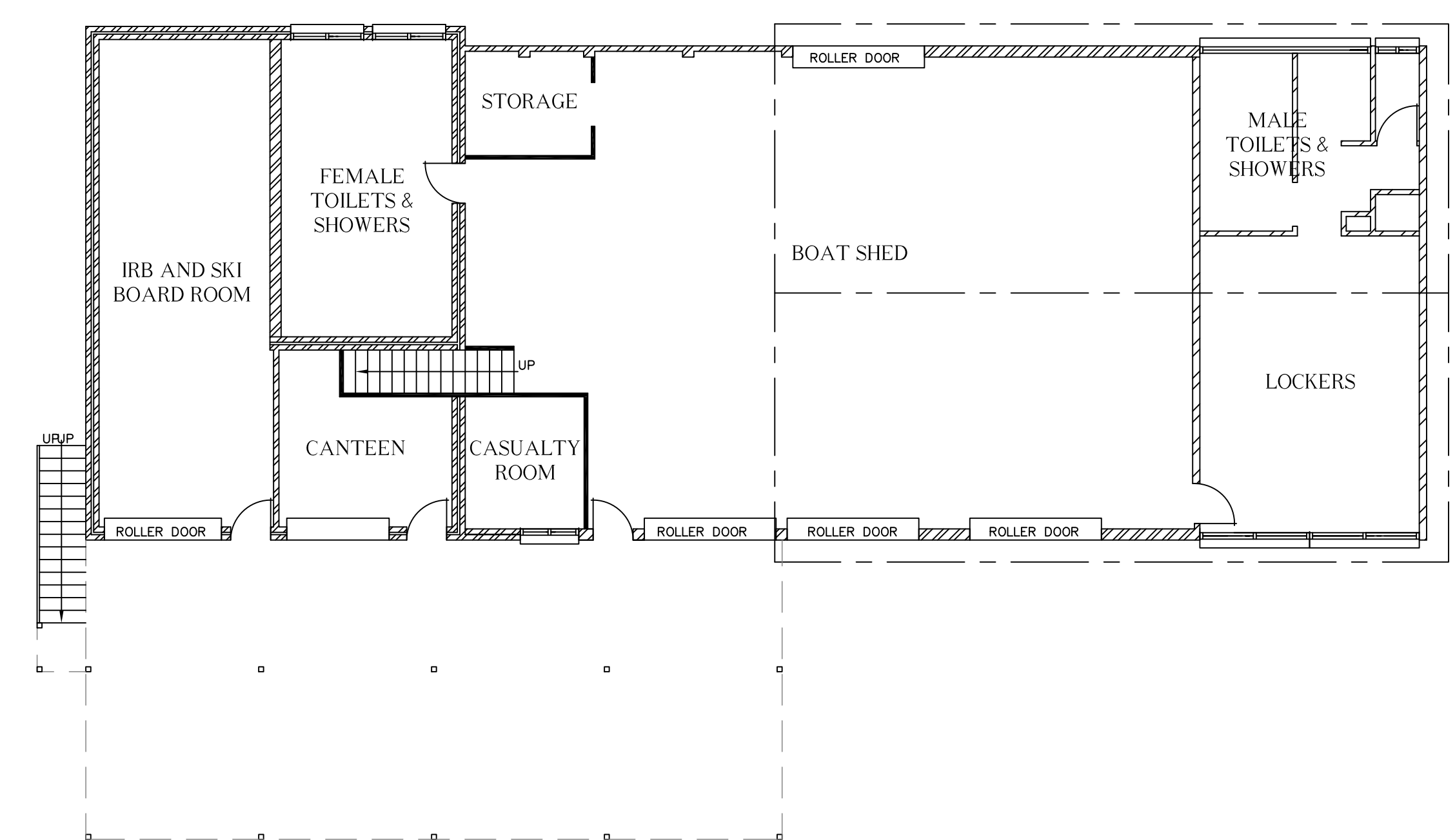
EXTENT OF SURVEY

DIAGRAM

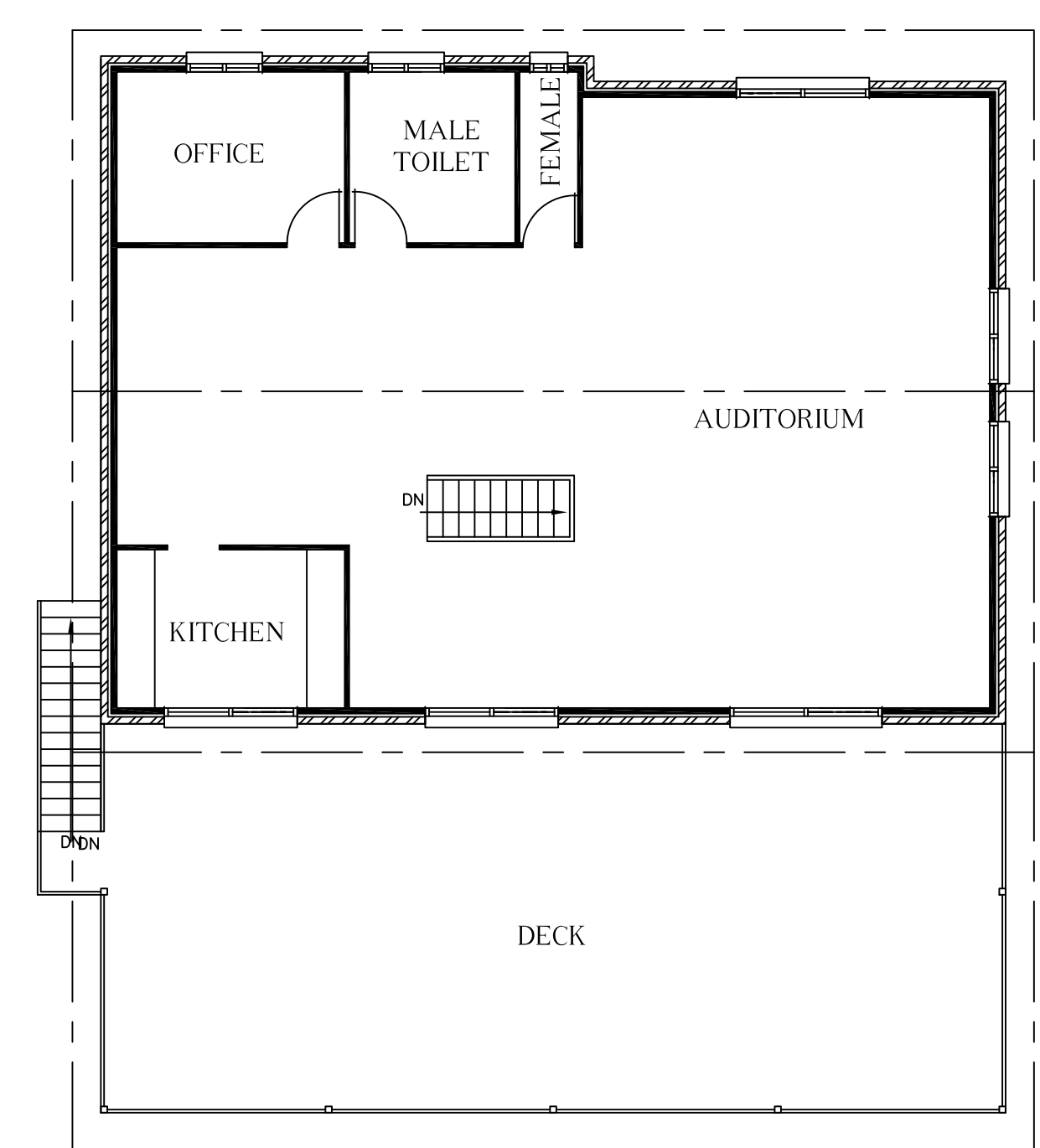
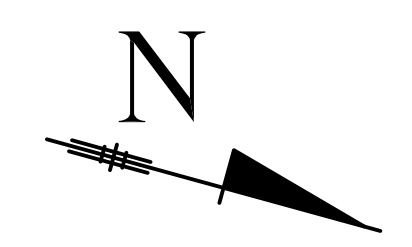
379
D.P.47471

428
D.P.729272

SITE PLAN SCALE 1:1000



EXISTING GROUND FLOOR PLAN SCALE 1:100



EXISTING UPPER FLOOR PLAN SCALE 1:100

NOTE:
ALL DIMENSIONS SHOWN TAKE PRECEDENCE OVER SCALE. DO NOT SCALE DRAWING. ALL DIMENSION TO BE CHECKED BY BUILDER PRIOR TO COMMENCEMENT OF WORK. ALL BUILDING WORK TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND RELEVANT AUSTRALIAN STANDARDS AND COUNCIL

PROPOSED DEVELOPMENT

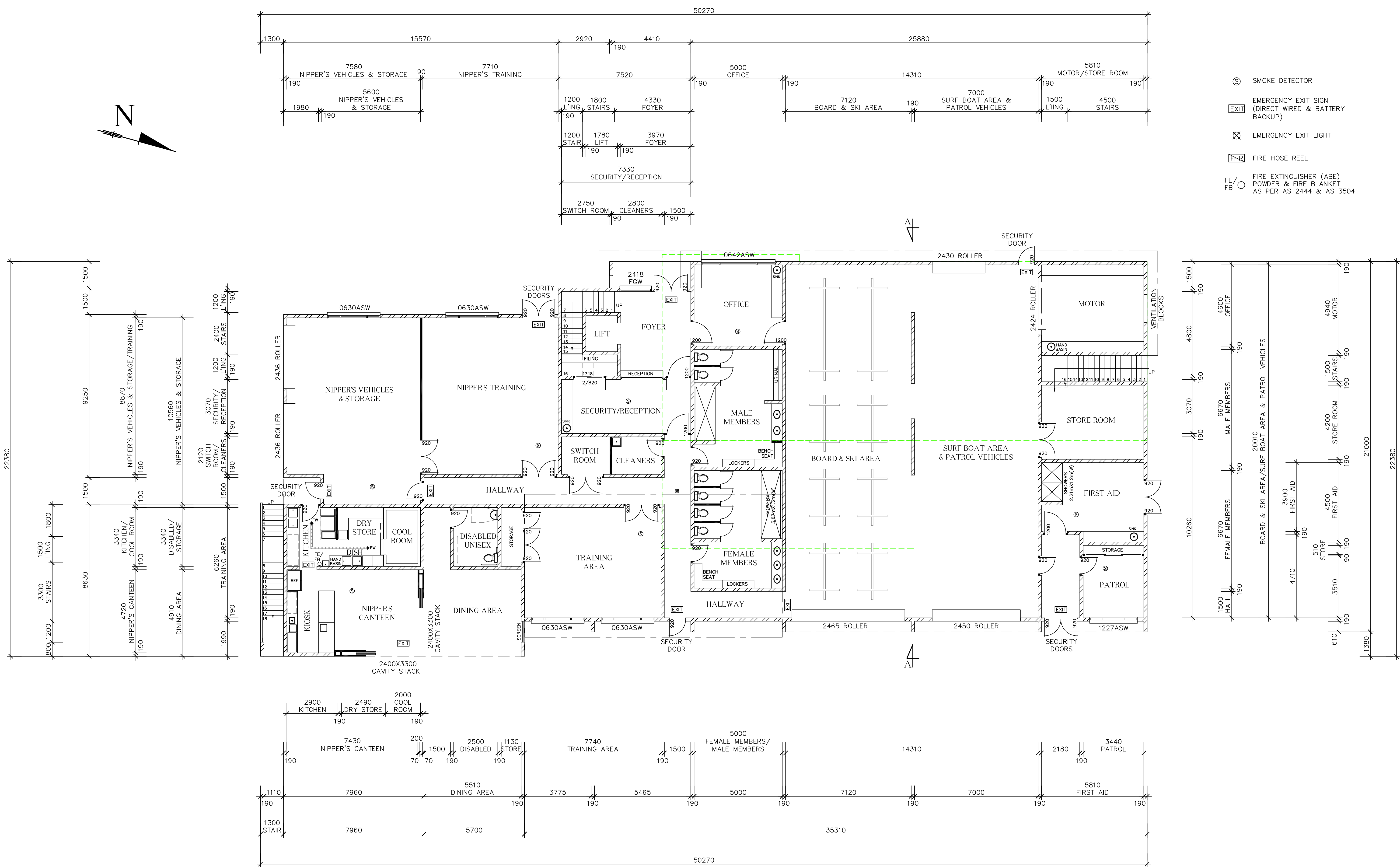
PROPOSED LOWER FLOOR AREA:	842.23m ²	EXISTING LOWER FLOOR AREA:	281.96m ²
PROPOSED UPPER FLOOR AREA:	555.67m ²	EXISTING UPPER FLOOR AREA:	147.91m ²
PROPOSED UPPER VERANDAH AREAS:	248.17m ²	EXISTING UPPER VERANDAH AREA:	87.67m ²
PROPOSED EXTERNAL STAIRS & L'DINGS:	21.08m ²		
TOTAL PROPOSED FLOOR AREAS:	1667.15m ²	TOTAL EXISTING FLOOR AREA:	517.54m ²

REVISIONS

DATE: 28th March, 2018.
PLAN NO. 2051B
SHEET NO. SHEET 2 OF 9
SCALE: 1:100, 1:1000

CLIENT: BRUNSWICK SURF LIFE SAVING CLUB
ADDRESS: SOUTH BEACH ROAD
BRUNSWICK HEADS
LOT 427 DP 729272
PARISH OF BRUNSWICK
COUNTY OF ROUS

PARAMETER DESIGNS
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- Ⓢ SMOKE DETECTOR
- EXIT EMERGENCY EXIT SIGN (DIRECT WIRE & BATTERY BACKUP)
- ⊗ EMERGENCY EXIT LIGHT
- FHR FIRE HOSE REEL
- FE/FB FIRE EXTINGUISHER (ABE) POWDER & FIRE BLANKET AS PER AS 2444 & AS 3504

NOTE:
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PROPOSED DEVELOPMENT

PROPOSED LOWER FLOOR AREA: 842.23m²
PROPOSED UPPER FLOOR AREA: 555.67m²
PROPOSED UPPER VERANDAH AREAS: 248.17m²
PROPOSED EXTERNAL STAIRS & L'DINGS: 21.08m²
TOTAL PROPOSED FLOOR AREAS: 1667.15m²

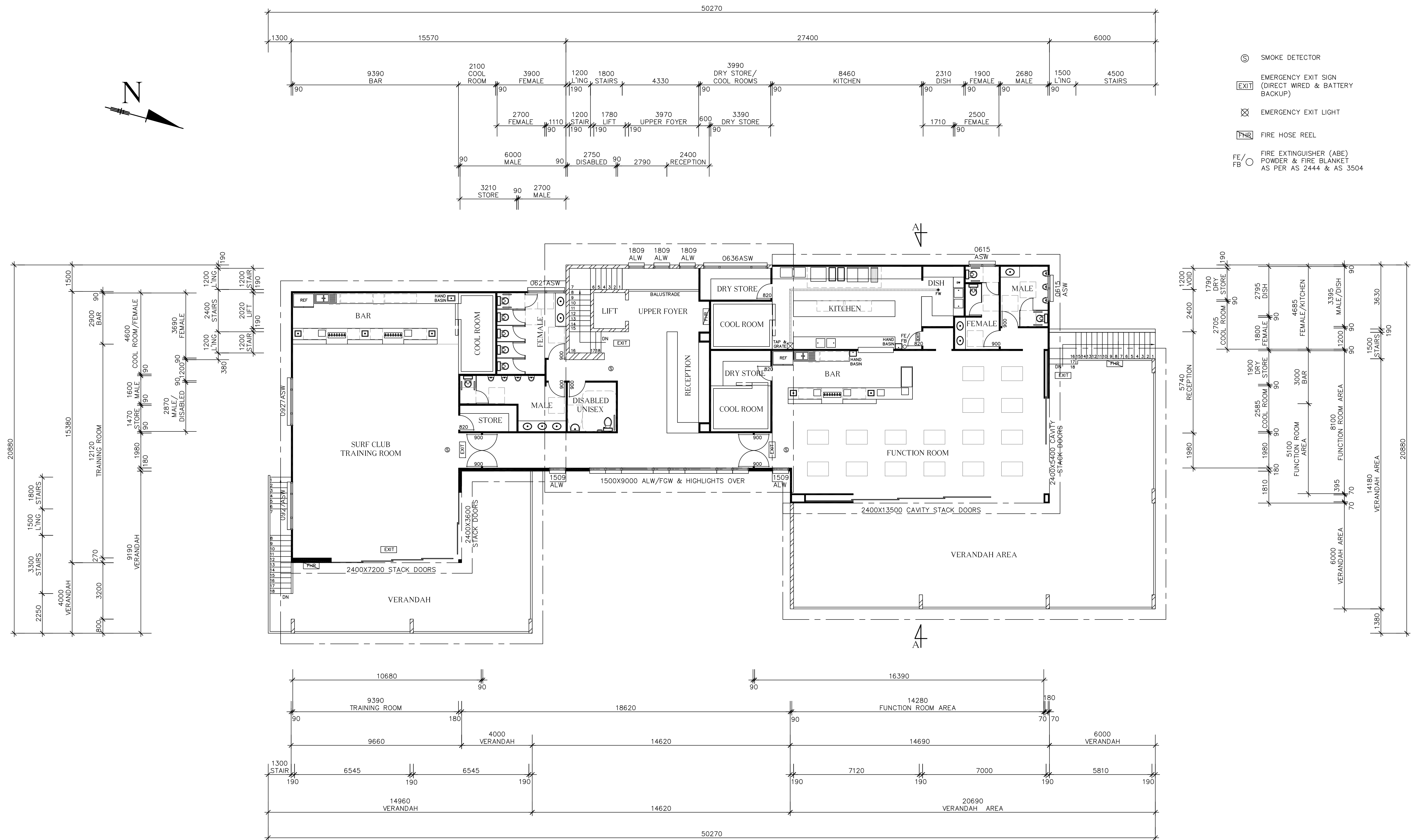
EXISTING LOWER FLOOR AREA: 281.96m²
EXISTING UPPER FLOOR AREA: 147.91m²
EXISTING UPPER VERANDAH AREA: 87.67m²
TOTAL EXISTING FLOOR AREA: 517.54m²






REVISIONS

DATE: 28th March, 2018.
PLAN NO. 2051B
SHEET NO. SHEET 3 OF 9
SCALE: 1:100

CLIENT: BRUNSWICK SURF LIFE SAVING CLUB
ADDRESS: SOUTH BEACH ROAD
BRUNSWICK HEADS
LOT 427 DP 729272
PARISH OF BRUNSWICK
COUNTY OF ROUS

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- | | |
|---|--|
|  | SMOKE DETECTOR |
|  | EMERGENCY EXIT SIGN
(DIRECT WIRED & BATTERY
BACKUP) |
|  | EMERGENCY EXIT LIGHT |
|  | FIRE HOSE REEL |
| FE/
FB  | FIRE EXTINGUISHER (ABE)
POWDER & FIRE BLANKET
AS PER AS 2444 & AS 3504 |

PROPOSED UPPER FLOOR PLAN SCALE 1:100

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AUSTRALIAN STANDARDS AND COUNCIL

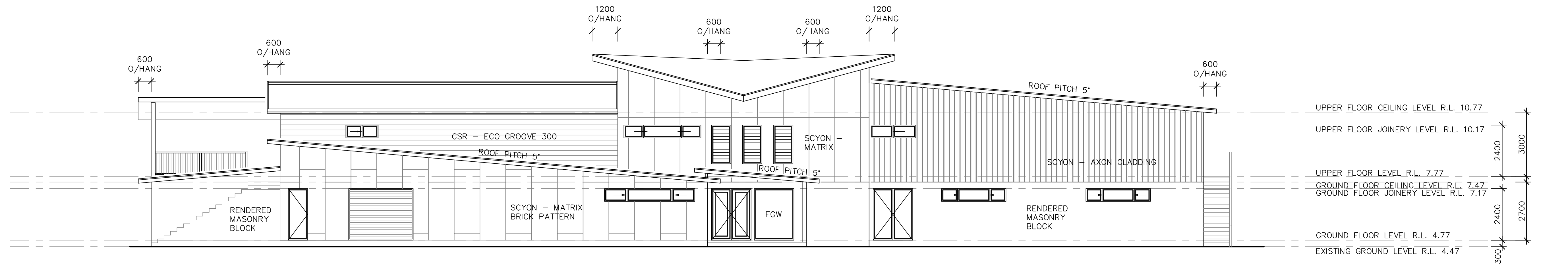
PROPOSED DEVELOPMENT			
PROPOSED LOWER FLOOR AREA:	842.23m ²	EXISTING LOWER FLOOR AREA:	281.96m ²
PROPOSED UPPER FLOOR AREA:	555.67m ²	EXISTING UPPER FLOOR AREA:	147.91m ²
PROPOSED UPPER VERANDAH AREAS:	248.17m ²	EXISTING UPPER VERANDAH AREA:	87.67m ²
PROPOSED EXTERNAL STAIRS & L'DINGS:	21.08m ²		
TOTAL PROPOSED FLOOR AREAS:	1667.15m ²	TOTAL EXISTING FLOOR AREA:	517.54m ²

REVISIONS	

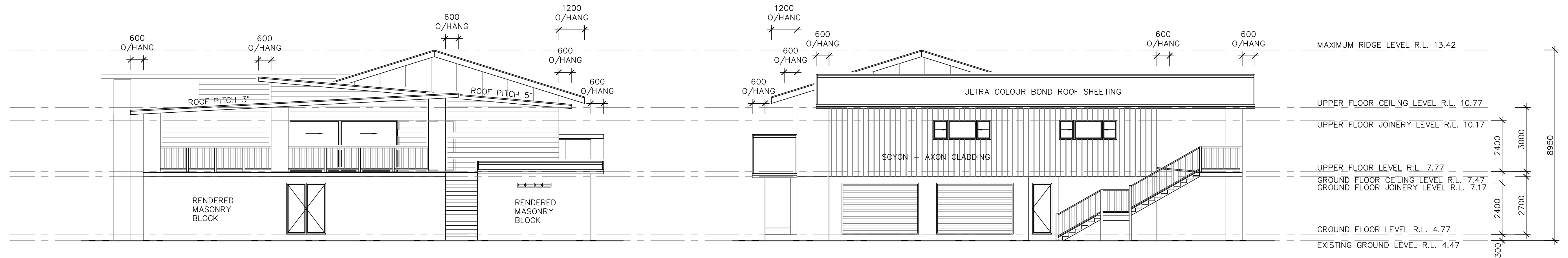
DATE: 28th March, 2018.
PLAN NO. 2051B
SHEET NO. SHEET 4 OF 9
SCALE: 1:100

CLIENT: BRUNSWICK SURF LIFE SAVING CLUB
ADDRESS: SOUTH BEACH ROAD
BRUNSWICK HEADS
LOT 427 DP 729272
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COUNTY OF ROUS

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WESTERN ELEVATION SCALE 1:100



NORTHERN ELEVATION SCALE 1:100

SOUTHERN ELEVATION SCALE 1:100



EASTERN ELEVATION SCALE 1:100

NOTE:
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 AUSTRALIAN STANDARDS AND COUNCIL

PROPOSED DEVELOPMENT

PROPOSED LOWER FLOOR AREA: 842.23m²
 PROPOSED UPPER FLOOR AREA: 555.67m²
 PROPOSED UPPER VERANDAH AREAS: 248.17m²
 PROPOSED EXTERNAL STAIRS & L'DINGS: 21.08m²
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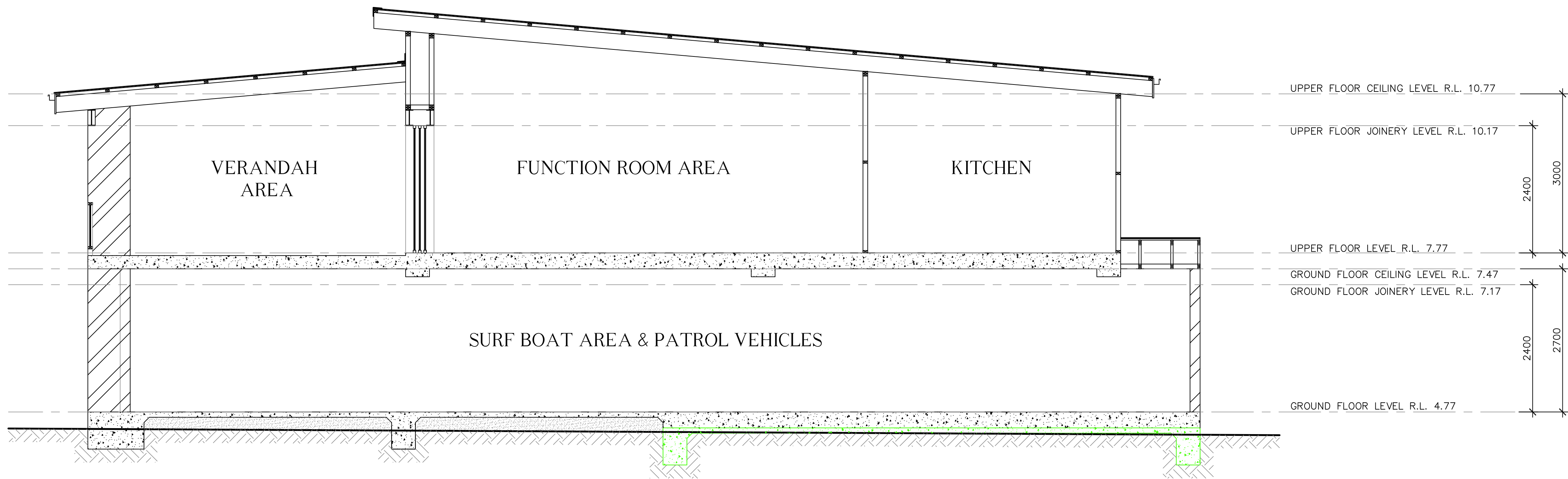
EXISTING LOWER FLOOR AREA: 281.96m²
 EXISTING UPPER FLOOR AREA: 147.91m²
 EXISTING UPPER VERANDAH AREA: 87.67m²
 TOTAL EXISTING FLOOR AREA: 517.54m²

REVISIONS

DATE: 28th March, 2018.
 PLAN NO. 2051B
 SHEET NO. SHEET 5 OF 9
 SCALE: 1:100

CLIENT: BRUNSWICK SURF LIFE SAVING CLUB
 ADDRESS: SOUTH BEACH ROAD
 BRUNSWICK HEADS
 LOT 427 DP 729272
 PARISH OF BRUNSWICK
 COUNTY OF ROUS

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SECTION A-A SCALE 1:50

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PROPOSED DEVELOPMENT

PROPOSED LOWER FLOOR AREA: 842.23m²
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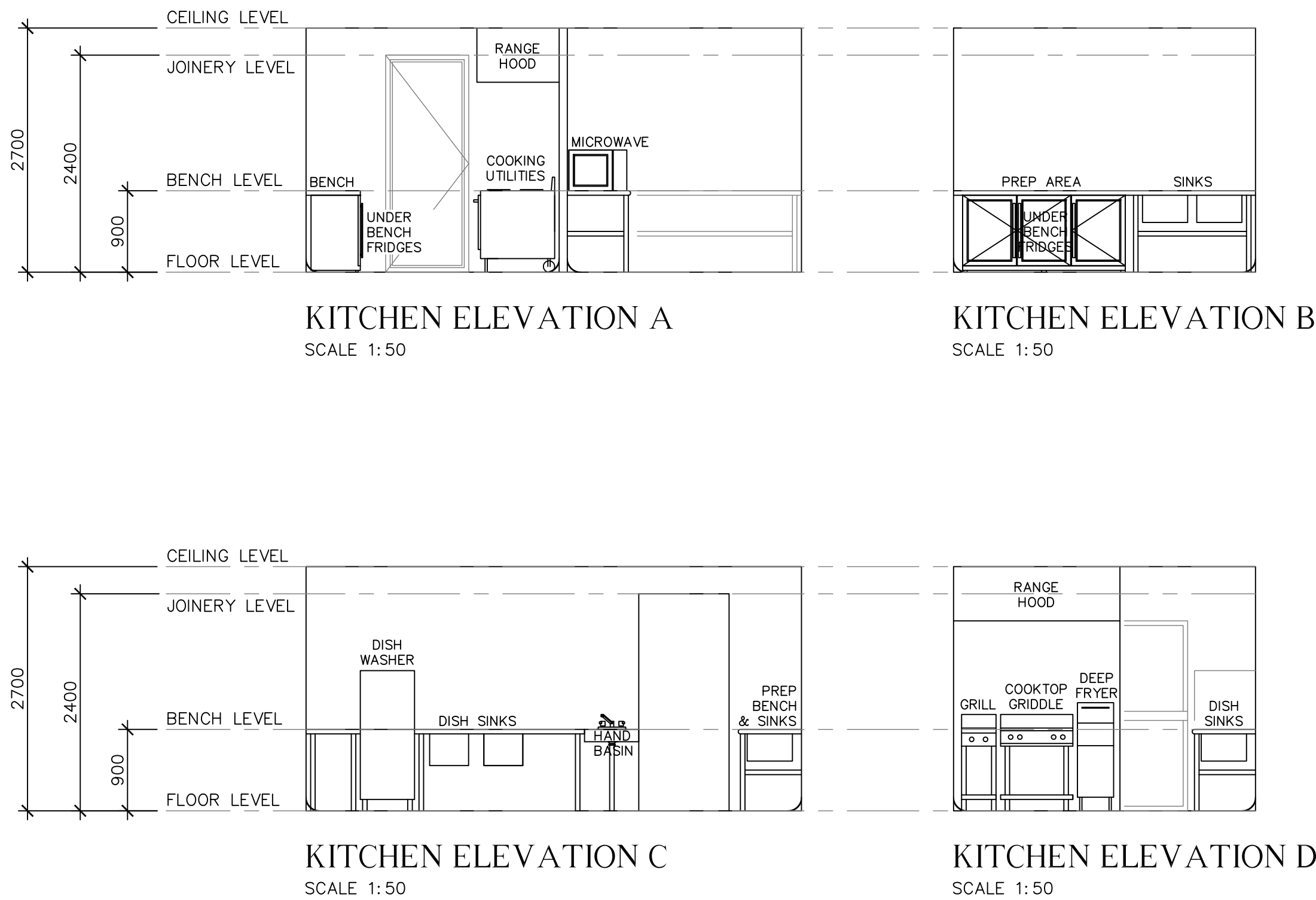
EXISTING LOWER FLOOR AREA: 281.96m²
EXISTING UPPER FLOOR AREA: 147.91m²
EXISTING UPPER VERANDAH AREA: 87.67m²
TOTAL EXISTING FLOOR AREA: 517.54m²

REVISIONS

DATE: 28th March, 2018.
PLAN NO. 2051B
SHEET NO. SHEET 6 OF 9
SCALE: 1:50

CLIENT: BRUNSWICK SURF LIFE SAVING CLUB
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BRUNSWICK HEADS
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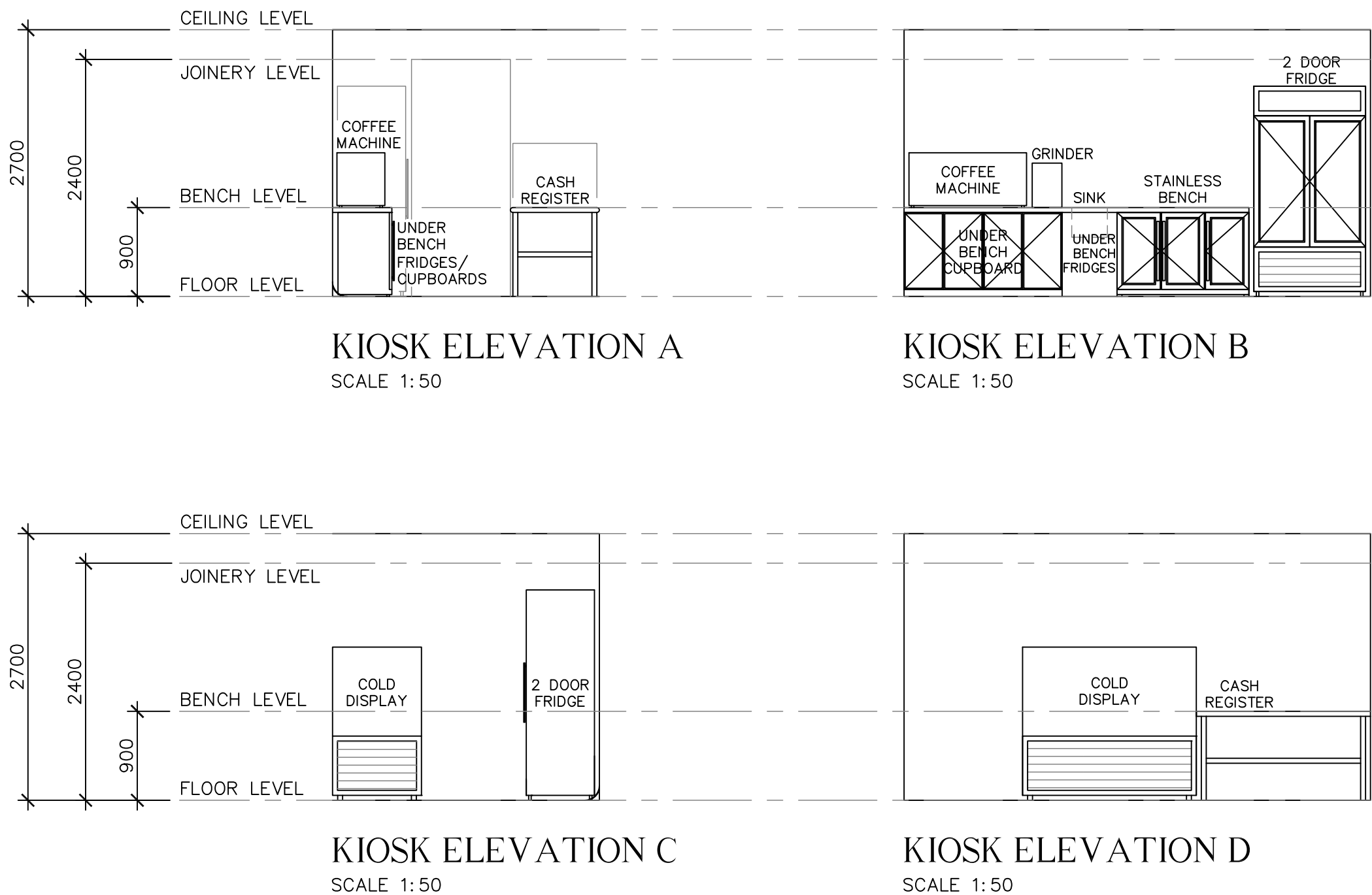


KITCHEN ELEVATION A
SCALE 1:50

KITCHEN ELEVATION B
SCALE 1:50

KITCHEN ELEVATION C
SCALE 1:50

KITCHEN ELEVATION D
SCALE 1:50



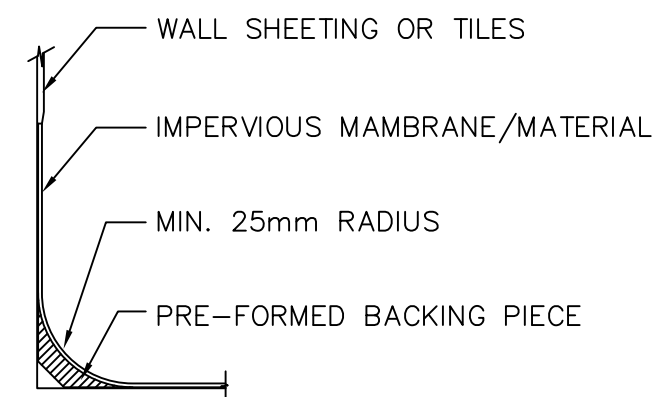
KIOSK ELEVATION A

SCALE 1:50

KIOSK ELEVATION B
SCALE 1:50

KIOSK ELEVATION C
SCALE 1:50

KIOSK ELEVATION D
SCALE 1:50



FLOOR /WALL COVER METHODS

SCALE 1:20

ALL FOOD PREMISES AND EQUIPMENT TO AUSTRALIAN STANDARD 4674-2004; AND FOOD SAFETY STANDARD 3.2.3

DESIGN AND LAYOUT

FOOD PREMISES ARE REQUIRED TO BE DESIGNED AND CONSTRUCTED TO:-

- a) BE APPROPRIATE FOR THE TYPES OF FOOD PRODUCED AND ACTIVITIES CONDUCTED;
- b) PROVIDE ADEQUATE SPACE FOR ALL ACTIVITIES CONDUCTED AND ALL EQUIPMENT TO BE USED OR STORED;
- c) FACILITATE EASY CLEANING AND MAINTAINING PROCEDURES OF ALL STRUCTURES AND EQUIPMENT;
- d) PREVENT ENTRY OF PESTS, DUST, FUMES, SMOKE AND OTHER CONTAMINANTS; AND
- e) EXCLUDE FAVOURABLE SITES FOR PESTS TO HARBOUR (LIKE AND BREED).

FLOOR

FLOORS MUST BE DESIGNED AND CONSTRUCTED SO THAT THEY:-

- a) ARE APPROPRIATE FOR THE ACTIVITIES CONDUCTED ON THE PREMISES;
- b) CAN BE EASILY CLEANED;
- c) DO NOT ABSORB GREASE, FOOD PARTICLES OR WATER;
- d) ARE LAID SO THERE IS NO PONDING OF WATER; AND
- e) AS FAR AS PRACTICABLE, ARE UNABLE TO HARBOR PESTS

FLOOR TO BE OF IMPERVIOUS FINISH, WITH EPOXY RESIN GROUTING FINISHED FLOOR WHERE TILES ARE LAID

WALLS & CEILINGS

WALLS AND CEILING MUST BE CONSTRUCTED TO:-

- a) BE APPROPRIATE FOR THE ACTIVITIES CONDUCTED ON THE PREMISES
- b) PROTECT FOOD FROM CONTAMINATION WHERE NECESSARY;
- c) PREVENT THE ENTRY FROM HARBOURING OF DIRT, DUST AND PESTS;
- d) PREVENT ABSORPTION OF GREASE, FOOD PARTICLES AND WATER; AND
- e) ENSURE EASY AND SAFE REMOVAL OF WALLS AND CEILING

CEILING TO COMPLY WITH AS4674 PART 3.2.8

PLASTER BOARD CEILING 13mm TO BE PAINTED WITH WATER PROOF, GLOSS PAINT

WHERE WALLS TO BE CEILING SMOOTH FINISH AND PAINTED WITH WATER PROOF GLOSS PAINT

FIXTURES, FITTINGS, EQUIPMENT AND FOOD CONTACT SURFACES MUST BE DESIGNED, CONSTRUCTED, LOCATED AND INSTALLED SO THAT:-

- a) THEY ARE ADEQUATE FOR THE PRODUCTION OF SAFE AND SUITABLE FOOD;
- b) FIT FOR THEIR INTENDED USE;
- c) THERE IS NO LIKEHOOD THAT THEY WILL CONTAMINATE FOOD;
- d) THEY ARE ABLE TO BE EASILY AND EFFECTIVELY CLEANED;
- e) SURROUNDING SURFACES CAN BE TO EASILY AND EFFECTIVELY CLEANED; AND
- f) TO THE EXTENT THAT IS PRACTICABLE, THEY DO NOT HARBOUR PESTS

LIGHTING

FOOD PREMISES MUST PROVIDE SUFFICIENT LIGHTING TO ADEQUATELY ILLUMINATE AREAS OF THE PREMISES WHERE THE PRODUCTION OF SAFE FOOD OCCURS TO:-

- a) READILY SEE WHETHER AREAS AND EQUIPMENT ARE CLEAN;
- b) DETECT SIGNS OF PESTS; AND
- c) CLEARLY SEE THE FOOD AND EQUIPMENT THEY ARE HANDLING

VENTILATION

FOOD PREMISES MUST HAVE SUFFICIENT NATURAL OR MECHANICAL VENTILATION TO EFFECTIVELY REMOVE FUMES, SMOKE, STEAM AND VAPOURS FROM THE FOOD PREMISES

REQUIREMENTS

ALL WALLS TO ALL FOOD PREPARATION AREA AND WASH UP AREAS TO BE SEALED, GLOSS PAINTED SOLID WALL CONSTRUCTION

SHELVING TO BE 25mm CLEAR OF WALL

ALL EQUIPMENT TO HAVE LEGS 150mm MN. HEIGHT

BOTTOM SHELVING WITH A WATERPROOF CAULKING OR SIMILAR

FINISHED FLOOR LEVEL

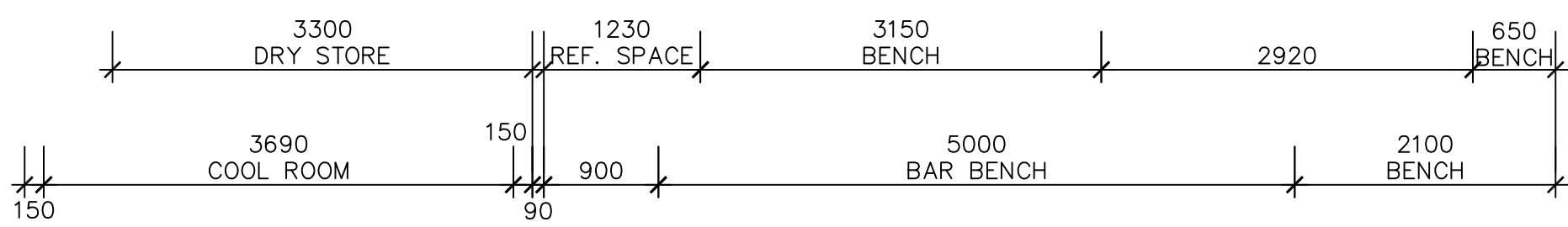
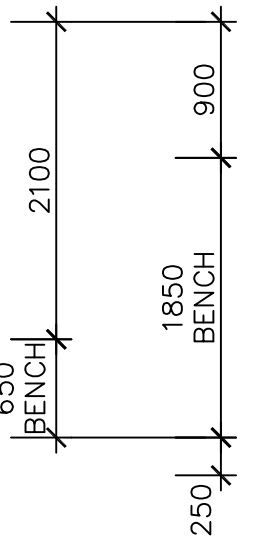
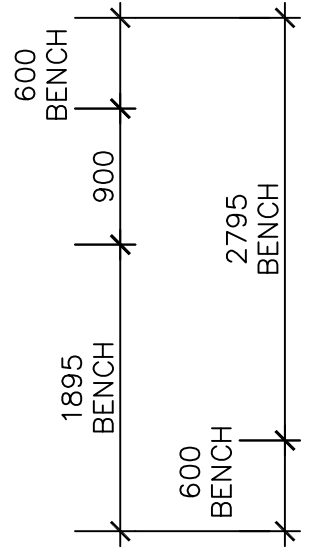
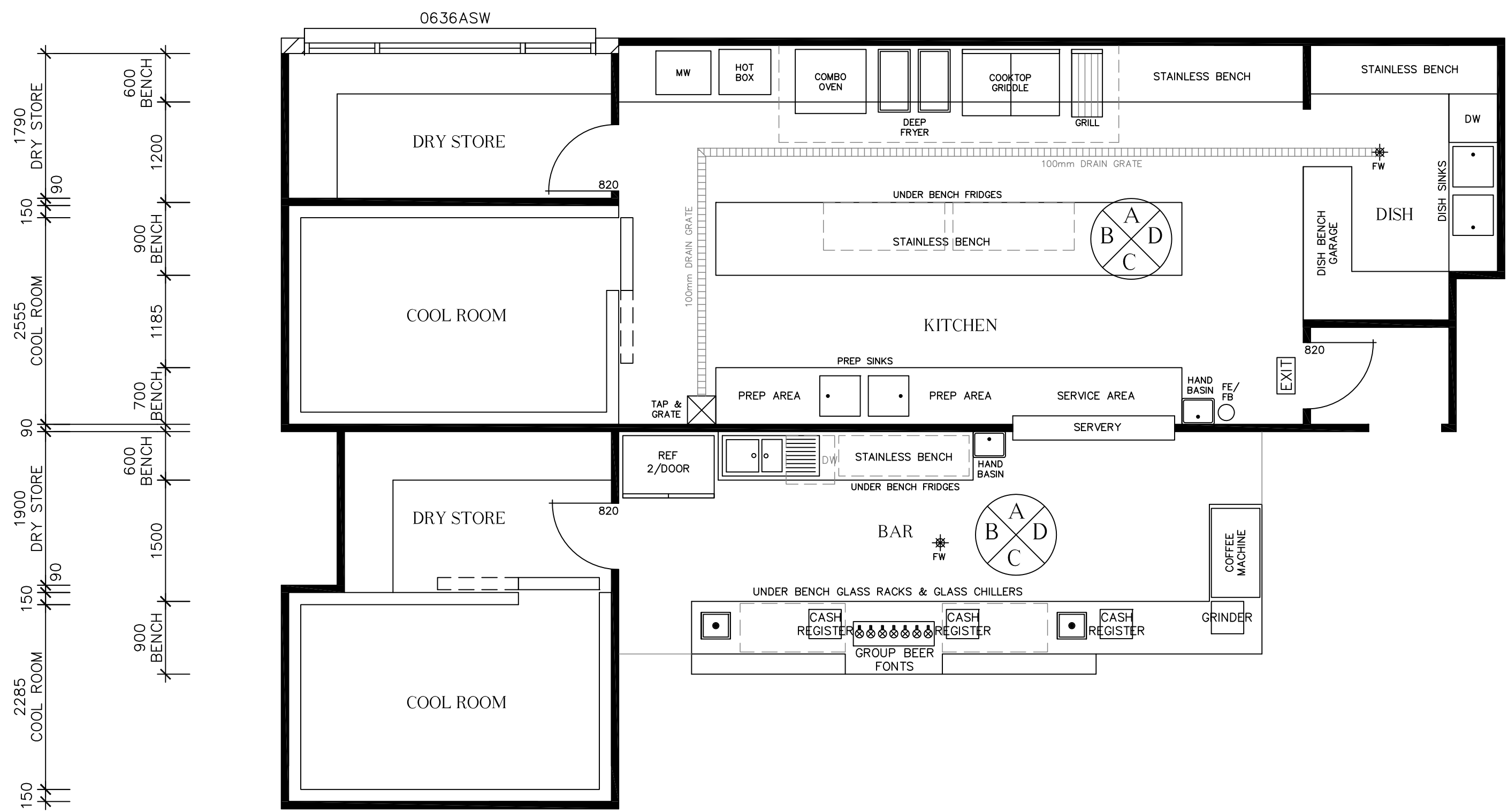
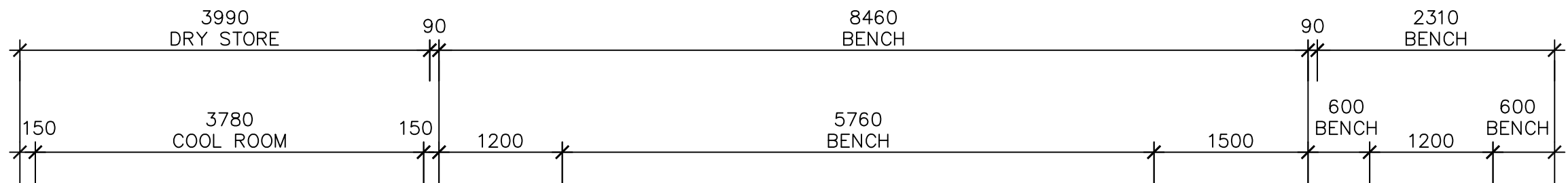
SOAP & DOWEL DISPENSER TO BE LOCATED ABOVE HAND BASIN

NO STORAGE SHELVES BELOW TILE CANOPY

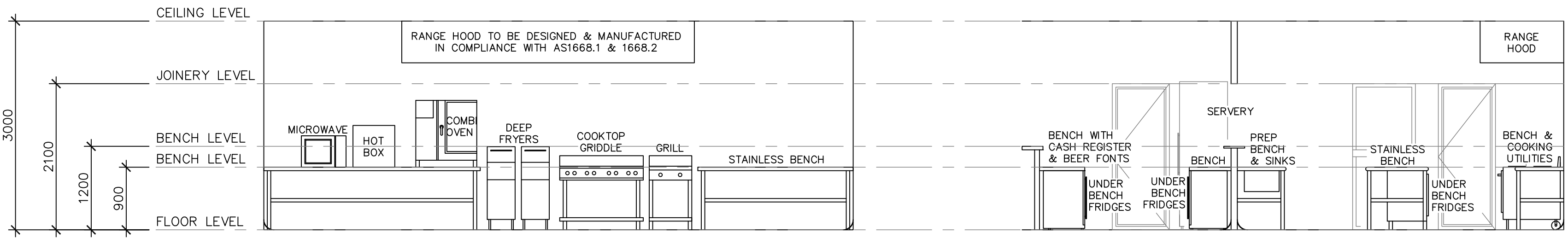
PLUNTS TO BE A MIN. OF 75mm HIGH

ALL HAND BASINS/SINKS TO HAVE A 300mm MN. HIGH STAINLESS STEEL SPLASH BACK

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© sonia@parameterdesigns.com

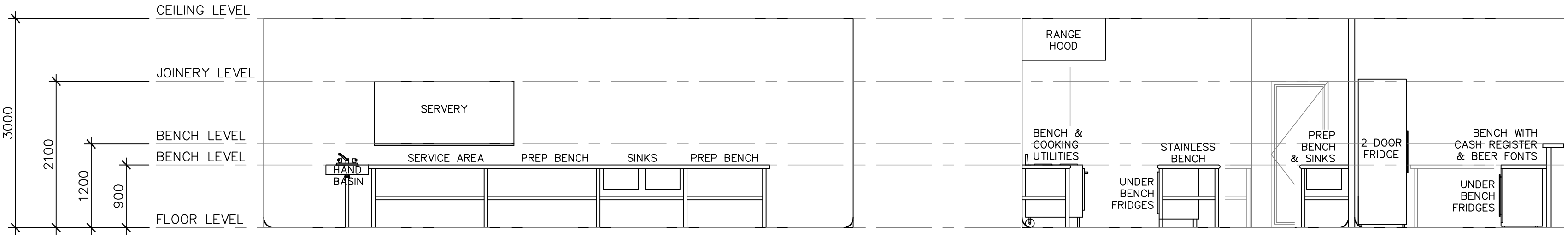


KITCHEN & BAR FLOOR PLAN SCALE 1:50



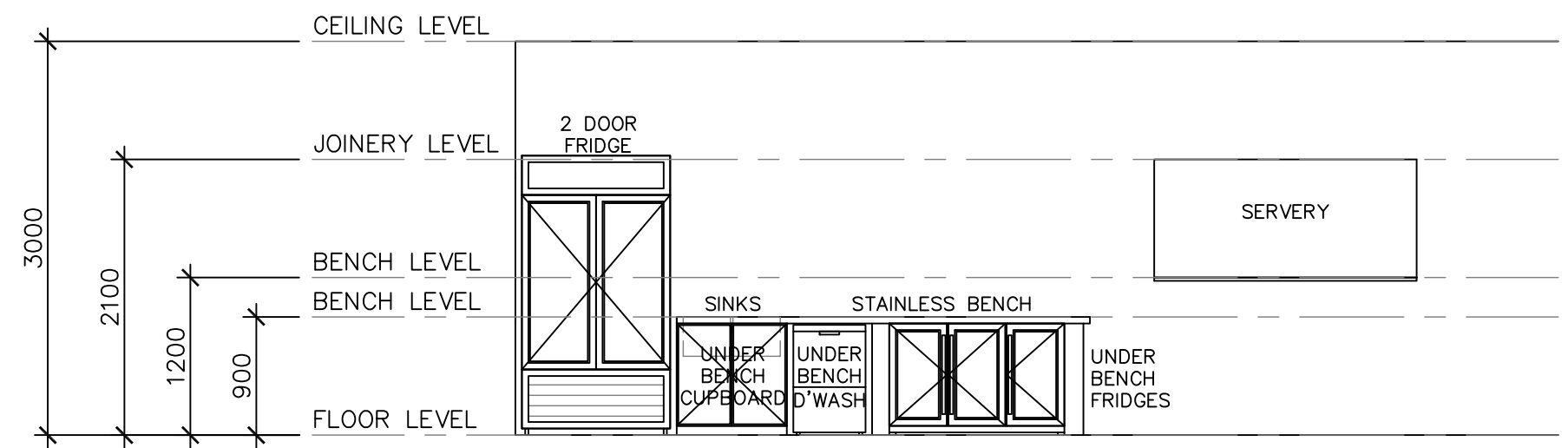
KITCHEN ELEVATION A SCALE 1:50

KITCHEN & BAR ELEVATION B SCALE 1:50

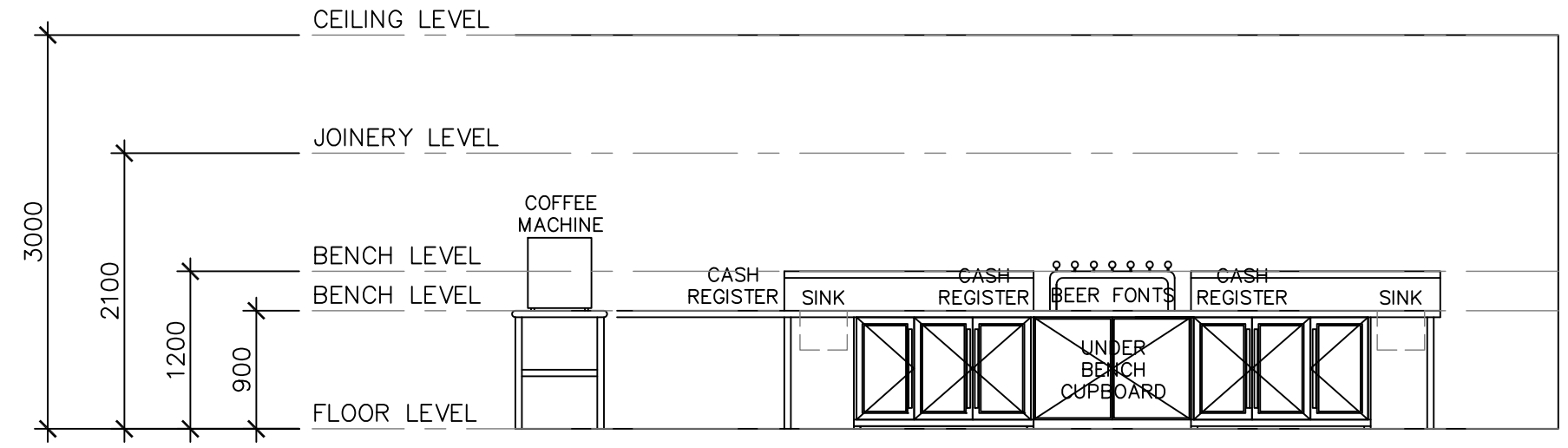


KITCHEN ELEVATION C SCALE 1:50

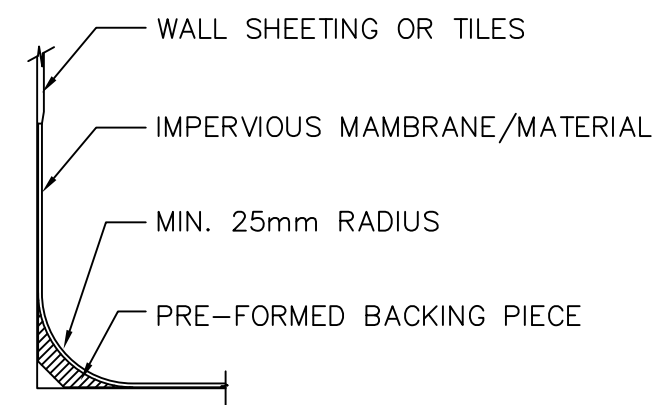
KITCHEN & BAR ELEVATION D SCALE 1:50



KITCHEN ELEVATION A SCALE 1:50



BAR ELEVATION C SCALE 1:50



FLOOR /WALL COVER METHODS SCALE 1:20

NOTES:
ALL FOOD PREMISES AND EQUIPMENT TO AUSTRALIAN STANDARD 4674-2004;
AND FOOD SAFETY STANDARD 3.2.3

DESIGN AND LAYOUT
FOOD PREMISES ARE REQUIRED TO BE DESIGNED AND CONSTRUCTED TO:-
a) BE APPROPRIATE FOR THE TYPES OF FOOD PRODUCED AND ACTIVITIES CONDUCTED;
b) PROVIDE ADEQUATE SPACE FOR ALL ACTIVITIES CONDUCTED AND ALL EQUIPMENT TO BE USED OR STORED;
c) ALLOW EASY CLEANING/SANITISING PROCEDURES OF ALL STRUCTURES AND EQUIPMENT;
d) PREVENT ENTRY OF PESTS, DUST, FUMES, SMOKE AND OTHER CONTAMINANTS; AND
e) EXCLUDE FAVOURABLE SITES FOR PESTS TO HARBOUR (LIVE AND BREED).

FLOOR
FLOORS MUST BE DESIGNED AND CONSTRUCTED SO THAT THEY:-
a) ARE APPROPRIATE FOR THE ACTIVITIES CONDUCTED ON THE PREMISES;
b) CAN BE EFFECTIVELY CLEANED;
c) DO NOT ABSORB GREASE, FOOD PARTICLES OR WATER;
d) ARE LAID SO THERE IS NO PONDING OF WATER; AND
e) AS FAR AS PRACTICABLE, ARE UNABLE TO HARBOR PESTS

FLOOR TO BE OF IMPERVIOUS FINISH, AND WITH EPOXY RESIN GROUTING FINISHED FLUSH WHERE TILES ARE LAID

WALLS & CEILINGS
WALLS & CEILING MUST BE CONSTRUCTED TO:-
a) BE APPROPRIATE FOR THE ACTIVITIES CONDUCTED ON THE PREMISES
b) PROTECT FOOD FROM CONTAMINATION WHERE NECESSARY;
c) PREVENT THE ENTRY AND HARBOURAGE OF DIRT, DUST AND PESTS;
d) PREVENT ABSORPTION OF GREASE, FOOD PARTICLES AND WATER; AND
e) ENSURE EASY AND EFFECTIVE CLEANING
f) CEILING TO COMPLY WITH AS4874 PART 3.2.8
g) PLASTER BOARD CEILING 13mm TO BE PAINTED WITH WATER PROOF, GLOSS PAINT
h) HERE, WALLS TO BE SEALED SMOOTH FINISH AND PAINTED WITH WATER PROOF GLOSS PAINT

FIXTURES, FITTINGS, EQUIPMENT AND FOOD CONTACT SURFACES MUST BE DESIGNED, CONSTRUCTED, LOCATED AND INSTALLED SO THAT:-
a) THEY ARE ADEQUATE FOR THE PRODUCTION OF SAFE AND SUITABLE FOOD;
b) FIT FOR THEIR INTENDED USE
c) THERE IS NO LIKELIHOOD THAT THEY WILL CONTAMINATE FOOD;
d) THEY ARE ABLE TO BE EASILY AND EFFECTIVELY CLEANED;
e) SURROUNDING SURFACES CAN TO BE EASILY AND EFFECTIVELY CLEANED; AND
f) TO THE EXTENT THAT IS PRACTICABLE, THEY DO NOT HARBOUR PESTS

LIGHTING
FOOD PREMISES MUST PROVIDE SUFFICIENT LIGHTING TO ADEQUATELY ILLUMINATE ALL AREAS OF THE FOOD PREMISES TO ENABLE FOOD HANDLERS TO:-
a) READILY SEE WHETHER AREAS AND EQUIPMENT ARE CLEAN;
b) DETECT SIGNS OF PESTS; AND
c) CLEARLY SEE THE FOOD AND EQUIPMENT THEY ARE HANDLING

VENTILATION
FOOD PREMISES MUST HAVE SUFFICIENT NATURAL OR MECHANICAL VENTILATION TO EFFECTIVELY REMOVE FUMES, SMOKE, STEAM AND VAPOURS FROM THE FOOD PREMISES

REQUIREMENTS
WALLS TO ALL FOOD PREPARATION AREA AND WASH UP AREAS TO BE SEALED, GLOSS PAINTED SOLID WALL CONSTRUCTION
SHELVING TO BE 25mm CLEAR OF WALL
ALL EQUIPMENT TO HAVE LEGS 150mm MIN. HEIGHT
UNLESS SEALED WITH A WATERPROOF CAULKING OR SIMILAR
BOTTOM SHELVING OF ALL UNITS TO BE 150mm MIN. ABOVE FINISHED FLOOR LEVEL
SOAP & DOWEL DISPENSER TO BE LOCATED ABOVE HAND BASIN
NO STORAGE SHELVES BELOW TILE CANOPY
PLINTHS TO BE A MIN. OF 75mm HIGH
ALL HAND BASINS/SINKS TO HAVE A 300mm MIN. HIGH STAINLESS STEEL SPLASH BACK

NOTE:
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PROPOSED DEVELOPMENT

PROPOSED LOWER FLOOR AREA:	842.23m ²
PROPOSED UPPER FLOOR AREA:	555.67m ²
PROPOSED UPPER VERANDAH AREAS:	248.17m ²
PROPOSED EXTERNAL STAIRS & L'DINGS:	21.08m ²
TOTAL PROPOSED FLOOR AREAS:	1667.15m ²

EXISTING LOWER FLOOR AREA:	281.96m ²
EXISTING UPPER FLOOR AREA:	147.91m ²
EXISTING UPPER VERANDAH AREA:	87.67m ²
TOTAL EXISTING FLOOR AREA:	517.54m ²

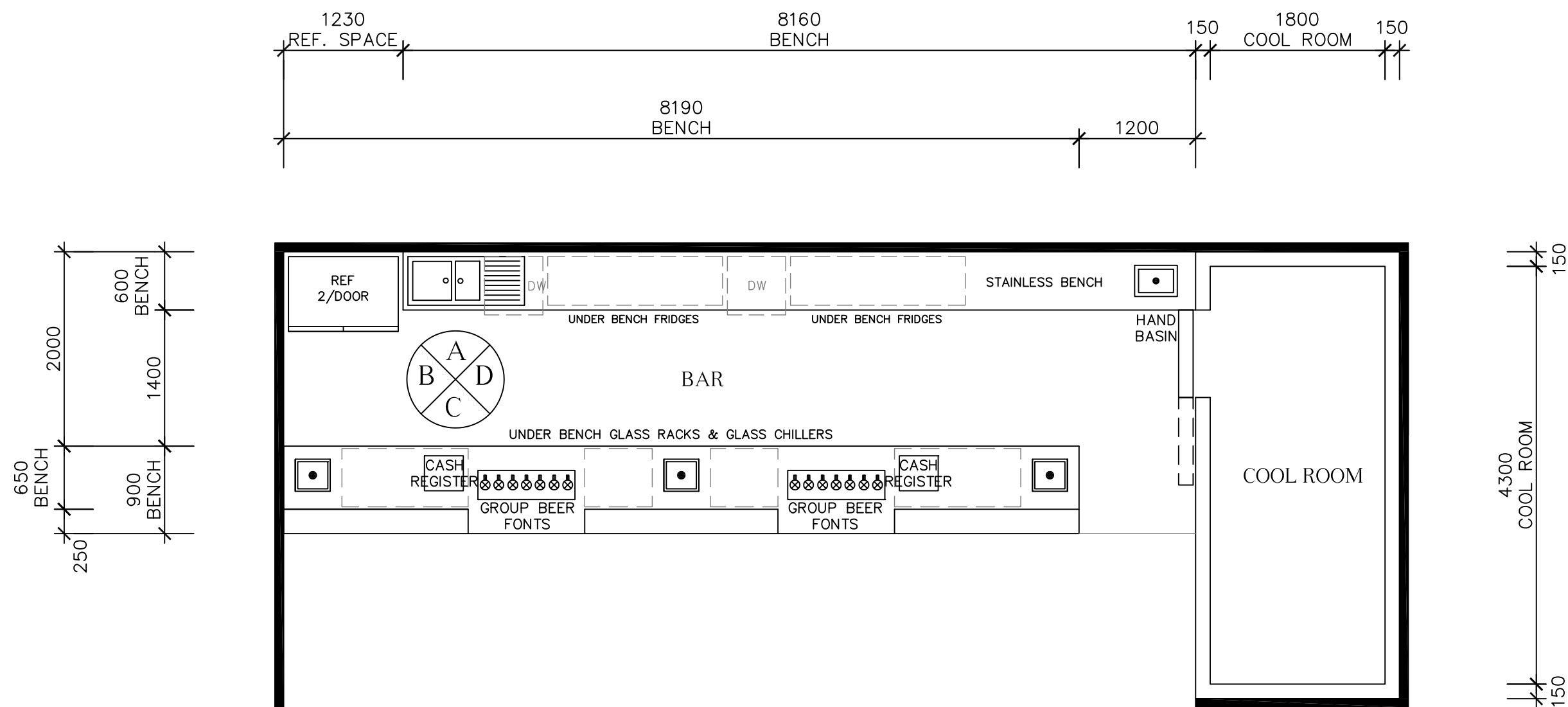
REVISIONS

DATE:	28th March, 2018.
PLAN NO.	2051B
SHEET NO.	SHEET 8 OF 9
SCALE:	1:50

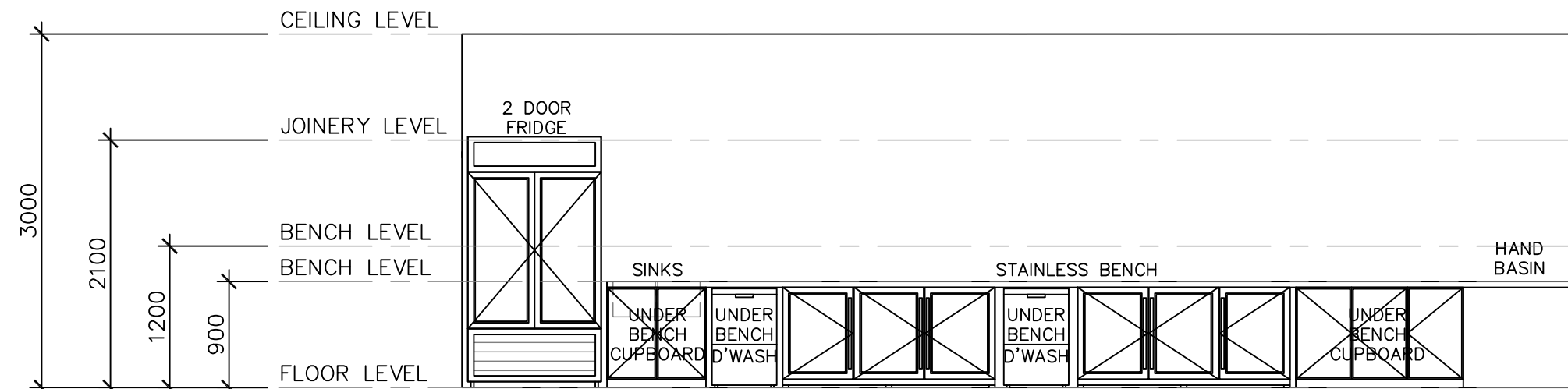
CLIENT:	BRUNSWICK SURF LIFE SAVING CLUB
ADDRESS:	SOUTH BEACH ROAD BRUNSWICK HEADS LOT 427 DP 729272 PARISH OF BRUNSWICK COUNTY OF ROUS

PARAMETER DESIGNS

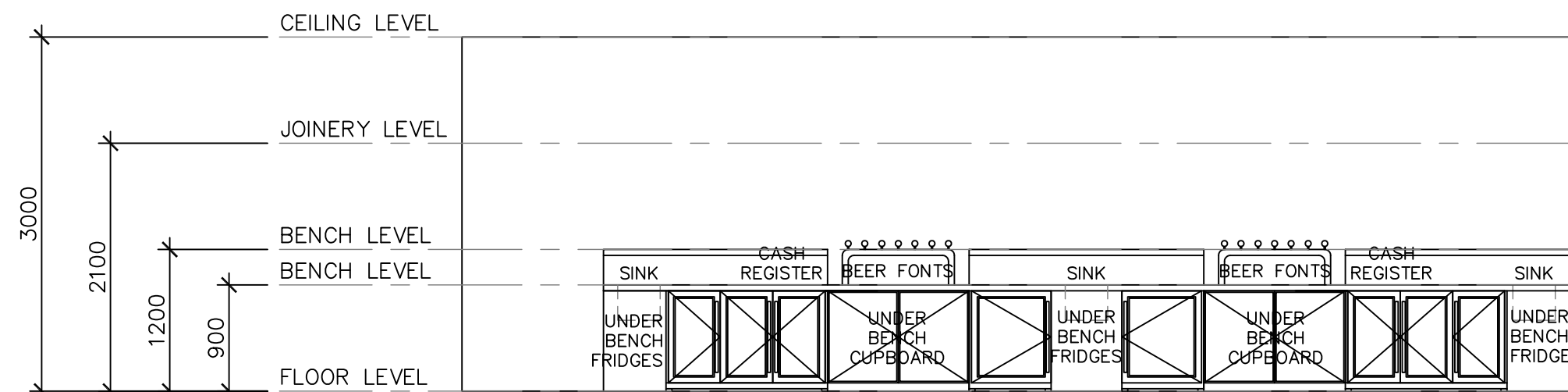
SONIA MACCOURT
11 Poplar Avenue
CABARITA BEACH, NSW 2488
PHONE: 02 6676 2280
MOBILE: 0438 647 942
sonia@parameterdesigns.com



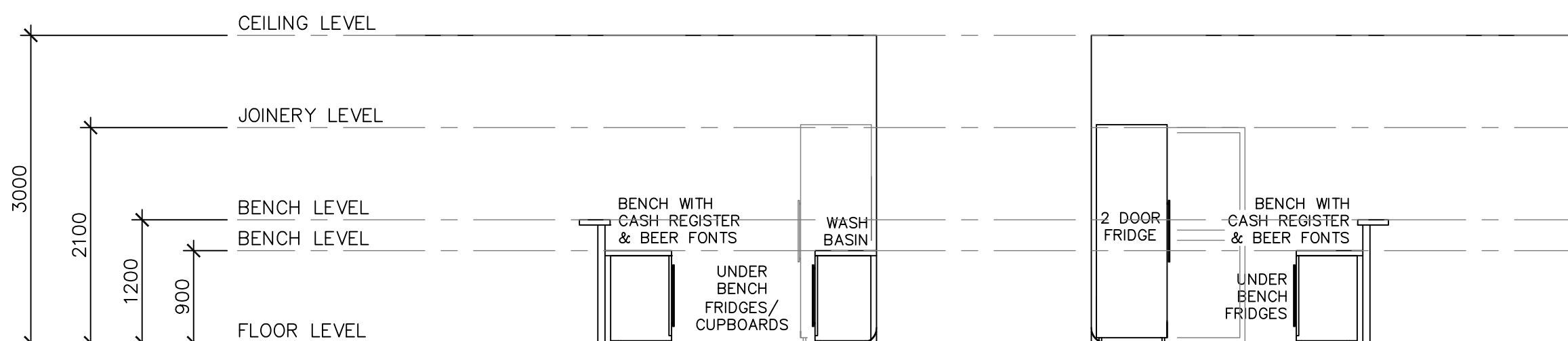
BAR FLOOR PLAN SCALE 1:50



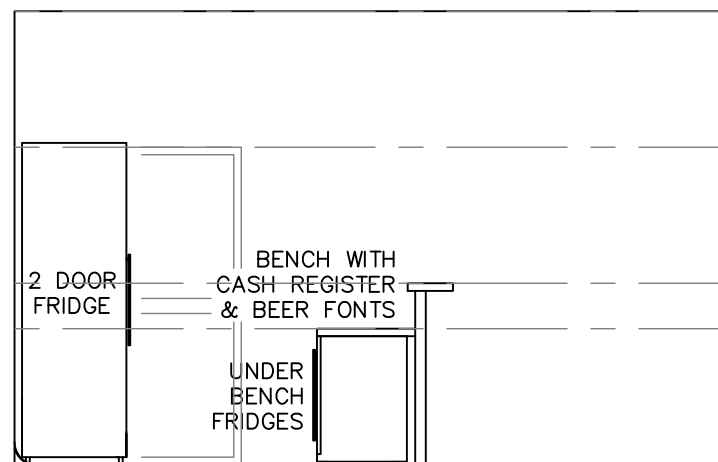
BAR ELEVATION A
SCALE 1:50



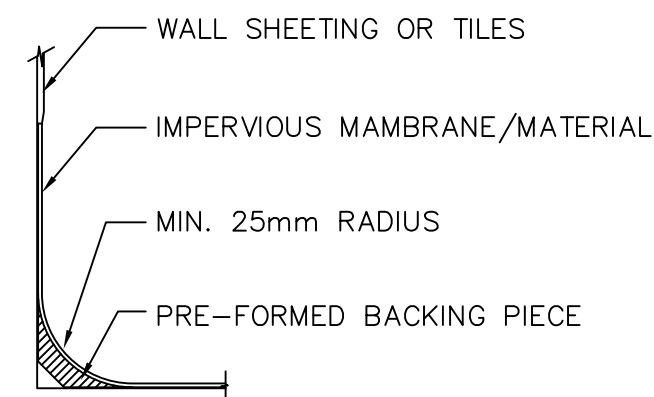
BAR ELEVATION C
SCALE 1:50



BAR ELEVATION B
SCALE 1:50



BAR ELEVATION D
SCALE 1:50



FLOOR /WALL COVER METHODS
SCALE 1:20

NOTES:
ALL FOOD PREMISES AND EQUIPMENT TO AUSTRALIAN STANDARD 4674-2004;
AND FOOD SAFETY STANDARD 3.2.3

DESIGN AND LAYOUT
FOOD PREMISES ARE REQUIRED TO BE DESIGNED AND CONSTRUCTED TO:-
a) BE APPROPRIATE FOR THE TYPES OF FOOD PRODUCED AND ACTIVITIES CONDUCTED;
b) PROVIDE ADEQUATE SPACE FOR ALL ACTIVITIES CONDUCTED AND ALL EQUIPMENT TO BE USED OR STORED;
c) ALLOW EASY CLEANING/SANITISING PROCEDURES OF ALL STRUCTURES AND EQUIPMENT;
d) PREVENT ENTRY OF PESTS, DUST, FUMES, SMOKE AND OTHER CONTAMINANTS; AND
e) EXCLUDE FAVOURABLE SITES FOR PESTS TO HARBOUR (LIVE AND BREED).

FLOOR
FLOORS MUST BE DESIGNED AND CONSTRUCTED SO THAT THEY:-
a) ARE APPROPRIATE FOR THE ACTIVITIES CONDUCTED ON THE PREMISES;
b) CAN BE EFFECTIVELY CLEANED;
c) DO NOT ABSORB GREASE, FOOD PARTICLES OR WATER;
d) ARE LAID SO THERE IS NO PONDING OF WATER; AND
e) AS FAR AS PRACTICABLE, ARE UNABLE TO HARBOUR PESTS

FLOOR TO BE OF IMPERVIOUS FINISH, AND WITH EPOXY RESIN GROUTING FINISHED FLUSH WHERE TILES ARE LAID

WALLS & CEILINGS
WALLS & CEILING MUST BE CONSTRUCTED TO:-
a) BE APPROPRIATE FOR THE ACTIVITIES CONDUCTED ON THE PREMISES
b) PROTECT FOOD FROM CONTAMINATION WHERE NECESSARY;
c) PREVENT THE ENTRY AND HARBOURAGE OF DIRT, DUST AND PESTS;
d) PREVENT ABSORPTION OF GREASE, FOOD PARTICLES AND WATER; AND
e) ENSURE EASY AND EFFECTIVE CLEANING
f) CEILING TO COMPLY WITH AS4874 PART 3.2.8
g) PLASTER BOARD CEILING 13mm TO BE PAINTED WITH WATER PROOF, GLOSS PAINT
h) HERE, WALLS TO BE SEALED SMOOTH FINISH AND PAINTED WITH WATER PROOF GLOSS PAINT

FIXTURES, FITTINGS, EQUIPMENT AND FOOD CONTACT SURFACES MUST BE DESIGNED, CONSTRUCTED, LOCATED AND INSTALLED SO THAT:-
a) THEY ARE ADEQUATE FOR THE PRODUCTION OF SAFE AND SUITABLE FOOD;
b) FIT FOR THEIR INTENDED USE
c) THERE IS NO LIKELIHOOD THAT THEY WILL CONTAMINATE FOOD;
d) THEY ARE ABLE TO BE EASILY AND EFFECTIVELY CLEANED;
e) SURROUNDING SURFACES CAN TO BE EASILY AND EFFECTIVELY CLEANED; AND
f) TO THE EXTENT THAT IS PRACTICABLE, THEY DO NOT HARBOUR PESTS

LIGHTING
FOOD PREMISES MUST PROVIDE SUFFICIENT LIGHTING TO ADEQUATELY ILLUMINATE ALL AREAS OF THE FOOD PREMISES TO ENABLE FOOD HANDLERS TO:-
a) READILY SEE WHETHER AREAS AND EQUIPMENT ARE CLEAN;
b) DETECT SIGNS OF PESTS; AND
c) CLEARLY SEE THE FOOD AND EQUIPMENT THEY ARE HANDLING

VENTILATION
FOOD PREMISES MUST HAVE SUFFICIENT NATURAL OR MECHANICAL VENTILATION TO EFFECTIVELY REMOVE FUMES, SMOKE, STEAM AND VAPOURS FROM THE FOOD PREMISES

REQUIREMENTS
WALLS TO ALL FOOD PREPARATION AREA AND WASH UP AREAS TO BE SEALED, GLOSS PAINTED SOLID WALL CONSTRUCTION
SHELVING TO BE 25mm CLEAR OF WALL

ALL EQUIPMENT TO HAVE LEGS 150mm MIN. HEIGHT
UNLESS SEALED WITH A WATERPROOF CAULKING OR SIMILAR
BOTTOM SHELVING OF ALL UNITS TO BE 150mm MIN. ABOVE FINISHED FLOOR LEVEL

SOAP & DOWEL DISPENSER TO BE LOCATED ABOVE HAND BASIN

NO STORAGE SHELVES BELOW TILE CANOPY

PUNTHS TO BE A MIN. OF 75mm HIGH

ALL HAND BASINS/SINKS TO HAVE A 300mm MIN. HIGH STAINLESS STEEL SPLASH BACK

NOTE:
ALL DIMENSIONS SHOWN TAKE PRECEDENCE OVER SCALE. DO NOT SCALE DRAWING. ALL DIMENSION TO BE CHECKED BY BUILDER PRIOR TO COMMENCEMENT OF WORK. ALL BUILDING WORK TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND RELEVANT AUSTRALIAN STANDARDS AND COUNCIL

PROPOSED DEVELOPMENT

PROPOSED LOWER FLOOR AREA: 842.23m²
PROPOSED UPPER FLOOR AREA: 555.67m²
PROPOSED UPPER VERANDAH AREAS: 248.17m²
PROPOSED EXTERNAL STAIRS & L'DINGS: 21.08m²

TOTAL PROPOSED FLOOR AREAS: 1667.15m²

EXISTING LOWER FLOOR AREA: 281.96m²
EXISTING UPPER FLOOR AREA: 147.91m²
EXISTING UPPER VERANDAH AREA: 87.67m²

TOTAL EXISTING FLOOR AREA: 517.54m²

REVISIONS

DATE: 28th March, 2018.

PLAN NO. 2051B

SHEET NO. SHEET 9 OF 9

SCALE: 1:50

CLIENT: BRUNSWICK SURF LIFE SAVING CLUB

ADDRESS: SOUTH BEACH ROAD

BRUNSWICK HEADS

LOT 427 DP 729272

PARISH OF BRUNSWICK

COUNTY OF ROUS

PARAMETER DESIGNS

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